

AGENDA
PLAN COMMISSION MEETING
Thursday, May 28, 2020 at 7:00 p.m.
Jackson Village Hall
N168 W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call
2. Approval of Minutes for the Plan Commission Meeting of February 27, 2020
3. Planned Unit Development Amendment – JYM Investments/Joseph Merkel – Storage Units & Maintenance Building
4. Planned Unit Development Amendment – Kettle Marine/Brett Cottrell Marine Dealership
5. Planned Unit Development – Liberty Self-Storage – Self-Storage Facility
6. Planned Unit Development – Design 2 Construct/James Blise – Spec Office / Industrial Building
7. Planned Unit Development – Snow Studs – Office / Industrial Building
8. Citizens to Address the Plan Commission
9. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

DRAFT MINUTES
PLAN COMMISSION MEETING
Thursday, February 27, 2020 at 7:00 p.m.
Jackson Village Hall
N168 W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call
Pres. Schwab called the meeting to order at 7:00 p.m.
Members Present: Keith Berben, Tr. Emmrich, Tr. Kruepke, Jon Molkentin, Dan Reik and Jon Weil
Village Board Members Present: Trustees Kurtz and Lippold
Staff Present: Collin Johnson, Brian Kober, John Walther and Jilline Dobratz.
2. Approval of Minutes for the Plan Commission Meeting of January 30, 2020
Motion by Tr. Emmrich, second by Jon Molkentin to approve the Plan Commission minutes of January 30, 2020.
Vote: 7 ayes, 0 nays. Motion carried.
3. Concept Plan – John and Steve Kreuser – Self-Storage Building
John and Steve Kreuser were present to answer any questions.
Motion by Pres. Schwab, second by Tr. Kruepke to recommend the Village Board approve the Concept Plan – John and Steve Kreuser – Self-Storage Building as presented and per staff comments.
Vote: 7 ayes, 0 nays. Motion carried.
4. Planned Unit Development Amendment – Design 2 Construct/J & M Ltd – Storage Building
Mark Hertzfeldt, Design 2 Construct, was present and gave background information. The building is for the property owner to use for personal storage. It is not for lease. Stormwater management will be easier. The only utility is electrical, no plumbing will be put in. They are not proposing any additional parking lot lighting. The lighting on the building and doors will be downcast lights that will not reach any of the neighbors.
Motion by Jon Molkentin, second by Jon Weil to recommend the Village Board approve the Planned Unit Development Amendment – Design 2 Construct/J & M Ltd – Storage Building per staff comments.
Vote: 6 ayes, 0 nays, 1 abstain (Tr. Kruepke). Motion carried
5. Certified Survey Map – Town of Jackson, Behrens 1927 LLC – Sherman Road
Brian Behrens was present and commented that he and his wife are the owners of the property. It is the last lot left on the Prairie Meadows Estate. It is currently about 5.1 acres and they are asking for a redivision of the lot.
Motion by Jon Molkentin, second by Tr. Kruepke to recommend the Village Board take no exception to the Certified Survey Map – Town of Jackson, Behrens 1927 LLC – Sherman Road per staff comments.

Tr. Emmrich inquired on what the plans are with the parcels. Brian Behrens stated the plan is to sell the smaller parcel as an individual lot. The larger parcel of the two will be sold with the balance of the property. This is in the limited water service area.

Vote: 7 ayes, 0 nays. Motion carried.

6. Certified Survey Map – Town of Jackson, Steve Weinand – 4310 Jackson Drive

Steve Weinand was present and stated he has 10 acres, living on five acres. He would like to divide to in half for another five-acre single family residential lot. Motion by Pres. Schwab, second by Jon Weil to recommend the Village Board take no exception to the Certified Survey Map – Town of Jackson, Steven Weinand – 4310 Jackson Drive.

Vote: 7 ayes, 0 nays. Motion carried

7. Resolution #20-02 – Reaffirming Plan Commission Approval of Village of Jackson Comprehensive Plan 2050

John Walther explained the Comprehensive Plan has already been approved. The Village passed the procedures for adopting the Comprehensive Plan. The procedure stated; after the Public Hearing, the Plan Commission will make its recommendation to the Village Board as to the approval. The Plan Commission is reaffirming the Village Board approved resolution. SEWRPC will insert Resolution #20-02 into the Comprehensive Plan and then it will be published.

Motion by Tr. Kruepke, second by Tr. Emmrich to approve Resolution #20-02 – Reaffirming Plan Commission Approval of Village of Jackson Comprehensive Plan 2050.

Vote: 7 ayes, 0 nays. Motion carried

8. Citizens to Address the Plan Commission

None.

9. Adjourn

Motion by Pres. Schwab, second by Tr. Emmrich to adjourn.

Vote: 7 ayes, 0 nays. Meeting adjourned at 7:12 p.m.

Respectfully submitted,

Jilline Dobratz, *CMC/WCMC*
Village Clerk

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Joseph J. Merkel
 Contact JOE Address/ZIP W198N11333 Jamestree rd. G-Town Phone # 262-623-1487
 E-mail Address merkeljoseph@yahoo.com E-mail Address where Agenda/Staff comments are to be sent. SAME
 Name of Owner Joseph J. merkel Address/ZIP SAME Phone# SAME
 Owner Representative/Developer Joseph J. merkel
 Proposed Use of Site STORAGE units & maintenance Buildings Present Zoning multi-family

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u>	<u>TYPE OF INFORMATION DESCRIBED</u> (See page 5)	<u>PAPER COPIES</u>	<u>USB DRIVE</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages) 2) Describe what you intend to do (paragraph)		XXX XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') 4) Owner acknowledgement of the request	labels 1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement 6) Location Map		XXX XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan 8) Preliminary Plat		XXX XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,3,6,10,20	9) Final Plat 10) Certified survey Map		XXX XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition 12) Annexation Map	1	XXX XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan 14) Landscape Plan	4 (24x36)	XXX XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan 16) Water / Sewer / Storm Sewer Plans	4 (24x36) 4 (24x36)	XXX XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections 18) Erosion Control Plan	4 (24x36) 4 (24x36)	XXX XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials <u>site plan</u> 20) Developers Agreement		XXX XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements) 22) other -		XXX XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Joseph J. merkel Signature Joseph J. merkel Date 11-27-19

Office Use: Date Received 12-2-19 Date Paid 12-2-19 Receipt # 225339 Amount Paid \$ 150.00
12-9-19 12-9-19 225340 \$ 25.00

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a Special Use Conditional Use Planned Unit Development

Permit to:

Name of Business/Applicant: Joseph J. Merkel

For a property located at (address): Sherman Heights Condo style apartments

Phone number of Business/Applicant: 262-623-1487

For (land use, activity, sign, site plan, other): change site plan from approved
4-12-unit storage Buildings w/ maintenance garage TO 2-12
unit storage Buildings w/ maintenance garage

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): construction
noise from 7:00 A.M TO 5:30 P.M. during construction

Hours of Operation: 7:00 AM TO 5:30 P.M.

Comprehensive/Master Plan Compatibility: Storage units for Residents of Sherman
Heights ONLY

Building Materials (type, color): Brick sandstone siding clay & Tan, Roof
weather wood TO match Building @ W206 N1600L-25 &
W206 N1640-64 Stone Brook dr.

Setbacks from rights-of-way and property lines: P.U.D.

Screening/Buffering: These storage Buildings ARE the Buffer for Twin
Bridges condos

Landscape Plan (sizes, species, location): _____

Signing (dimensions, colors, lighting, location): None at this time

Lighting (wattage, style, pole location and height, coverage): TO Be determined

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s),
(sidewalk/pedestrian way width and material): None

Storm-water Management: ONE Grading Plan

Erosion Control: ONE Plans

Fire Hydrant Location(s): Existing

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: JOE merkel 262-623-1487
Yong merkel ~~262~~ 414-839-3013

Hazardous Material Storage: NONE

Alarm Systems: NONE

Site Features/Constraints: Upon completion of construction access only
FROM Stone Brook DR.

TO Remove Woods fill land & wetlands I am requesting village
permission to install a temporary culvert & have access to the job
from Sherman Rd. during construction. Once complete Remove
culvert & RESTORE the ditch

Parking (no. of spaces, handicapped parking, and dimensions): NONE Required

Tree and shrub preservation: WETLANDS North of project TO Be
preserved

Setbacks/height limitations: SET BACKS Per proposed plan. Building
HEIGHTS NOT TO EXCEED 16'

Wastewater Usage Projected: 1-2,000 gal/year Water Usage Projected: _____ gal/year
IN office & maintenance Building

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

John Walther, Administrator

Joseph J. markel _____, Owner
Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on a USB Drive.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades & runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1-inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

VILLAGE OF JACKSON

N168W20733 MAIN ST.
P O BOX 637
JACKSON, WI 53037-0147

Receipt Nbr: 225339
Date: 12/11/2019
Check

RECEIVED FROM JJ MERKEL CONTRACTOR INC \$150.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	Account Nbr: 100-00-45730-000-000 PLANNING / ZONING FEES STORAGE UNITS & MAINTENANCE / CK #7317	150.00
<hr/>		
TOTAL RECEIVED		150.00
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Receipt Memo: PLAN COMMISSION APPLICATION / CK #7317

VILLAGE OF JACKSON

N168W20733 MAIN ST.

P O BOX 637

JACKSON, WI 53037-0147

Receipt Nbr: 225340

Date: 12/11/2019

Check

**RECEIVED
FROM** JJ MERKEL CONTRACTOR INC

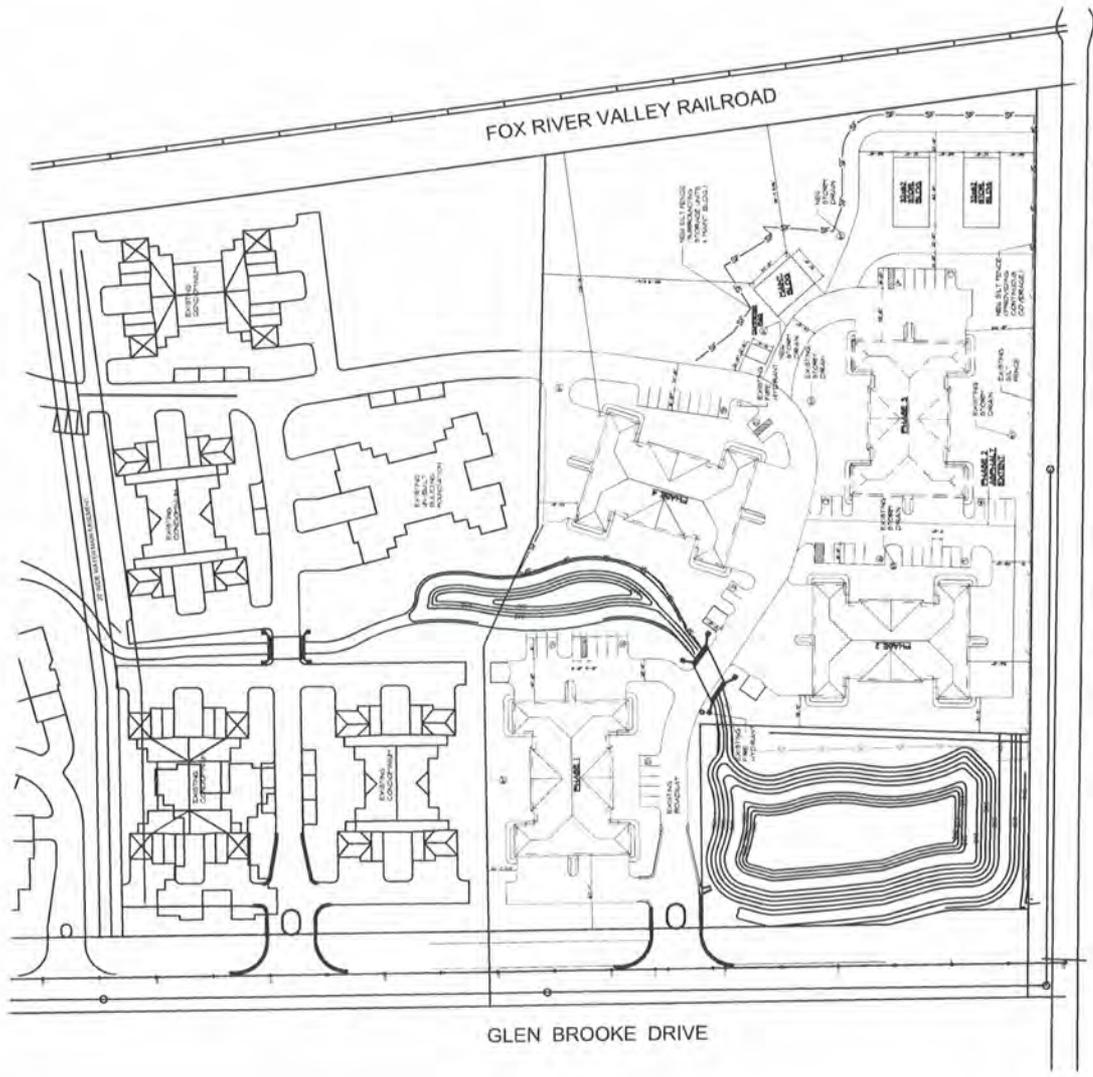
\$25.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	Account Nbr: 100-00-45730-000-000 PLANNING / ZONING FEES PLAN COMMISSION LABEL FEE / CK #7325	25.00
<hr/> TOTAL RECEIVED		25.00

Receipt Memo: PLAN COMMISSION LABELS / CK #7325

REVISIONS		JJ MERKEL CONTRACTOR INC 1939 N1333 JAMES TREE ROAD GERMANTOWN WI 53022 JOSEPH J. MERKEL (262) 623-1487	PROJECT
			PROPOSED EROSION PLAN
			DRAWN BY: SEED
			APPROVED
			DATE 5-4-11
			JOB NO.
			SHEET
			C-1

Sherman Heights Erosion Plan
 Scale: 1" = 50 ft



SHERMAN ROAD

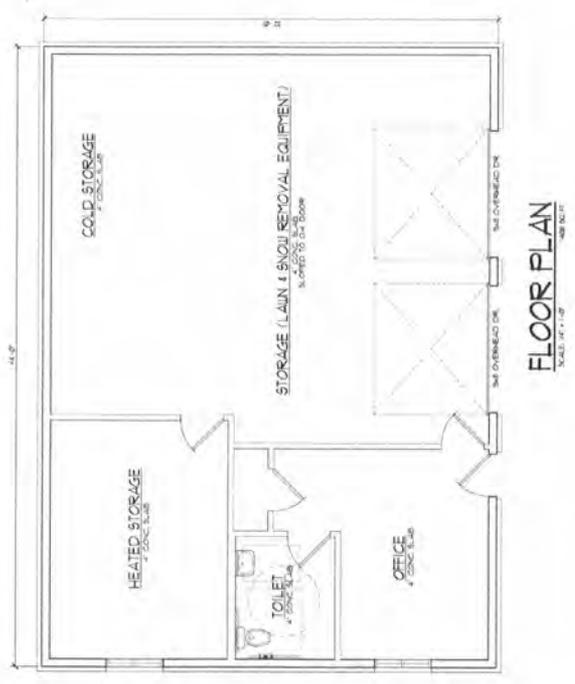
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 SEE SHEET C-101 FOR PHASE 100 AREA

MERKEL CONTRACTOR, INC.
 119211333 James Street Road
 Germantown, WI 53022
 (262) 755-4111
 (262) 613-1451 Cell
 merkelc@earthlink.net

DEHNING ARCHITECTURE
 14772 Bryant Drive
 Gale Mills WI 53463
 (262) 208-3333
 dehn-architect.com

Drawn:
 Approved 2005
 Date of comments:
 REVISIONS:
 Job:
 Date: 11-14-10

Maintenance Building
 Jackson WI 53037



Date: 11-14-10

Job:

REVISIONS:

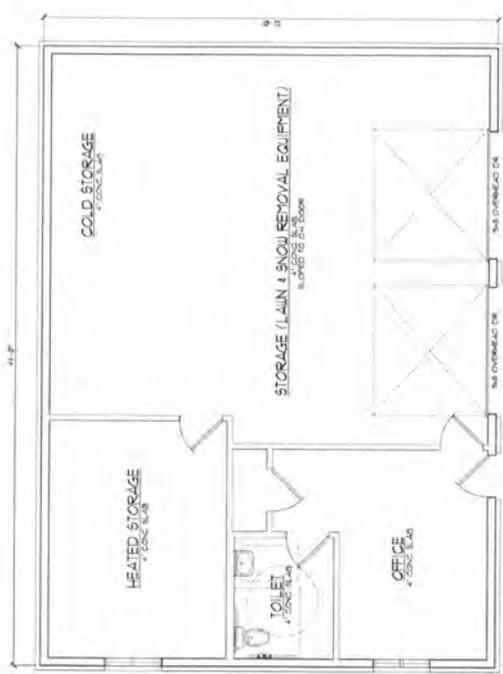
date/ comments:

Approved: UDS

Drawn:

DEHNING ARCHITECTURE
1472 Strand Drive
Gate Mills WI 54631
(261)305-3885
office@archenr.com

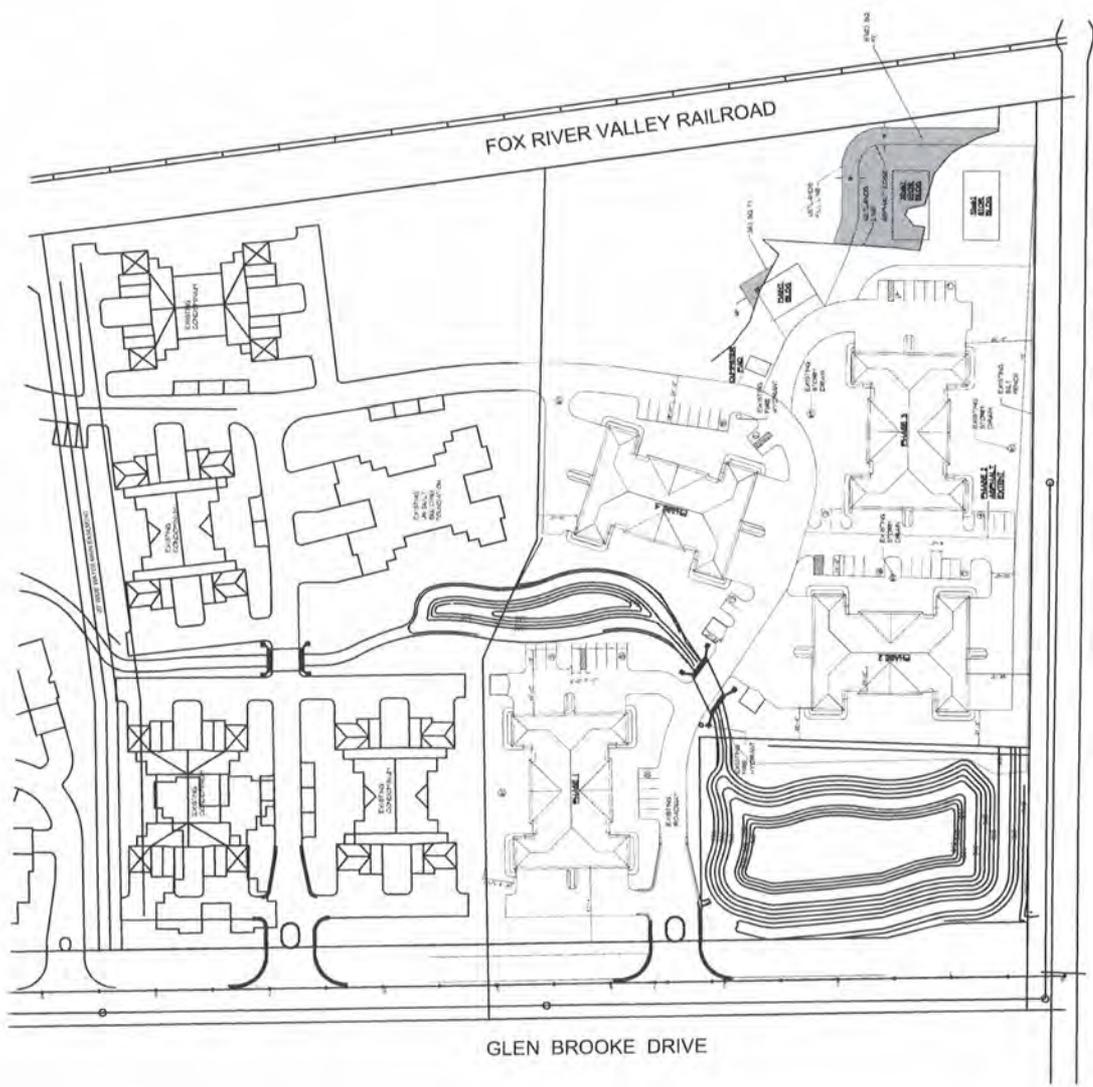
MERKEL CONTRACTOR, INC
1192N1333 Janssen Road
Genoa WI 53022
(261)755-4712
1261613-1457 Cell
merkel.joschph@vcc.com



FLOOR PLAN
SCALE: 1/4" = 1'-0"

8'023 SQ. FT.
 363 SQ. FT.
 3086 TOTAL SQ. FT. (10000 SQ. FT. LIMIT)

Sherman Heights Wetlands Plan
 Scale: 1" = 50 ft



GLEN BROOKE DRIVE

SHERMAN ROAD

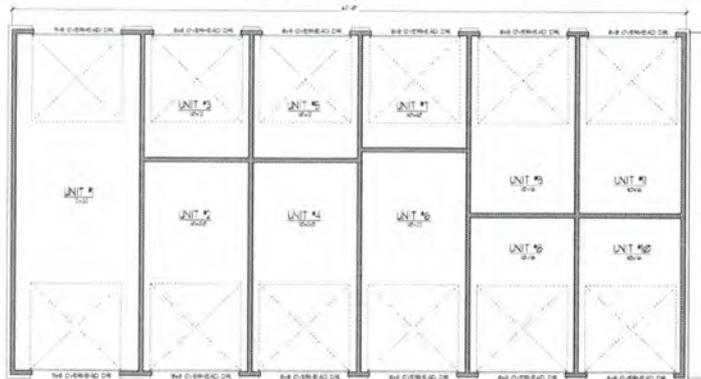
FOX RIVER VALLEY RAILROAD



SIDE ELEVATIONS
SCALE: 1/2" = 1'-0"



FRONT/REAR ELEVATIONS
SCALE: 1/2" = 1'-0"



FLOOR PLAN
SCALE: 1/2" = 1'-0"

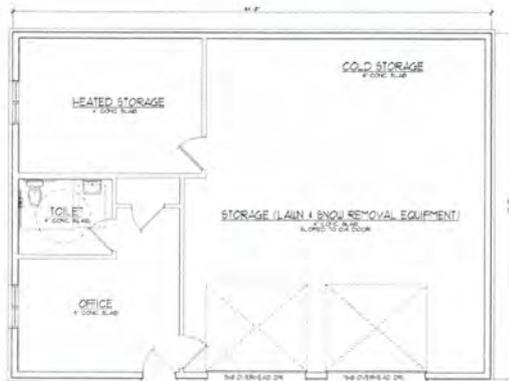
JJ MERCEL CONTRACTOR, INC. 1750 N. 333rd Avenue, Suite 100 Grandville, MI 49431 (616) 333-4451 www.jjmercel.com	
DEBING ARCHITECTURE 4777 Spring Drive Suite 110, Grandville, MI 49431 (616) 333-3855 debing@debinc.com	
Drawn:	
Approved: EDR	
Add comments: REVISIONS	
Job: Date: 11-14-19	
Storage Units Jackson, MI 5303	
Sheet A-1	



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

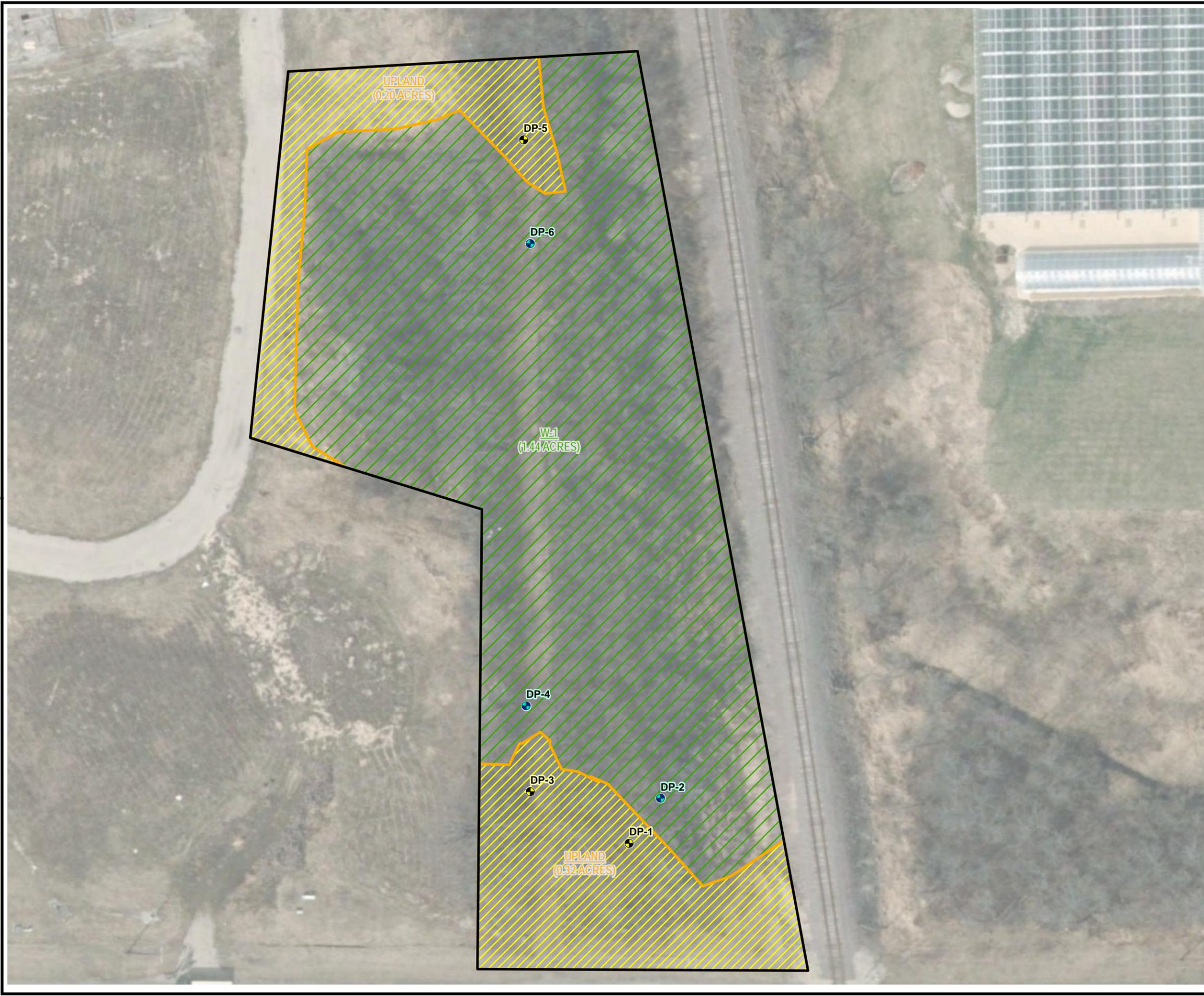


FRONT ELEVATION
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

JJ MERCEL CONTRACTOR, INC. 1550 S. 333rd Avenue, R210 Oak Brook, IL 60121 (781) 353-4333 (781) 353-4877 Cell mercelcontractors.com	
DEPINING ARCHITECTURE 14775 Spring Drive Oak Brook, IL 60153 (781) 353-3885 depining@depining.com	
Drawn:	
Approved:	
Date:	11/14/19
Job:	Maintenance Building
Date:	11/14/19
Maintenance Building Jackson, IL 63031	
Sheet:	A-1

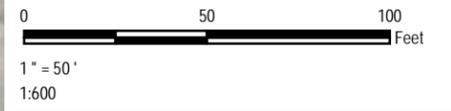


LEGEND

-  STUDY AREA
-  WETLAND SAMPLE POINT
-  UPLAND SAMPLE POINT
-  TRC DELINEATED WETLAND
-  UPLAND

NOTES

1. BASE MAP IMAGERY FROM WASHINGTON COUNTY, 2015.

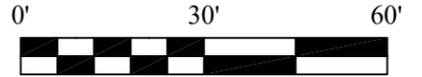


PROJECT:		JJ MERKEL CONTRACTOR, INC.	
		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION	
		WASHINGTON COUNTY, WI	
TITLE:		WORKING COPY WETLAND DELINEATION MAP	
DRAWN BY:	S. MAJOR	PROJ. NO.:	326865
CHECKED BY:		EXHIBIT A	
APPROVED BY:			
DATE:	MAY 2019		
		150 North Patrick Blvd. Suite 180 Brookfield, WI 53045 Phone: 262.879.1212	
FILE NO.:		326865-005\WIDelin.mxd	

Cornerstone Land Surveying, Inc.

Plat of Survey

Scale 1" = 30'



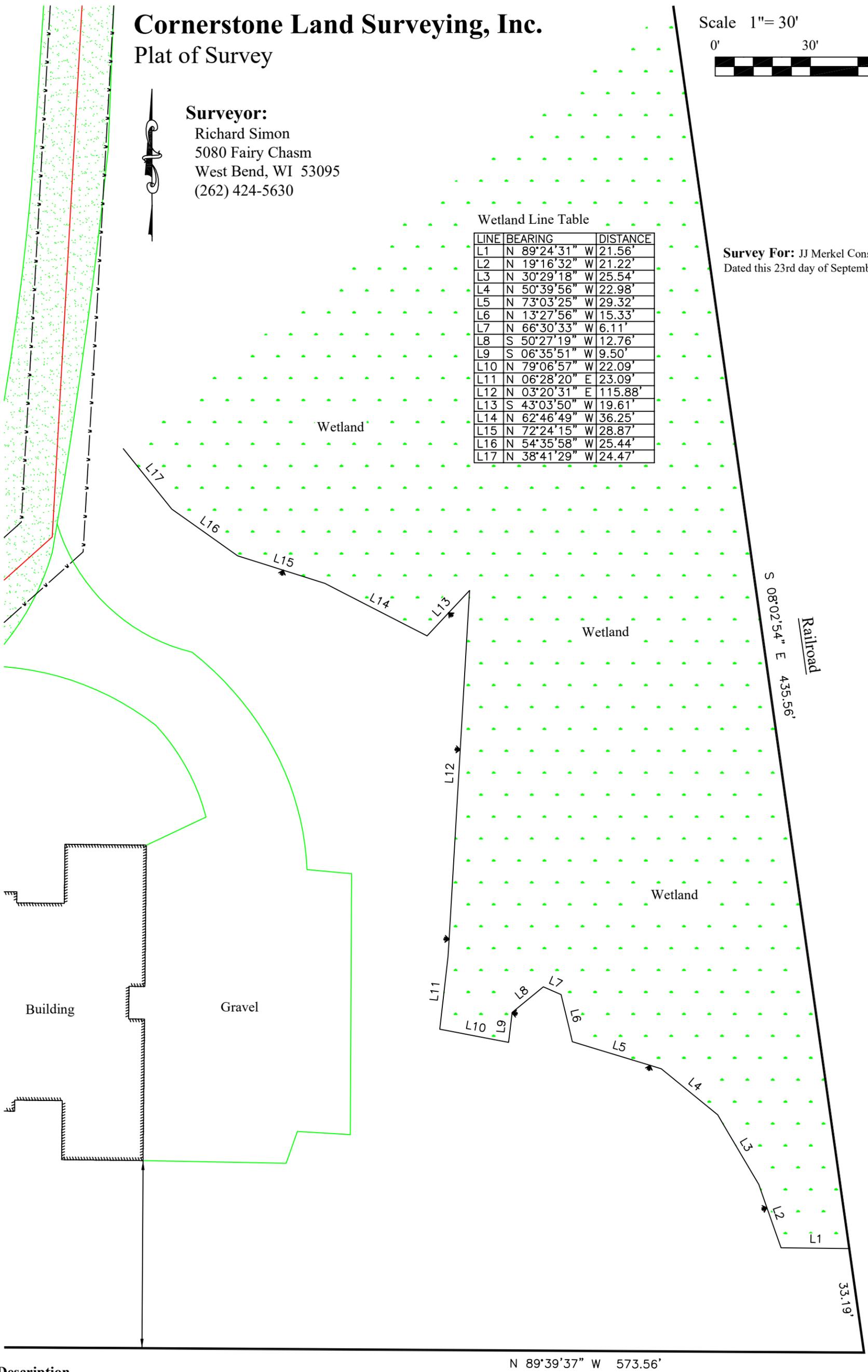
Surveyor:

Richard Simon
5080 Fairy Chasm
West Bend, WI 53095
(262) 424-5630

Wetland Line Table

LINE	BEARING	DISTANCE
L1	N 89°24'31" W	21.56'
L2	N 19°16'32" W	21.22'
L3	N 30°29'18" W	25.54'
L4	N 50°39'56" W	22.98'
L5	N 73°03'25" W	29.32'
L6	N 13°27'56" W	15.33'
L7	N 66°30'33" W	6.11'
L8	S 50°27'19" W	12.76'
L9	S 06°35'51" W	9.50'
L10	N 79°06'57" W	22.09'
L11	N 06°28'20" E	23.09'
L12	N 03°20'31" E	115.88'
L13	S 43°03'50" W	19.61'
L14	N 62°46'49" W	36.25'
L15	N 72°24'15" W	28.87'
L16	N 54°35'58" W	25.44'
L17	N 38°41'29" W	24.47'

Survey For: JJ Merkel Construction, Inc.
Dated this 23rd day of September, 2019



Description

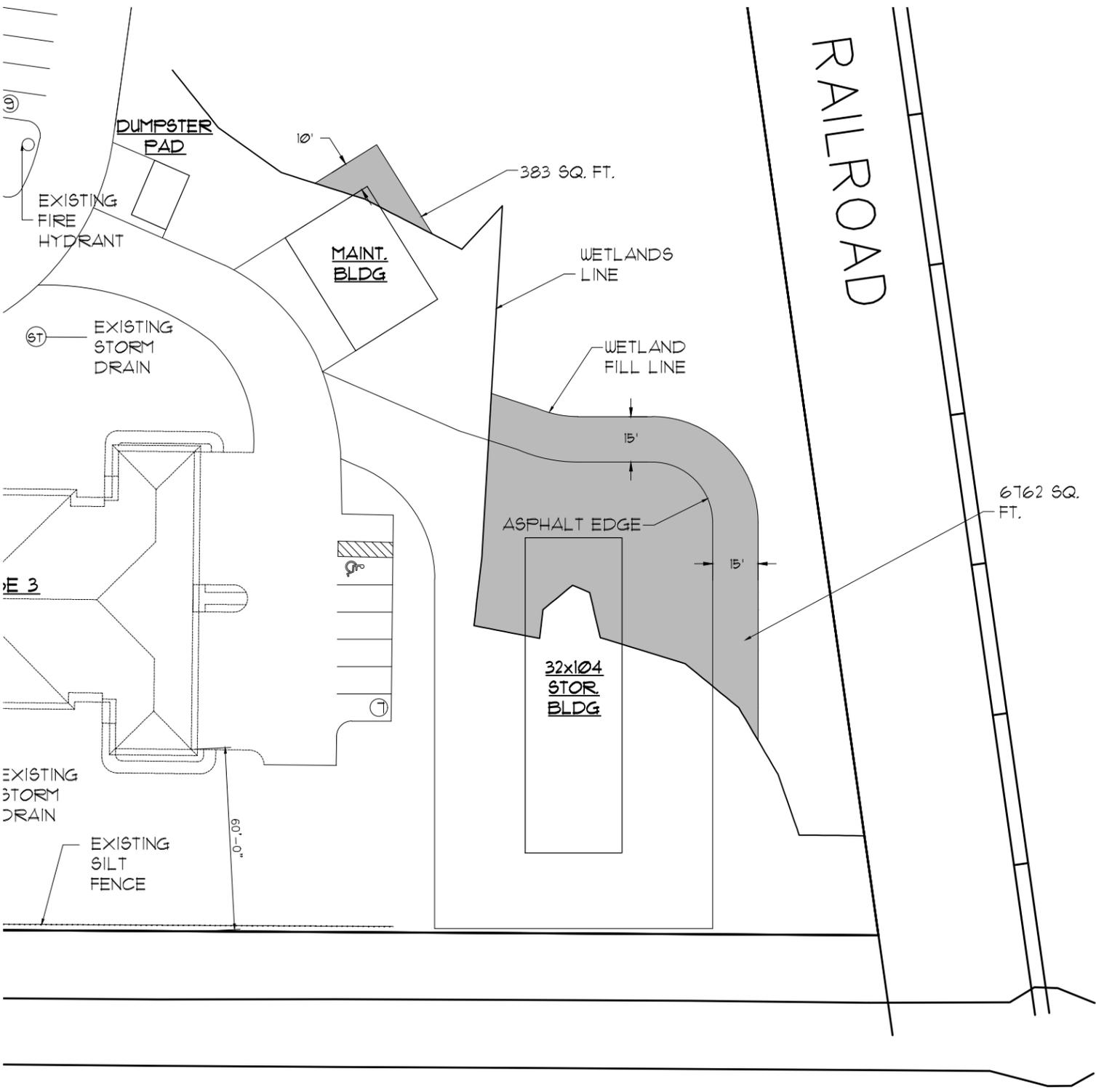
Lot 1 Certified Survey Map No. 6741 being a Redivision of part of Lot 1 of Certified Survey Map No. 5798, being a part of the Southeast 1/4 of the Southeast 1/4 of Section 19, Township 10 North, Range 20 East, Village of Jackson, Washington County, Wisconsin

Notes:

- 1) In providing this boundary survey no attempt has been made to obtain or show data concerning the existence of any utility on the site, whether private, municipal, or public owned.
- 2) No Title Policy furnished therefore completeness of easements is not warranted.

South Line of the Southeast 1/4 of Section 19-10-20

Sherman Road (66' R/W)



6762 SQ. FT
 383 SQ. FT

 7145 TOTAL SQ. FT (10,000 SQ. FT. LIMIT)

6762 SQ. FT.

Sherman Heights Wetlands Plan

Scale: 1" = 50 ft



North



April 24, 2020

GP-SE-2019-67-04068

JYM Investments, LLC.
Joseph Merkel
W198 N11333 Jamestree Road
Germantown, WI 53022

RE: Coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, located in the Village of Jackson, Washington County, also described as being in the SE1/4 of the SE1/4 of Section 19, Township 10 North, Range 20 East.

Dear Mr. Merkel:

Thank you for submitting an application for coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, s. 281.36, Wis. Stats.

You have certified that your project meets the eligibility criteria and conditions for this activity. Based upon your signed certification you may proceed with your project to fill 0.16 acres of wetlands. Please take this time to re-read the permit eligibility standards and conditions. The eligibility standards can be found on your application checklist or in the statewide general permit WDNR-GP1-2017 (found at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html>). The permit conditions are attached to this letter. You are responsible for meeting all general permit eligibility standards and permit conditions. This includes notifying the Department before starting the project, and submitting photographs within one week of project completion. Please note your coverage is valid for 5 years from the date of the department's determination or until the activity is completed, whichever occurs first. This permit coverage constitutes the state of Wisconsin's wetland water quality certification under USCS s. 1341 (Clean Water Act s. 401).

The Department conducts routine and annual compliance monitoring inspections. Our staff may follow up and inspect your project to verify compliance with state statutes and codes. If you need to modify your project please contact your local Water Management Specialist, Marty Dillenburg at (920) 296-6507 or email marty.dillenburg@wisconsin.gov to discuss your proposed modifications.

The Department of Natural Resources appreciates your willingness to comply with wetland regulations, which help to protect the water quality, fish and wildlife habitat, natural scenic beauty and recreational value of Wisconsin's wetland resources for future generations. Please be sure to obtain any other local, state or federal permits that are required before starting your project.

If you have any questions, please call me at (920) 296-6507 or email marty.dillenburg@wisconsin.gov.

Sincerely,



Marty Dillenburg
Water Management Specialist

cc: Jeff Felland, (608) 242-6610, Consultant, MSA Professional Services
U.S. Army Corps of Engineers, usace_requests_wi@usace.army.mil
Jamie Ludovic, Director of Central Services, Washington County
Dan Nehls, (262) 339-3666, Conservation Warden, Wisconsin DNR

WDNR-GP1-2017 Permit Conditions – Residential/Commercial/Industrial

You agree to comply with the following conditions:

1. **Application.** You shall submit a complete application package to the Department as outlined in the application materials and section 2 of this permit. If requested, you shall furnish the Department, within a reasonable timeframe, any information the department needs to verify compliance with the terms and conditions of this permit.
2. **Certification.** Acceptance of general permit WDNR-GP1-2017 and efforts to begin work on the activities authorized by this general permit signifies that you have certified the project meets all eligibility standards outlined in Section 1 of this permit and that you have read, understood and have agreed to follow all terms and conditions of this general permit.
3. **Reliance on Applicant's Data.** The determination by this office that a confirmation of authorization is not contrary to wetland water quality standards will be based upon the information provided by the applicant and any other information required by the DNR.
4. **Project Plans.** This permit does not authorize any work other than what is specifically described in the notification package and plans submitted to the Department and you certified is in compliance with the terms and conditions of WDNR-GP1-2017
5. **Expiration.** This WDNR-GP1-2017 expires on October 31, 2022. The time limit for completing work authorized by the provisions of WDNR-GP1-2017 ends 5 years after the date on which the discharge is considered to be authorized under WDNR-GP1-2017 or until the discharge is completed, whichever occurs first.
6. **Other Permit Requirements.** You are responsible for obtaining any other permit or approval that may be required for your project by local zoning ordinances, other local authority, other state permits and by the U.S. Army Corps of Engineers before starting your project.
7. **Authorization Distribution.** You must supply a copy of the permit coverage authorization to every contractor working on the project.

8. **Project Start.** You shall notify the Department before starting construction.
9. **Permit Posting.** You must post a copy of this permit coverage letter at a conspicuous location on the project site prior to the execution of the permitted activity, and remaining at least five days after stabilization of the area of permitted activity. You must also have a copy of the permit coverage letter and approved plan available at the project site at all times until the project is complete.
10. **Permit Compliance.** The department may modify or revoke coverage of this permit if the project is not constructed in compliance with the terms and conditions of this permit, or if the Department determines the project will be detrimental to wetland water quality standards. Any act of noncompliance with this permit constitutes a permit violation and is grounds for enforcement action. Additionally, if any applicable conditions of this permit are found to be invalid or unenforceable, authorization for all activities to which that condition applies is denied.
11. **Construction Timing.** Once wetland work commences, all wetland construction activities must be continuous until the permitted activity is completed and the site is stabilized.
12. **Construction.** No other portion of the wetland may be disturbed beyond the area designated in the submitted plans.
13. **Project Completion.** Within one week of completion of the regulated activity, you shall submit to the Department a statement certifying the project is in compliance with all the terms and conditions of this permit, and photographs of the activities authorized by this permit. This statement must reference the Department-issued docket number, and be submitted to the Department staff member that authorized coverage.
14. **Proper Maintenance.** You must maintain the activity authorized by WDNR-GP1-2017 in good condition and in conformance with the terms and conditions of this permit utilizing best management practices. Any structure or fill authorized shall be properly maintained to ensure no additional impacts to the remaining wetlands.
15. **Site Access.** Upon reasonable notice, you shall allow access to the site to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance with the terms and conditions of WDNR-GP1-2017 and applicable laws.
16. **Erosion and siltation controls.** The project site shall implement erosion and sediment control measures that adequately control or prevent erosion, and prevent damage to wetlands as outlined in NR 151.11(6m), Wis. Adm. Code.
17. **Equipment use.** The equipment used in the wetlands must be low ground weight equipment as specified by the manufacturer specifications.
18. **Invasive Species.** All project equipment shall be decontaminated for removal of invasive species prior to and after each use on the project site by utilizing other best management practices to avoid the spread of invasive species as outlined in NR 40, Wis. Adm. Code. For more information, refer to <http://dnr.wi.gov/topic/Invasives/bmp.html>.

19. **Federal and State Threatened and Endangered Species.** WDNR-GP1-2017 does not affect the DNR's responsibility to insure that all authorizations comply with Section 7 of the Federal Endangered Species Act, s. 29.604, Wis. Stats and applicable State Laws. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. No activity is authorized which is likely to jeopardize the continued existence of a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act and/or State law or which is likely to destroy or adversely modify the critical habitat of a species as identified under the Federal Endangered Species Act.
20. **Special Concern Species.** If the Wisconsin National Heritage Inventory lists a known special concern species to be present in the project area you will take reasonable action to prevent significant adverse impacts or to enhance the habitat for the species of concern.
21. **Historic Properties and Cultural Resources.** WDNR-GP1-2017 does not affect the DNR's responsibility to insure that all authorizations comply with Section 106 of the National Historic Preservation Act and s. 44.40, Wis. Stats. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. Information on the location and existence of historic resources can be obtained from the State Historic Preservation Office and the National Register of Historic Places. If cultural, archaeological, or historical resources are unearthed during activities authorized by this permit, work must be stopped immediately and the State Historic Preservation Officer must be contacted for further instruction.
22. **Preventive Measures.** Measures must be adopted to prevent potential pollutants from entering a wetland or waterbody. Construction materials and debris, including fuels, oil, and other liquid substances, will not be stored in the construction area in a manner that would allow them to enter a wetland or waterbody as a result of spillage, natural runoff, or flooding. If a spill of any potential pollutant should occur, it is the responsibility of the permittee to remove such material, to minimize any contamination resulting from this spill, and to immediately notify the State Duty Officer at **1-800-943-0003**.
23. **Suitable fill material.** All fill authorized under this permit must consist of clean suitable soil material, as defined by s. NR 500.03(214), Wis. Admin. Code, free from hazardous substances as defined by s. 289.01(11), Wis. Stats., and free from solid waste as defined by s. 289.01(11) and (33), Wis. Stats.
24. **Standard for Coverage.** Wetland impacts from the project will cause only minimal adverse environmental impacts as determined by the Department.
25. **Transfers.** Coverage under this permit is transferable to any person upon prior written approval of the transfer by the Department.
26. **Limits of State Liability.** In authorizing work, the State Government does not assume any liability, including for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the State in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.

- d. Design or construction deficiencies associated with the permitted work.
- e. Damage claims associated with any future modification, suspension, or revocation of this WDNR-GP1-2017.

27. **Reevaluation of Decision.** The Department may suspend, modify or revoke authorization of any previously authorized activity and may take enforcement action if any of the following occur:

- a. The applicant fails to comply with the terms and conditions of WDNR-GP1-2017.
- b. The information provided by the applicant in support of the permit application proves to have been false, incomplete, or inaccurate.
- c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.

Wetland and Waterway Delineation Report

June 17, 2019

TRC Project No. 326865.0000.0000

Sherman Road

W206 N16001 Stonebrook Drive
Jackson, WI 53037

Prepared For:

JJ Merkel Contractor, Inc.
W198N11333 Jamestree Road
Germantown, WI 53022

Prepared By:

Lesley Brotkowski
WDNR Assured Wetland Delineator
TRC Environmental Corporation
150 N. Patrick Blvd., Suite 180
Brookfield, WI 53045



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APPENDICES

- Appendix A: Figures
- Appendix B: Antecedent Precipitation Data/WETS Analysis
- Appendix C: Wetland and Waterway Delineation Map
- Appendix D: Wetland Determination Data Forms
- Appendix E: Professional Opinion on Wetland Susceptibility

1.0 Introduction

On behalf of JJ Merkel Contractor, Inc., TRC Environmental Corporation (TRC) conducted a wetland and waterway delineation within a designated Study Area on Sherman Road (Figure 1, Appendix A). The Study Area was approximately 1.90 acres and located in Section 19, Township 10 North, Range 20 East in the Village of Jackson, Washington County, Wisconsin.

Landowner's Name and Contact Information:

Joe Merkel
JYM Investments, LLC
W198N11333 Jamestree Road
Germantown, WI 53022

The purpose of this wetland and waterway delineation was to determine the current location and extent of wetlands and waterways within a designated Study Area for planning purposes. Our study is presented here in terms of methodology, results, and conclusions.

The wetland and waterway delineation was conducted by TRC scientist Lesley Brotkowski on May 17, 2019. Lesley Brotkowski was the lead investigator and is the author of this report.

1.1 Statement of Qualifications

TRC has extensive experience managing and conducting wetland delineations across the United States. TRC's biologists and ecologists have been trained to properly and consistently apply the methods set forth in the 1987 Corps of Engineers Wetland Delineation Manual and applicable regional supplements. They have direct experience identifying and documenting indicators of hydrophytic vegetation, wetland hydrology, and hydric soil and are experienced in dealing with naturally problematic and disturbed conditions.

TRC's large natural resources staff have the capability to coordinate wetland survey teams to meet fast-track project schedules and satisfy the challenges of complex or controversial projects.

Ms. Lesley Brotkowski, WDNR Assured Wetland Delineator and Senior Ecologist, earned a Master's Degree in Ecology and Conservation Biology from the University of Illinois at Urbana-Champaign. Ms. Brotkowski has experience with a variety of wetland delineation, habitat assessment, conservation, and restoration projects throughout Wisconsin and has completed the Advanced Wetland Delineation, Field Indicators of Hydric Soils, and Grasses, Sedges, and Rushes workshops provided by UW-La Crosse. Ms. Brotkowski is a part of the Wetland Delineation Professional Assurance Initiative of the Wisconsin Department of Natural Resources (WDNR). This means her work is assured for purposes of State of Wisconsin wetland delineations.

1.2 Agency Regulatory Authority

The wetlands and/or waterways identified in this report may be subject to federal regulation under the jurisdiction of the U.S. Army Corps of Engineers (USACE), state regulation under the jurisdiction of Wisconsin Department of Natural Resources (WDNR), and local jurisdiction under county, town, city, or village.

2.0 Methods

This wetland and waterway delineation was conducted in accordance with the guidelines of the 1987 Corps of Engineers Wetland Delineation Manual (Environmental Laboratory, 1987) and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (Version 2.0, 2012) and in general accordance with Wisconsin Department of Natural Resources guidelines. National Wetland Indicator status and taxonomic nomenclature is referenced from The National Wetland Plant List (Lichvar et al., 2016). National Wetland Indicator status is based on the Northcentral and Northeast Region, NGL sub-region. Indicators of hydric soil are based on the Field Indicators of Hydric Soils in the United States guide Version 8.1 (Vasilas et. al., 2017). This report has also been prepared in accordance with the guidelines set forth in the “Guidance for Submittal of Delineation Reports to the St. Paul District Corps of Engineers and the Wisconsin Department of Natural Resources” document issued March 4, 2015.

2.1 Off-Site Review

Prior to conducting fieldwork, several maps were reviewed including the United States Geological Survey (USGS) 7.5’ Quadrangle Map, Natural Resource Conservation Service (NRCS) Soil Survey Map, Wisconsin Wetland Inventory (WWI) Map, and aerial imagery. These sources were used to identify areas likely to contain wetlands and waterways.

Precipitation data from approximately 90 days prior to the field investigation were obtained from a weather station near the Study Area and compared with 30-year average precipitation data obtained from a NRCS WETS Table for the County where the Study Area was located to determine if antecedent hydrologic conditions at the time of the site visit were normal, wetter, or drier than the normal range.

2.2 On-Site Field Investigation

Areas having wetland indicators within the Study Area were evaluated in the field by TRC wetland scientist Lesley Brotkowski on May 17, 2019. Sample points were located in areas exhibiting wetland and upland characteristics to document the presence and/or absence of wetlands and to provide support for the delineated wetland boundaries. At each sample point, data were collected to document the vegetation and hydrophytic vegetation indicators, soil profile and hydric soil indicators, and wetland hydrology indicators.

Plant species were identified at each sample point and their wetland indicator status; obligate wetland (OBL), facultative wetland (FACW), facultative (FAC), facultative upland (FACU), or upland (UPL); was determined by referencing The National Wetland Plant List (Lichvar et al., 2016). Soil pits were dug to the depth needed to document a hydric soil indicator or confirm the absence of indicators. Soil color was determined using a Munsell soil color chart. The sample point plots and soil pits were evaluated for presence of wetland hydrology indicators.

The wetland boundaries were delineated and staked using wire pin flags. Wetland boundaries were generally determined by distinct to subtle differences in the abundance of hydrophytic vegetation and non-hydrophytic vegetation, presence versus absence of hydric soil indicators, and presence versus absence of wetland hydrology indicators.

3.0 Results

3.1 Off-Site Review

The County Contour Map (Appendix A, Figure 2) showed elevations ranging from 848 to 861 feet above sea level. Based on the contour map apparent surface water flow would be from higher elevations around the edges of the Study Area to lower elevations in the middle of the Study Area.

According to the NRCS Soil Survey map (Appendix A, Figure 3) three mapped soil units are located within the Study Area. The soils mapped within the Study Area are listed on Table 1 below.

Table 1 Mapped Soils

Map Unit Symbol	Soil Series Name	Drainage Class	Hydric Rating %	% of Study Area
BsA	Brookston silt loam, 0 to 2 percent slopes	Poorly drained	95	63.24
FsB	Fox silt loam, 2 to 6 percent slopes	Well drained	0	13.75
NnA	Nenno silt loam, 1 to 3 percent slopes	Somewhat poorly drained	10	23.01

The Wisconsin Wetland Inventory (WWI) map (Appendix A, Figure 4) depicted one wetland within the Study Area. The type of wetland shown on the WWI map within the Study Area is listed in Table 2 below.

Table 2 Mapped WWI Wetland Types

Map Unit Symbol	Description
T3K	Forested, Broad-leaved deciduous, Wet Soil, Palustrine

A review of aerial imagery from 1995, 2000, 2005, 2010, and 2015 (Appendix A, Figures 5-9) shows the Study Area as primarily wooded with an access road through the central portion of the site. A building appeared in the western portion of the Study Area on the 2000 aerial and was removed on the 2010 aerial. The aerial review shows recent grading activity north and west of the Study Area and railroad tracks to the east.

Prior to conducting the field visit, antecedent precipitation data were analyzed. Data were obtained from a nearby weather station (Jackson (WI) USC00473930) and compared to data from a nearby WETS station (Germantown, WI). The most recent rainfall event prior to the site visit was 0.01 inches, which occurred on May 10, 2019. Precipitation for the 14 days prior to the site visit was 0.92 inches. The precipitation data for the 90-day period prior to the field visit (Appendix B, Table 3) were entered into a WETS analysis worksheet (Appendix B, Table 4) to weight the information from each preceding month to analyze hydrologic conditions. Based on this analysis, the antecedent hydrologic conditions were

considered to be within a normal range, suggesting that climatic/hydrologic conditions were normal for this time of year.

3.2 On-Site Field Investigation

3.2.1 Site Description

The Study Area is located along the north side of Sherman road and is bordered by railroad tracks to the east and a site under active development to the west. The Study Area is comprised of wooded habitat and an abandoned access road. Surface water from the surrounding landscape generally drains towards the Study Area.

Historic fill was observed in the abandoned access road and grading of soil was observed in the northern, western (adjacent to development access road), and southern (adjacent to Sherman Road) portions of the Study Area. Thus, soils in these areas were disturbed and normal circumstances were not present at these locations.

3.2.2 Uplands

Upland plant communities observed in the Study Area included woodland and grassy areas closer to Sherman Road. Sample points DP-1, DP-3, and DP-4 were paired with wetland sample points to document the delineated wetland boundaries. Sample Point DP-1 was located in an upland area where there was a mapped WWI wetland that was not actually a wetland.

3.2.3 Wetlands

One wetland (W-1) was delineated. The delineated wetland boundary and sample points are shown on a map (Exhibit A) in Appendix C. Data and photographs were collected and recorded on Wetland Determination Data Forms at six sample points to document wetland and upland locations (Appendix D).

Wetland W-1 (Hardwood Swamp and Fresh (Wet) Meadow)

Wetland W-1 was approximately 1.44 acres within the Study Area and consisted of a mix of Hardwood Swamp and Fresh (Wet) Meadow plant communities. Wetland W-1 was not contained entirely within the Study Area. The boundary of wetland W-1 extends beyond the Study Area offsite to the north, west, and east. Three wetland data points (DP-2, DP-4, and DP-6) were taken within W-1 and three upland sample points (DP-1, DP-3 and DP-5) were taken in adjacent upland areas.

Dominant vegetation within wetland W-1 in the tree stratum consisted of *Fraxinus pennsylvanica* (green ash) and *Quercus bicolor* (swamp white oak). Dominant vegetation within the sapling/shrub stratum consisted of *Rhamnus cathartica* (common buckthorn), *Cornus racemosa* (gray dogwood), and *Acer negundo* (boxelder). Dominant vegetation in the herbaceous stratum consisted of *Phalaris arundinacea* (reed canary grass), *Carex stipata* (awl-fruit sedge), *Rhamnus cathartica*, *Geranium maculatum* (spotted geranium), and *Hydrophyllum virginianum* (Virginia waterleaf). Primary wetland hydrology indicators included Surface Water (A1), High Water Table (A2), Saturation (A3), and Aquatic Fauna (B13);

secondary indicators included Geomorphic Position (D2), and a positive FAC-Neutral Test (D5). Hydric soil indicators included Redox Dark Surface (F6).

The boundary of wetland W-1 was based on subtle to distinct topographic breaks, the boundary between hydrophytic and non-hydrophytic vegetation, the boundary between the presence and absence of wetland hydrology indicators, and the boundary between hydric and non-hydric soil.

3.2.4 Professional Opinion On Wetland Susceptibility Per NR 151

Table 5 in Appendix E lists a professional opinion on wetland susceptibility, based on a request by the WDNR, to do so per revised NR 151 guidance (Guidance #3800-2015-02). Please note that the final determination of wetland susceptibility rests with the WDNR.

4.0 Conclusions

Based on the wetland delineation completed by TRC, one wetland (W-1) was delineated totaling 1.44 acres of wetlands within the 1.90-acre Study Area. No other aquatic resources were observed within the Study Area.

Wetlands and other aquatic resources delineated and identified in this report are a professional finding based on current regulatory guidelines published by the USACE and WDNR at the time the resources were delineated. Unknown and future conditions that affect observations of field indicators or change in interpretation of regulatory policy or methods may modify future findings.

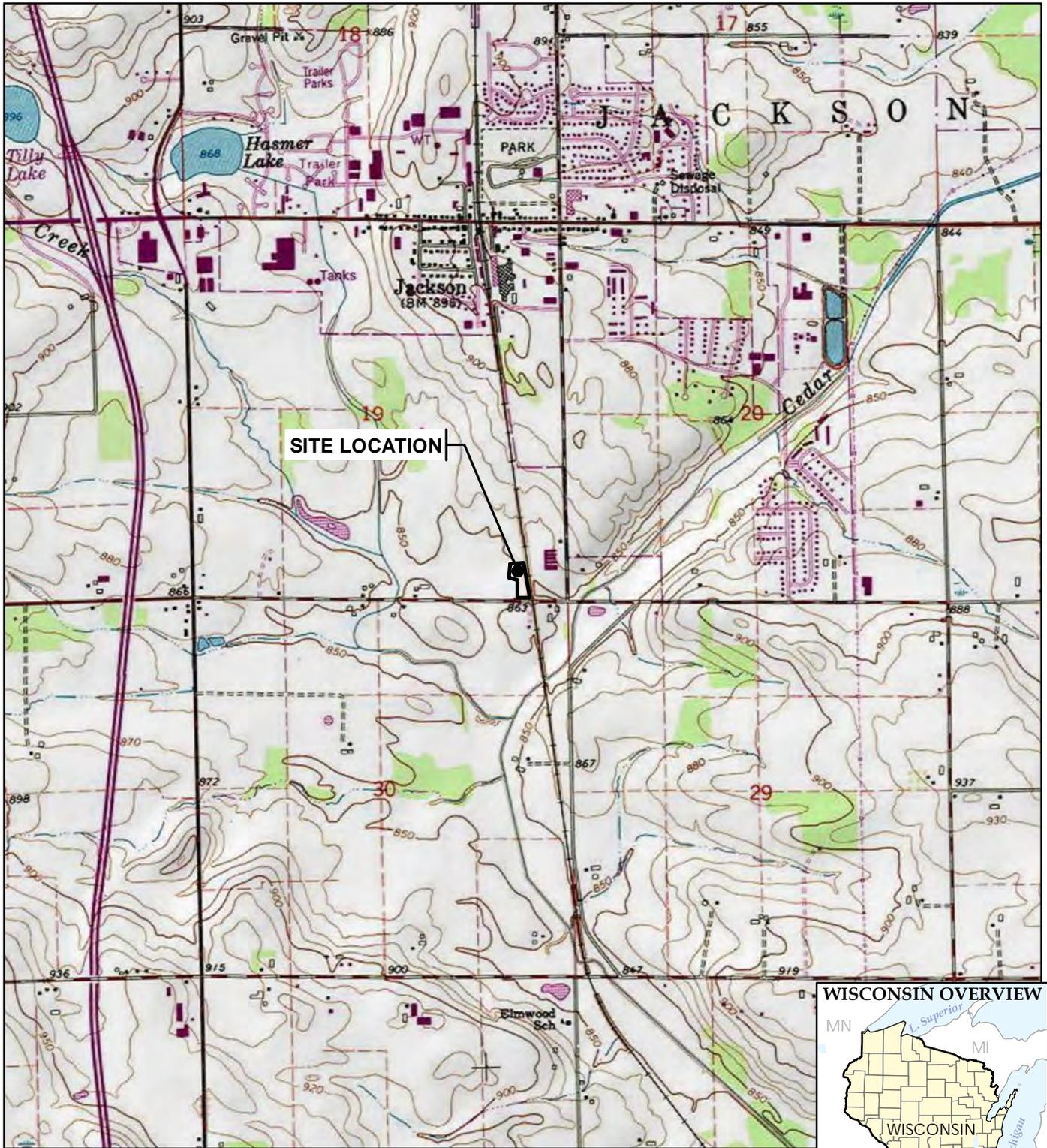
The ultimate authority to determine the location of the wetland boundary and jurisdictional authority over the wetlands and other aquatic resources identified in this report resides with the USACE and WDNR. Decisions made by staff of these regulatory agencies may result in modifications to the location of the wetland or other aquatic resource boundaries shown in this report. In addition, the USACE and WDNR have jurisdictional authority to determine which features are exempt from regulation or non-jurisdictional. If the client proposes to modify a potentially exempt or non-jurisdictional feature, a WDNR Artificial Determination Exemption and USACE Approved Jurisdictional Determination (AJD) would be needed. Furthermore, municipalities, townships and counties may have local zoning authority over certain areas or types of wetlands and waterways. The determination that a wetland or waterway is subject to regulatory jurisdiction is made independently by the agencies.

Any activity in a delineated wetland or below the Ordinary High Water Mark of other aquatic resources may require USACE and WDNR permits, and local government permits. If the Client proceeds to change, modify or utilize the property in question without obtaining authorization from the appropriate regulatory agency, it will be done at the Client's own risk and TRC Environmental Corporation shall not be responsible or liable for any resulting damages.

5.0 References

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- Eggers, Steve D. and Donald M. Reed. 1997. Wetland Plants and Plant Communities of Minnesota and Wisconsin. 2nd Ed. U.S. Army Corps of Engineers, St. Paul District.
- Environmental Laboratory. 1987. Corps of Engineers Wetlands Delineation Manual. Technical Report Y-87-1, U.S. Army Engineer Waterways Experiment Station, Vicksburg, MS.
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- Midwestern Regional Climate Center cli-MATE Database (Web Address: <http://mrcc.isws.illinois.edu/CLIMATE/>)
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- U.S. Army Corps of Engineers. 2015. St. Paul District Regulatory. Special Public Notice. Issued: March 4, 2015. Guidance for Submittal of Delineation Reports to the St. Paul District Army Corps of Engineers and the Wisconsin Department of Natural Resources.
- U.S. Army Corps of Engineers. 2012. *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (Version 2.0)*, ed. J.S. Wakeley, R. W. Lichvar, C.V. Noble, and J.F. Berkowitz. ERDC/EL TR-12-1. Vicksburg, MS: U.S. Army Engineer Research and Development Center.
- USDA Natural Resources Conservation Service Web Soil Survey (Web Address: <http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>)
- USDA NRCS Climate Analysis by County Web Site (WETS). (Web Address: <http://www.wcc.nrcs.usda.gov/climate/wetlands.html>)
- Vasilas, L. M., G. W. Hurt, and J.F. Berkowitz. 2017. "Field indicators of hydric soils in the United States." US Dep. Agric., NRCS, in cooperation with the National Technical Committee for Hydric Soils. Version 8.1.
- Wisconsin Department of Natural Resources, 2016. Surface Water Data Viewer: <http://dnrm.wisconsin.gov/sl/?Viewer=SWDV>.

Appendix A: Figures



BASE MAP FROM USGS 7.5 MINUTE TOPOGRAPHIC QUADRANGLE SERIES.



150 North Patrick Blvd.
Suite 180
Brookfield, WI 53045
Phone: 262.879.1212

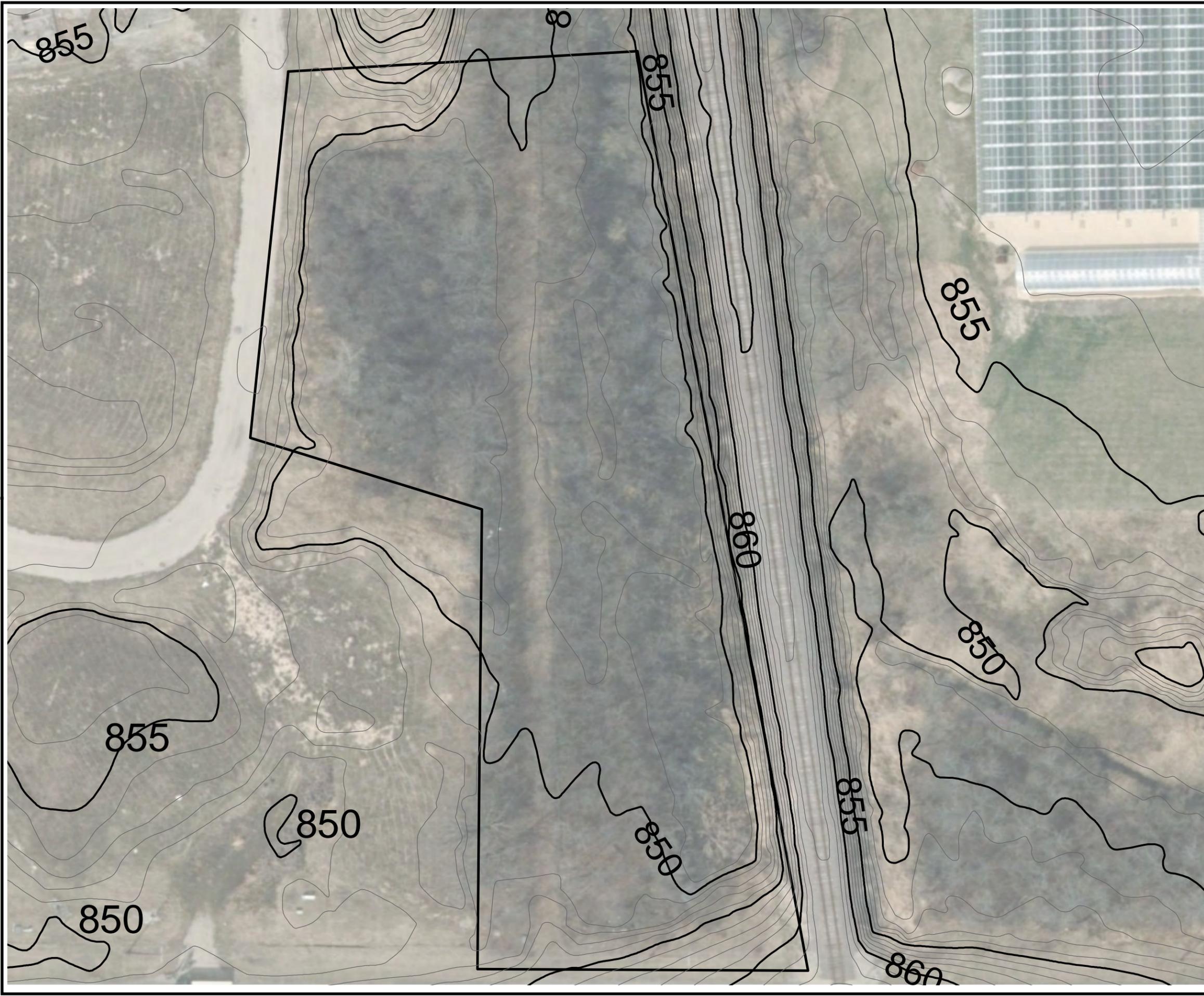
TRC - GIS

PROJECT: **JJ MERKEL CONTRACTOR, INC.
SHERMAN ROAD WETLAND AND WATERWAY DELINEATION
WASHINGTON COUNTY, WI**

TITLE: **SITE LOCATION MAP**

DRAWN BY:	S. MAJOR
CHECKED BY:	A. LARSEN
APPROVED BY:	L. BROTKOWSKI
DATE:	JUNE 2019
PROJ. NO.:	326865
FILE:	326865-001slm.mxd

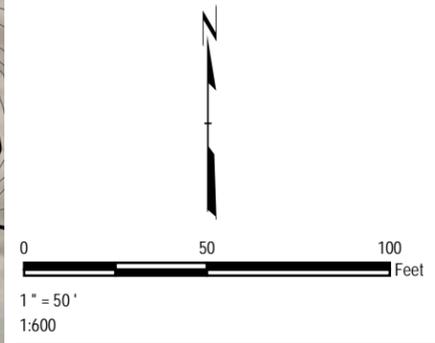
FIGURE 1



LEGEND

-  STUDY
-  5' INDEX CONTOUR
-  INTERMEDIATE CONTOUR

- NOTES**
1. BASE MAP IMAGERY FROM WASHINGTON COUNTY GIS, 2015.
 2. CONTOURS FROM WASHINGTON COUNTY GIS SERVER.



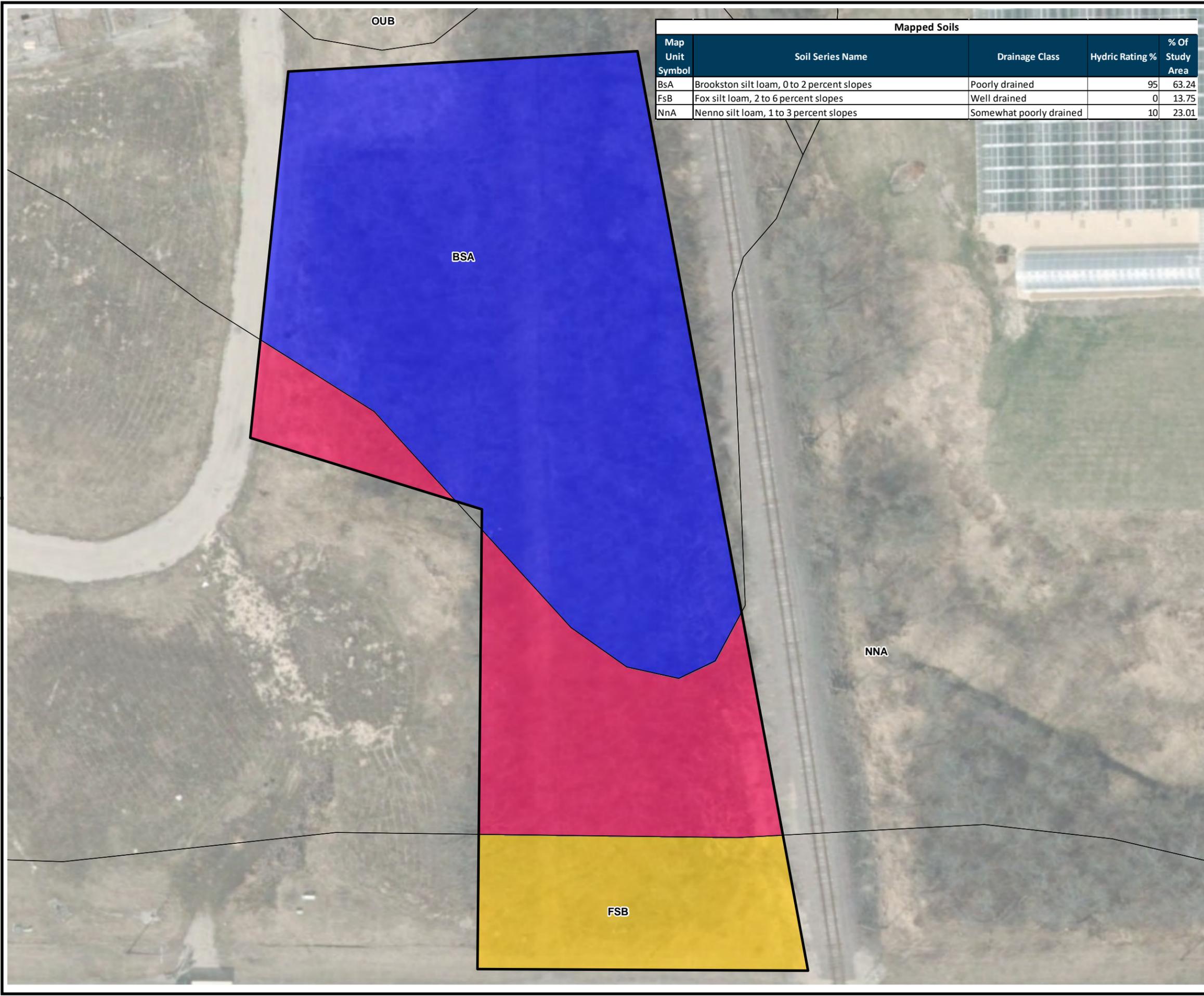
PROJECT:		JJ MERKEL CONTRACTOR, INC.	
TITLE:		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION WASHINGTON COUNTY, WI	
DRAWN BY:		S. MAJOR	
CHECKED BY:		A. LARSEN	
APPROVED BY:		L. BROTKOWSKI	
DATE:		JUNE 2019	
PROJ. NO.:		326865	
DRAWN BY:		S. MAJOR	
CHECKED BY:		A. LARSEN	
APPROVED BY:		L. BROTKOWSKI	
DATE:		JUNE 2019	
PROJ. NO.:		326865	
DRAWN BY:		S. MAJOR	
CHECKED BY:		A. LARSEN	
APPROVED BY:		L. BROTKOWSKI	
DATE:		JUNE 2019	
PROJ. NO.:		326865	

FIGURE 2



150 North Patrick Blvd.
 Suite 180
 Brookfield, WI 53045
 Phone: 262.879.1212

FILE NO: 326865-002ctr.mxd



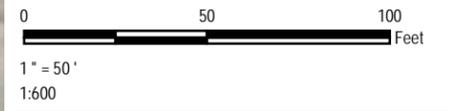
Mapped Soils				
Map Unit Symbol	Soil Series Name	Drainage Class	Hydric Rating %	% Of Study Area
BsA	Brookston silt loam, 0 to 2 percent slopes	Poorly drained	95	63.24
FsB	Fox silt loam, 2 to 6 percent slopes	Well drained	0	13.75
NnA	Nenno silt loam, 1 to 3 percent slopes	Somewhat poorly drained	10	23.01

LEGEND

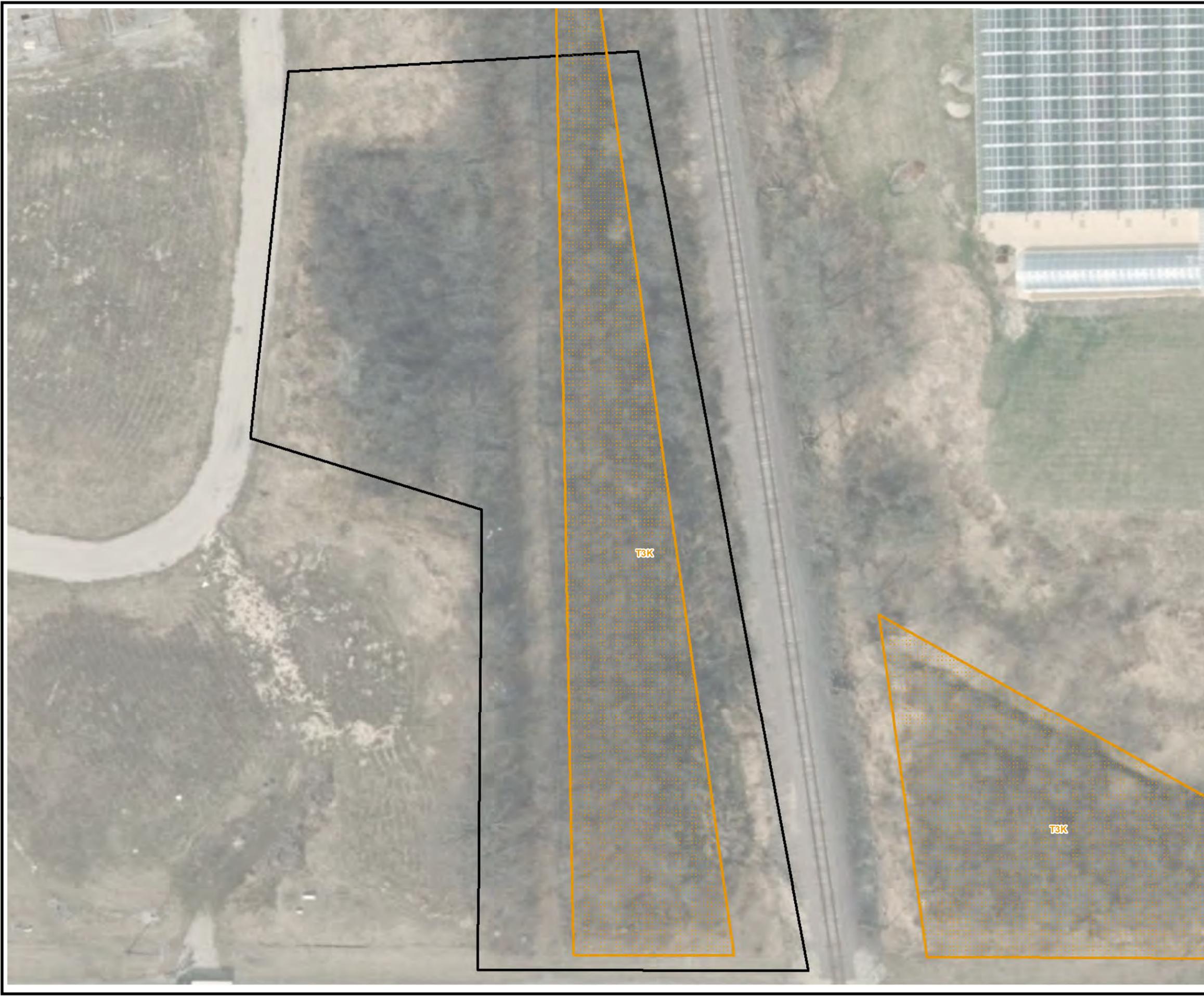
-  STUDY AREA
-  BSA- BROOKSTON SILT LOAM, 0 TO 2 PERCENT SLOPES
-  FSB- FOX SILT LOAM, 2 TO 6 PERCENT SLOPES
-  NNA- NENNO SILT LOAM, 1 TO 3 PERCENT SLOPES

NOTES

1. BASE MAP IMAGERY FROM WASHINGTON COUNTY, 2015.
2. SOILS DATA ACQUIRED FROM USDA/NRCS SSURGO SOILS DATABASE.



PROJECT:		JJ MERKEL CONTRACTOR, INC.	
		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION	
		WASHINGTON COUNTY, WI	
TITLE:			
SOILS MAP			
DRAWN BY:	S. MAJOR	PROJ. NO.:	326865
CHECKED BY:	A. LARSEN	FIGURE 3	
APPROVED BY:	L. BROTKOWSKI		
DATE:	JUNE 2019		
		150 North Patrick Blvd. Suite 180 Brookfield, WI 53045 Phone: 262.879.1212	
FILE NO.:		326865-003soilsx.mxd	

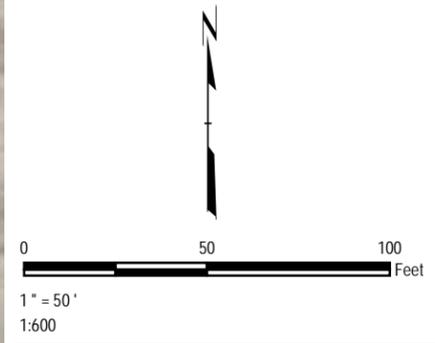


LEGEND

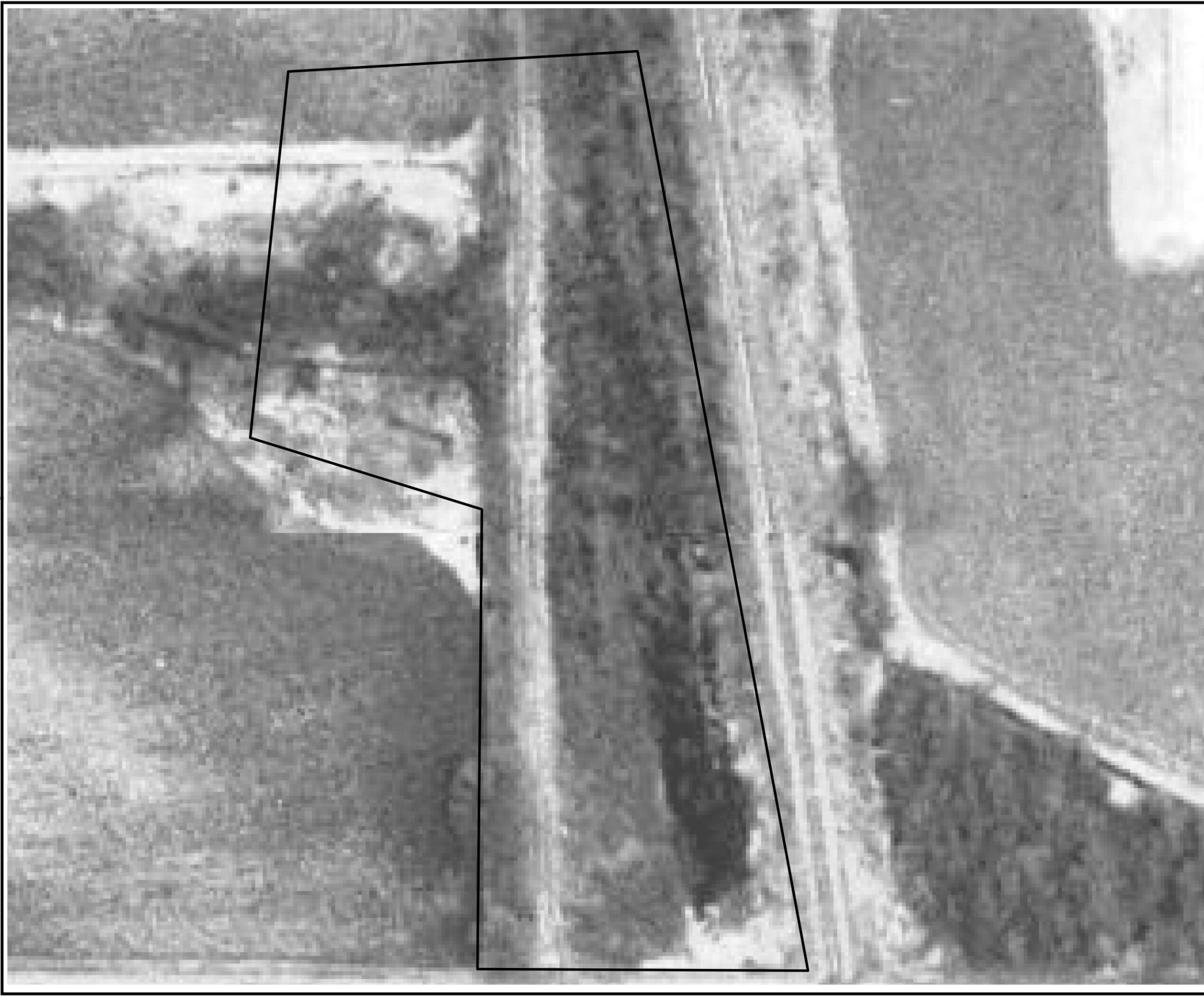
-  STUDY AREA
-  WISCONSIN WETLAND INVENTORY (WWI) WETLAND

NOTES

1. BASE MAP IMAGERY FROM WASHINGTON COUNTY, 2015.
2. WISCONSIN WETLAND INVENTORY WETLANDS FROM WISCONSIN DNR GEODATABASE.



PROJECT:		JJ MERKEL CONTRACTOR, INC.	
		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION	
		WASHINGTON COUNTY, WI	
TITLE:			
WISCONSIN WETLAND INVENTORY MAP			
DRAWN BY:	S. MAJOR	PROJ. NO.:	326865
CHECKED BY:	A. LARSEN	FIGURE 4	
APPROVED BY:	L. BROTKOWSKI		
DATE:	JUNE 2019		
		150 North Patrick Blvd. Suite 180 Brookfield, WI 53045 Phone: 262.879.1212	
FILE NO.:		326865-004WWI.mxd	



LEGEND

 STUDY AREA

NOTES

- 1. BASE MAP IMAGERY FROM WASHINGTON COUNTY GIS, 1995.



0 50 100
Feet

1" = 50'
1:600

PROJECT:		JJ MERKEL CONTRACTOR, INC.	
		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION	
		WASHINGTON COUNTY, WI	
TITLE:		1995 AERIAL MAP	
DRAWN BY:	S. MAJOR	PROJ. NO.:	326865
CHECKED BY:	A. LARSEN	FIGURE 5	
APPROVED BY:	L. BROTKOWSKI		
DATE:	JUNE 2019		
		150 North Patrick Blvd. Suite 180 Brookfield, WI 53045 Phone: 262.879.1212	
FILE NO.:		326865-006Aerial.mxd	



LEGEND

 STUDY AREA

NOTES

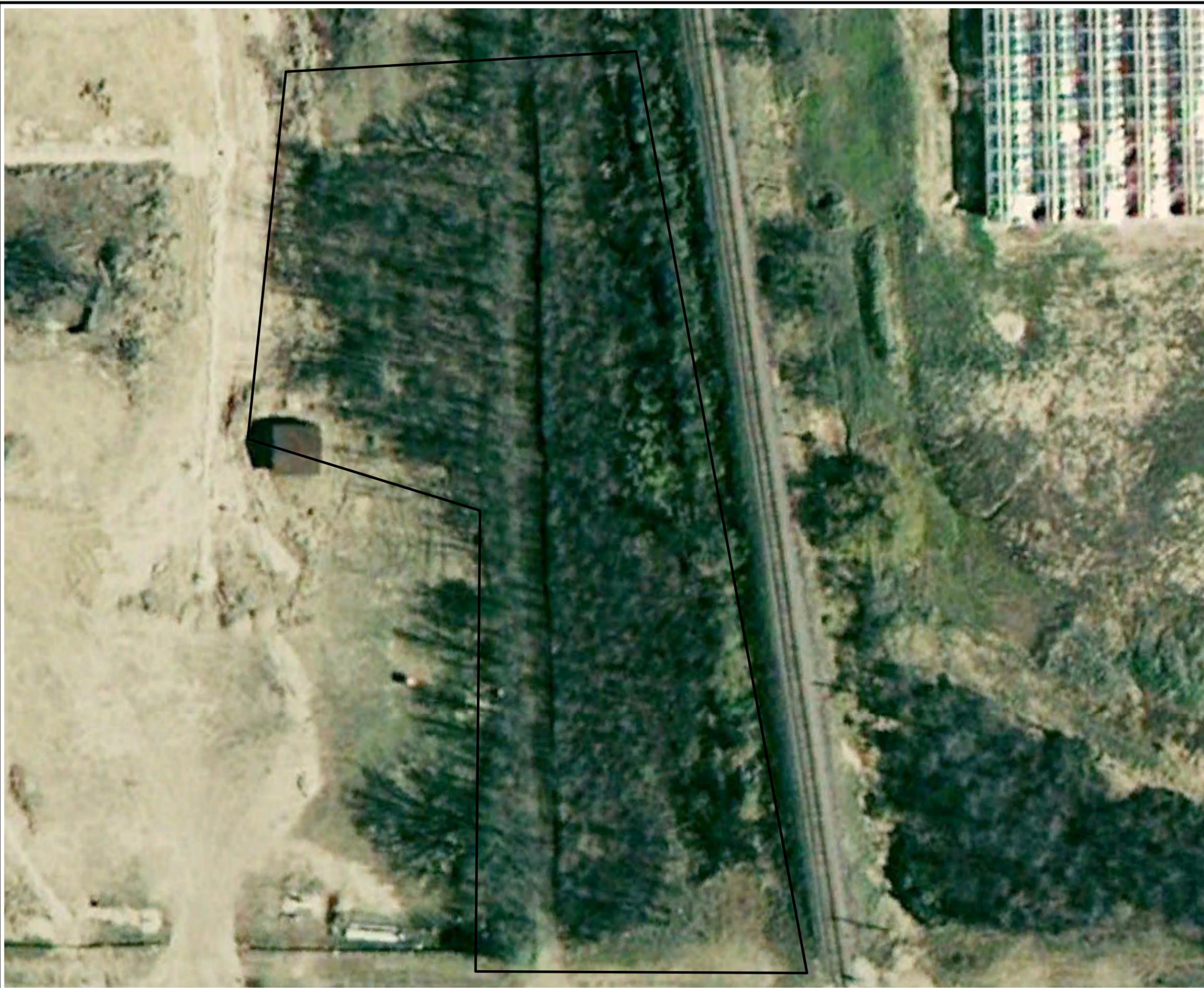
1. BASE MAP IMAGERY FROM WASHINGTON COUNTY GIS, 2000.



0 50 100
Feet

1" = 50'
1:600

PROJECT:		JJ MERKEL CONTRACTOR, INC.	
		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION	
		WASHINGTON COUNTY, WI	
TITLE:			
2000 AERIAL MAP			
DRAWN BY:	S. MAJOR	PROJ. NO.:	326865
CHECKED BY:	A. LARSEN	FIGURE 6	
APPROVED BY:	L. BROTKOWSKI		
DATE:	JUNE 2019		
		150 North Patrick Blvd. Suite 180 Brookfield, WI 53045 Phone: 262.879.1212	
FILE NO.:		326865-007Aerial.mxd	



LEGEND

 STUDY AREA

NOTES

- 1. BASE MAP IMAGERY FROM GOOGLE EARTH PRO, 2005.



0 50 100
Feet
1" = 50'
1:600

PROJECT:		JJ MERKEL CONTRACTOR, INC.	
		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION	
		WASHINGTON COUNTY, WI	
TITLE:			
2005 AERIAL MAP			
DRAWN BY:	S. MAJOR	PROJ. NO.:	326865
CHECKED BY:	A. LARSEN	FIGURE 7	
APPROVED BY:	L. BROTKOWSKI		
DATE:	JUNE 2019		
		150 North Patrick Blvd. Suite 180 Brookfield, WI 53045 Phone: 262.879.1212	
FILE NO.:		326865-008Aerial.mxd	



LEGEND

 STUDY AREA

NOTES

- 1. BASE MAP IMAGERY FROM WASHINGTON COUNTY GIS, 2010.



0 50 100
Feet

1" = 50'
1:600

PROJECT:		JJ MERKEL CONTRACTOR, INC.	
		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION	
		WASHINGTON COUNTY, WI	
TITLE:			
2010 AERIAL MAP			
DRAWN BY:	S. MAJOR	PROJ. NO.:	326865
CHECKED BY:	A. LARSEN	FIGURE 8	
APPROVED BY:	L. BROTKOWSKI		
DATE:	JUNE 2019		
		150 North Patrick Blvd. Suite 180 Brookfield, WI 53045 Phone: 262.879.1212	
FILE NO.:		326865-009Aerial.mxd	



LEGEND

 STUDY AREA

NOTES

- 1. BASE MAP IMAGERY FROM WASHINGTON COUNTY GIS, 2015.



0 50 100
Feet

1" = 50'
1:600

PROJECT:		JJ MERKEL CONTRACTOR, INC.	
		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION	
		WASHINGTON COUNTY, WI	
TITLE:			
2015 AERIAL MAP			
DRAWN BY:	S. MAJOR	PROJ. NO.:	326865
CHECKED BY:	A. LARSEN	FIGURE 9	
APPROVED BY:	L. BROTKOWSKI		
DATE:	JUNE 2019		
		150 North Patrick Blvd. Suite 180 Brookfield, WI 53045 Phone: 262.879.1212	
FILE NO.:		326865-010Aerial.mxd	

Appendix B:
Antecedent Precipitation Data / WETS Analysis

Table 3. Antecedent Precipitation Data					
February 16, 2019 - May 16, 2019					
Precipitation Data Source Location					
Jackson (WI) USC00473930					
3rd Month Prior		2nd Month Prior		1st Month Prior	
Date	PPT	Date	PPT	Date	PPT
2/16/2019	0.00	3/18/2019	0.00	4/17/2019	0.16
2/17/2019	0.00	3/19/2019	0.00	4/18/2019	0.08
2/18/2019	0.13	3/20/2019	0.00	4/19/2019	0.00
2/19/2019	0.00	3/21/2019	0.01	4/20/2019	0.00
2/20/2019	0.00	3/22/2019	0.00	4/21/2019	0.00
2/21/2019	0.35	3/23/2019	0.00	4/22/2019	0.00
2/22/2019	0.00	3/24/2019	0.00	4/23/2019	1.37
2/23/2019	0.00	3/25/2019	0.00	4/24/2019	0.00
2/24/2019	0.36	3/26/2019	0.00	4/25/2019	0.00
2/25/2019	0.00	3/27/2019	0.00	4/26/2019	0.25
2/26/2019	0.00	3/28/2019	0.00	4/27/2019	0.00
2/27/2019	0.08	3/29/2019	0.00	4/28/2019	T
2/28/2019	0.01	3/30/2019	0.00	4/29/2019	0.02
3/1/2019	0.00	3/31/2019	0.00	4/30/2019	0.32
3/2/2019	0.03	4/1/2019	0.00	5/1/2019	0.23
3/3/2019	0.00	4/2/2019	0.01	5/2/2019	0.04
3/4/2019	0.00	4/3/2019	0.06	5/3/2019	M
3/5/2019	0.00	4/4/2019	0.00	5/4/2019	0.00
3/6/2019	0.00	4/5/2019	0.00	5/5/2019	0.00
3/7/2019	0.00	4/6/2019	0.00	5/6/2019	0.34
3/8/2019	0.00	4/7/2019	0.00	5/7/2019	0.06
3/9/2019	0.00	4/8/2019	0.09	5/8/2019	0.00
3/10/2019	0.62	4/9/2019	0.00	5/9/2019	0.51
3/11/2019	0.00	4/10/2019	0.00	5/10/2019	0.01
3/12/2019	0.00	4/11/2019	0.33	5/11/2019	0.00
3/13/2019	0.02	4/12/2019	0.23	5/12/2019	0.00
3/14/2019	0.11	4/13/2019	0.00	5/13/2019	0.00
3/15/2019	0.11	4/14/2019	0.00	5/14/2019	0.00
3/16/2019	0.00	4/15/2019	0.36	5/15/2019	0.00
3/17/2019	0.00	4/16/2019	0.01	5/16/2019	0.00
Total =	1.82	Total =	1.10	Total =	3.39

PPT - Precipitation in inches

T - Trace

M - Missing



**Appendix C:
Wetland and Waterway Delineation Map**



LEGEND

- STUDY AREA
- WETLAND SAMPLE POINT
- UPLAND SAMPLE POINT
- TRC DELINEATED WETLAND

NOTES

- BASE MAP IMAGERY FROM WASHINGTON COUNTY, 2015.

0 50 100
Feet

1" = 50'
1:600

PROJECT:		JJ MERKEL CONTRACTOR, INC.	
		SHERMAN ROAD WETLAND AND WATERWAY DELINEATION	
		WASHINGTON COUNTY, WI	
TITLE:			
WETLAND & WATERWAY DELINEATION MAP			
DRAWN BY:	S. MAJOR	PROJ. NO.:	326865
CHECKED BY:	A. LARSEN	EXHIBIT A	
APPROVED BY:	L. BROTKOWSKI		
DATE:	JUNE 2019		
		150 North Patrick Blvd. Suite 180 Brookfield, WI 53045 Phone: 262.879.1212	
FILE NO.:	326865-005\WIDelin.mxd		

**Appendix D:
Wetland Determination Data Forms**

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Sherman Road City/County: Jackson, Washington Sampling Date: 2019-May-17
 Applicant/Owner: Joseph Merkel State: Wisconsin Sampling Point: DP-01
 Investigator(s): Lesley Brotkowski Section, Township, Range: 19-T10N-R20E
 Landform (hillslope, terrace, etc.): Back slope Local relief (concave, convex, none): Convex Slope (%): 1-3
 Subregion (LRR or MLRA): LRR K Lat: 43.30977 Long: -88.16425 Datum: WGS84
 Soil Map Unit Name: Fox silt loam, 2 to 6 percent slopes WWI classification: T3K

Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation Soil or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation Soil or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Hydric Soil Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, optional Wetland Site ID:	
Wetland Hydrology Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
Remarks: (Explain alternative procedures here or in a separate report)			
Based on the absence of all three parameters, this area is an upland. Sample point is located in an area of a WWI mapped wetland to document wetland absence.			

HYDROLOGY

Wetland Hydrology Indicators:		
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Marl Deposits (B15)	<input type="checkbox"/> Moss Trim Lines (B16)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Stunted or Stressed Plants (D1)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)		<input type="checkbox"/> Microtopographic Relief (D4)
		<input type="checkbox"/> FAC-Neutral Test (D5)
Field Observations:		
Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	
Saturation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> (includes capillary fringe)	Depth (inches): _____	
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:		
USGS topo map, contour map, NRCS soils map, WWI map, aerial imagery, WETS Analysis		
Remarks:		
The criterion for wetland hydrology is not met. Based on WETS analysis, antecedent hydrologic conditions are within a normal range.		

VEGETATION -- Use scientific names of plants.

Sampling Point: DP-01

	Absolute % Cover	Dominant Species?	Indicator Status	
Tree Stratum (Plot size: 30' r)				Dominance Test worksheet:
1. <i>Fraxinus pennsylvanica</i>	35	Yes	FACW	Number of Dominant Species That Are OBL, FACW, or FAC: 2 (A)
2. _____	_____	_____	_____	Total Number of Dominant Species Across All Strata: 5 (B)
3. _____	_____	_____	_____	Percent of Dominant Species That Are OBL, FACW, or FAC: 40 (A/B)
4. _____	_____	_____	_____	Prevalence Index worksheet:
5. _____	_____	_____	_____	Total % Cover of:
6. _____	_____	_____	_____	Multiply By:
7. _____	_____	_____	_____	OBL species 0 x 1 = 0
	35 = Total Cover			FACW species 35 x 2 = 70
Sapling/Shrub Stratum (Plot size: 15' r)				FAC species 40 x 3 = 120
1. <i>Lonicera X bella</i>	20	Yes	FACU	FACU species 130 x 4 = 520
2. <i>Prunus virginiana</i>	20	Yes	FACU	UPL species 10 x 5 = 50
3. <i>Rhamnus cathartica</i>	20	Yes	FAC	Column Totals 215 (A) 760 (B)
4. _____	_____	_____	_____	Prevalence Index = B/A = 3.5
5. _____	_____	_____	_____	Hydrophytic Vegetation Indicators:
6. _____	_____	_____	_____	___ 1- Rapid Test for Hydrophytic Vegetation
7. _____	_____	_____	_____	___ 2 - Dominance Test is > 50%
	60 = Total Cover			___ 3 - Prevalence Index is ≤ 3.0 ¹
Herb Stratum (Plot size: 5' r)				___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet)
1. <i>Erythronium albidum</i>	75	Yes	FACU	___ Problematic Hydrophytic Vegetation ¹ (Explain)
2. <i>Rhamnus cathartica</i>	20	No	FAC	¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic
3. <i>Fragaria virginiana</i>	15	No	FACU	Definitions of Vegetation Strata:
4. <i>Carex pensylvanica</i>	10	No	UPL	Tree – Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height.
5. _____	_____	_____	_____	Sapling/shrub – Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall.
6. _____	_____	_____	_____	Herb – All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall.
7. _____	_____	_____	_____	Woody vines – All woody vines greater than 3.28 ft in height.
8. _____	_____	_____	_____	Hydrophytic Vegetation Present? Yes ___ No <input checked="" type="checkbox"/>
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
12. _____	_____	_____	_____	
	120 = Total Cover			
Woody Vine Stratum (Plot size: 30' r)				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
	0 = Total Cover			
Remarks: (Include photo numbers here or on a separate sheet.)				
The criterion for hydrophytic vegetation is not met. Upland woodland.				

Photo of Sample Plot



DP-1 facing northeast

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Sherman Road City/County: Jackson, Washington Sampling Date: 2019-May-17
 Applicant/Owner: Joseph Merkel State: Wisconsin Sampling Point: DP-02
 Investigator(s): Lesley Brotkowski Section, Township, Range: 19-T10N-R20E
 Landform (hillslope, terrace, etc.): Toe slope Local relief (concave, convex, none): Concave Slope (%): 1-3
 Subregion (LRR or MLRA): LRR K Lat: 43.30983 Long: -88.16418 Datum: WGS84
 Soil Map Unit Name: Nenno silt loam, 1 to 3 percent slopes WWI classification: T3K

Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation Soil or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation Soil or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Hydric Soil Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Wetland Hydrology Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	If yes, optional Wetland Site ID:	W-1
Remarks: (Explain alternative procedures here or in a separate report)			
Based on the presence of all three parameters, this area is a wetland. Wetland ID: W-1			

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input checked="" type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input checked="" type="checkbox"/> High Water Table (A2)	<input checked="" type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Marl Deposits (B15)	<input type="checkbox"/> Moss Trim Lines (B16)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Dry-Season Water Table (C2)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input checked="" type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Shallow Aquitard (D3)	
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)		<input type="checkbox"/> Microtopographic Relief (D4)	
		<input checked="" type="checkbox"/> FAC-Neutral Test (D5)	
Field Observations:			
Surface Water Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches):	<u>1</u>
Water Table Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches):	<u>0</u>
Saturation Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches):	<u>0</u>
(includes capillary fringe)		Wetland Hydrology Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:			
USGS topo map, contour map, NRCS soils map, WWI map, aerial imagery, WETS Analysis			
Remarks:			
The criterion for wetland hydrology is met. Based on WETS analysis, antecedent hydrologic conditions are within a normal range. Aquatic fauna included a snail shell at DP-2. A frog was also observed in open water in this wetland near DP-2.			

VEGETATION -- Use scientific names of plants.

Sampling Point: DP-02

	Absolute % Cover	Dominant Species?	Indicator Status	
Tree Stratum (Plot size: 30' r)				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>5</u> (A) Total Number of Dominant Species Across All Strata: <u>6</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>83.3</u> (A/B)
1. <i>Fraxinus pennsylvanica</i>	20	Yes	FACW	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
			20 = Total Cover	
Sapling/Shrub Stratum (Plot size: 15' r)				
1. <i>Cornus racemosa</i>	20	Yes	FAC	
2. <i>Rhamnus cathartica</i>	15	Yes	FAC	
3. <i>Lonicera X bella</i>	10	Yes	FACU	
4. <i>Salix interior</i>	5	No	FACW	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
			50 = Total Cover	
Herb Stratum (Plot size: 5' r)				
1. <i>Carex stipata</i>	35	Yes	OBL	
2. <i>Phalaris arundinacea</i>	10	Yes	FACW	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
11. _____	_____	_____	_____	
12. _____	_____	_____	_____	
			45 = Total Cover	
Woody Vine Stratum (Plot size: 30' r)				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
			0 = Total Cover	
Remarks: (Include photo numbers here or on a separate sheet.) The criterion for hydrophytic vegetation is met. Hardwood Swamp plant community.				

Photo of Sample Plot



DP-2 facing northeast

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Sherman Road City/County: Jackson, Washington Sampling Date: 2019-May-17
 Applicant/Owner: Joseph Merkel State: Wisconsin Sampling Point: DP-03
 Investigator(s): Lesley Brotkowski Section, Township, Range: 19-T10N-R20E
 Landform (hillslope, terrace, etc.): Back slope Local relief (concave, convex, none): Convex Slope (%): 1-3
 Subregion (LRR or MLRA): LRR K Lat: 43.30985 Long: -88.16444 Datum: WGS84
 Soil Map Unit Name: Nenno silt loam, 1 to 3 percent slopes WWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation Soil or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation Soil or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
Hydric Soil Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Wetland Hydrology Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, optional Wetland Site ID:	
Remarks: (Explain alternative procedures here or in a separate report)			
Based on the absence of all three parameters, this area is an upland.			

HYDROLOGY

Wetland Hydrology Indicators:	
Primary Indicators (minimum of one is required; check all that apply) <input type="checkbox"/> Surface Water (A1) <input type="checkbox"/> Water-Stained Leaves (B9) <input type="checkbox"/> High Water Table (A2) <input type="checkbox"/> Aquatic Fauna (B13) <input type="checkbox"/> Saturation (A3) <input type="checkbox"/> Marl Deposits (B15) <input type="checkbox"/> Water Marks (B1) <input type="checkbox"/> Hydrogen Sulfide Odor (C1) <input type="checkbox"/> Sediment Deposits (B2) <input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3) <input type="checkbox"/> Drift Deposits (B3) <input type="checkbox"/> Presence of Reduced Iron (C4) <input type="checkbox"/> Algal Mat or Crust (B4) <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) <input type="checkbox"/> Iron Deposits (B5) <input type="checkbox"/> Thin Muck Surface (C7) <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) <input type="checkbox"/> Other (Explain in Remarks) <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	Secondary Indicators (minimum of two required) <input type="checkbox"/> Surface Soil Cracks (B6) <input type="checkbox"/> Drainage Patterns (B10) <input type="checkbox"/> Moss Trim Lines (B16) <input type="checkbox"/> Dry-Season Water Table (C2) <input type="checkbox"/> Crayfish Burrows (C8) <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) <input type="checkbox"/> Stunted or Stressed Plants (D1) <input type="checkbox"/> Geomorphic Position (D2) <input type="checkbox"/> Shallow Aquitard (D3) <input type="checkbox"/> Microtopographic Relief (D4) <input type="checkbox"/> FAC-Neutral Test (D5)
Field Observations:	
Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____
Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____
Saturation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____
(includes capillary fringe)	
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:	
USGS topo map, contour map, NRCS soils map, WWI map, aerial imagery, WETS Analysis	
Remarks:	
The criterion for wetland hydrology is not met. Based on WETS analysis, antecedent hydrologic conditions are within a normal range.	

VEGETATION -- Use scientific names of plants.

Sampling Point: DP-03

	Absolute % Cover	Dominant Species?	Indicator Status																									
Tree Stratum (Plot size: 30' r)				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>3</u> (A) Total Number of Dominant Species Across All Strata: <u>7</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>42.9</u> (A/B) Prevalence Index worksheet: <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;"></th> <th style="width: 25%; text-align: center;"><u>Total % Cover of:</u></th> <th style="width: 25%; text-align: center;"><u>Multiply By:</u></th> </tr> </thead> <tbody> <tr> <td>OBL species</td> <td style="text-align: center;"><u>0</u></td> <td style="text-align: center;">x 1 = <u>0</u></td> </tr> <tr> <td>FACW species</td> <td style="text-align: center;"><u>15</u></td> <td style="text-align: center;">x 2 = <u>30</u></td> </tr> <tr> <td>FAC species</td> <td style="text-align: center;"><u>100</u></td> <td style="text-align: center;">x 3 = <u>300</u></td> </tr> <tr> <td>FACU species</td> <td style="text-align: center;"><u>125</u></td> <td style="text-align: center;">x 4 = <u>500</u></td> </tr> <tr> <td>UPL species</td> <td style="text-align: center;"><u>0</u></td> <td style="text-align: center;">x 5 = <u>0</u></td> </tr> <tr> <td>Column Totals</td> <td style="text-align: center;"><u>240</u></td> <td style="text-align: center;">(A) <u>830</u> (B)</td> </tr> <tr> <td colspan="3" style="text-align: right;">Prevalence Index = B/A = <u>3.5</u></td> </tr> </tbody> </table>		<u>Total % Cover of:</u>	<u>Multiply By:</u>	OBL species	<u>0</u>	x 1 = <u>0</u>	FACW species	<u>15</u>	x 2 = <u>30</u>	FAC species	<u>100</u>	x 3 = <u>300</u>	FACU species	<u>125</u>	x 4 = <u>500</u>	UPL species	<u>0</u>	x 5 = <u>0</u>	Column Totals	<u>240</u>	(A) <u>830</u> (B)	Prevalence Index = B/A = <u>3.5</u>		
	<u>Total % Cover of:</u>	<u>Multiply By:</u>																										
OBL species	<u>0</u>	x 1 = <u>0</u>																										
FACW species	<u>15</u>	x 2 = <u>30</u>																										
FAC species	<u>100</u>	x 3 = <u>300</u>																										
FACU species	<u>125</u>	x 4 = <u>500</u>																										
UPL species	<u>0</u>	x 5 = <u>0</u>																										
Column Totals	<u>240</u>	(A) <u>830</u> (B)																										
Prevalence Index = B/A = <u>3.5</u>																												
1. <i>Quercus alba</i>	20	Yes	FACU																									
2. <i>Fraxinus pennsylvanica</i>	15	Yes	FACW																									
3. <i>Tilia americana</i>	15	Yes	FACU																									
4. _____																												
5. _____																												
6. _____																												
7. _____																												
50 = Total Cover																												
Sapling/Shrub Stratum (Plot size: 15' r)																												
1. <i>Rhamnus cathartica</i>	70	Yes	FAC																									
2. <i>Lonicera X bella</i>	20	Yes	FACU																									
3. _____																												
4. _____																												
5. _____																												
6. _____																												
7. _____																												
90 = Total Cover																												
Herb Stratum (Plot size: 5' r)																												
1. <i>Erythronium albidum</i>	70	Yes	FACU																									
2. <i>Hydrophyllum virginianum</i>	25	Yes	FAC																									
3. <i>Rhamnus cathartica</i>	5	No	FAC																									
4. _____																												
5. _____																												
6. _____																												
7. _____																												
8. _____																												
9. _____																												
10. _____																												
11. _____																												
12. _____																												
100 = Total Cover																												
Woody Vine Stratum (Plot size: 30' r)																												
1. _____																												
2. _____																												
3. _____																												
4. _____																												
0 = Total Cover																												

Hydrophytic Vegetation Indicators:
 ___ 1- Rapid Test for Hydrophytic Vegetation
 ___ 2 - Dominance Test is > 50%
 ___ 3 - Prevalence Index is ≤ 3.0¹
 ___ 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
 ___ Problematic Hydrophytic Vegetation¹ (Explain)
¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic

Definitions of Vegetation Strata:
Tree – Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height.
Sapling/shrub – Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall.
Herb – All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall.
Woody vines – All woody vines greater than 3.28 ft in height.

Hydrophytic Vegetation Present? Yes ___ No

Remarks: (Include photo numbers here or on a separate sheet.)

The criterion for hydrophytic vegetation is not met. Upland woodland.

Photo of Sample Plot



DP-3 facing northwest

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Sherman Road City/County: Jackson, Washington Sampling Date: 2019-May-17
 Applicant/Owner: Joseph Merkel State: Wisconsin Sampling Point: DP-04
 Investigator(s): Lesley Brotkowski Section, Township, Range: 19-T10N-R20E
 Landform (hillslope, terrace, etc.): Foot slope Local relief (concave, convex, none): Concave Slope (%): 1-3
 Subregion (LRR or MLRA): LRR K Lat: 43.30997 Long: -88.16444 Datum: WGS84
 Soil Map Unit Name: Nenno silt loam, 1 to 3 percent slopes WWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation Soil or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation Soil or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Hydric Soil Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Wetland Hydrology Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	If yes, optional Wetland Site ID:	W-1
Remarks: (Explain alternative procedures here or in a separate report)			
Based on the presence of all three parameters, this area is a wetland. Wetland ID: W-1			

HYDROLOGY

Wetland Hydrology Indicators:		
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Marl Deposits (B15)	<input type="checkbox"/> Moss Trim Lines (B16)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Stunted or Stressed Plants (D1)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input checked="" type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)		<input type="checkbox"/> Microtopographic Relief (D4)
		<input checked="" type="checkbox"/> FAC-Neutral Test (D5)
Field Observations:		
Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	
Saturation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	
(includes capillary fringe)		
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:		
USGS topo map, contour map, NRCS soils map, WWI map, aerial imagery, WETS Analysis		
Remarks:		
The criterion for wetland hydrology is met. Based on WETS analysis, antecedent hydrologic conditions are within a normal range.		

VEGETATION -- Use scientific names of plants.

Sampling Point: DP-04

	Absolute % Cover	Dominant Species?	Indicator Status																	
Tree Stratum (Plot size: 30' r)				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>5</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B) Prevalence Index worksheet: <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%; text-align: center;">Total % Cover of:</th> <th style="width: 50%; text-align: center;">Multiply By:</th> </tr> </thead> <tbody> <tr> <td>OBL species <u>0</u></td> <td>x 1 = <u>0</u></td> </tr> <tr> <td>FACW species <u>45</u></td> <td>x 2 = <u>90</u></td> </tr> <tr> <td>FAC species <u>120</u></td> <td>x 3 = <u>360</u></td> </tr> <tr> <td>FACU species <u>5</u></td> <td>x 4 = <u>20</u></td> </tr> <tr> <td>UPL species <u>0</u></td> <td>x 5 = <u>0</u></td> </tr> <tr> <td>Column Totals <u>170</u></td> <td>(A) <u>470</u> (B)</td> </tr> <tr> <td colspan="2" style="text-align: center;">Prevalence Index = B/A = <u>2.8</u></td> </tr> </tbody> </table>	Total % Cover of:	Multiply By:	OBL species <u>0</u>	x 1 = <u>0</u>	FACW species <u>45</u>	x 2 = <u>90</u>	FAC species <u>120</u>	x 3 = <u>360</u>	FACU species <u>5</u>	x 4 = <u>20</u>	UPL species <u>0</u>	x 5 = <u>0</u>	Column Totals <u>170</u>	(A) <u>470</u> (B)	Prevalence Index = B/A = <u>2.8</u>	
Total % Cover of:	Multiply By:																			
OBL species <u>0</u>	x 1 = <u>0</u>																			
FACW species <u>45</u>	x 2 = <u>90</u>																			
FAC species <u>120</u>	x 3 = <u>360</u>																			
FACU species <u>5</u>	x 4 = <u>20</u>																			
UPL species <u>0</u>	x 5 = <u>0</u>																			
Column Totals <u>170</u>	(A) <u>470</u> (B)																			
Prevalence Index = B/A = <u>2.8</u>																				
1. <i>Fraxinus pennsylvanica</i>	25	Yes	FACW																	
2. <i>Quercus bicolor</i>	20	Yes	FACW																	
3. _____																				
4. _____																				
5. _____																				
6. _____																				
7. _____																				
<u>45</u> = Total Cover																				
Sapling/Shrub Stratum (Plot size: 15' r)																				
1. <i>Rhamnus cathartica</i>	80	Yes	FAC																	
2. <i>Lonicera X bella</i>	5	No	FACU																	
3. _____																				
4. _____																				
5. _____																				
6. _____																				
7. _____																				
<u>85</u> = Total Cover																				
Herb Stratum (Plot size: 5' r)																				
1. <i>Hydrophyllum virginianum</i>	30	Yes	FAC																	
2. <i>Rhamnus cathartica</i>	10	Yes	FAC																	
3. _____																				
4. _____																				
5. _____																				
6. _____																				
7. _____																				
8. _____																				
9. _____																				
10. _____																				
11. _____																				
12. _____																				
<u>40</u> = Total Cover																				
Woody Vine Stratum (Plot size: 30' r)																				
1. _____																				
2. _____																				
3. _____																				
4. _____																				
<u>0</u> = Total Cover																				
Remarks: (Include photo numbers here or on a separate sheet.) The criterion for hydrophytic vegetation is met. Hardwood Swamp plant community.																				

SOIL

Sampling Point: DP-04

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0 - 6	10YR 3/2	100					Sandy Clay Loam	
6 - 20	10YR 3/2	95	10YR 4/6	5	C	M	Sandy Clay Loam	
20 - 24	10YR 3/2	85	10YR 4/6	15	C	M	Clay Loam	

¹Type: C = Concentration, D = Depletion, RM = Reduced Matrix, MS = Masked Sand Grains. ²Location: PL = Pore Lining, M = Matrix.

Hydric Soil Indicators:		Indicators for Problematic Hydric Soils³:	
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Polyvalue Below Surface (S8) (LRR R, MLRA 149B)	<input type="checkbox"/> 2 cm Muck (A10) (LRR K, L, MLRA 149B)	
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Thin Dark Surface (S9) (LRR R, MLRA 149B)	<input type="checkbox"/> Coast Prairie Redox (A16) (LRR K, L, R)	
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (LRR K, L)	<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3) (LRR K, L, R)	
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> Dark Surface (S7) (LRR K, L)	
<input type="checkbox"/> Stratified Layers (A5)	<input type="checkbox"/> Depleted Matrix (F3)	<input type="checkbox"/> Polyvalue Below Surface (S8) (LRR K, L)	
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input checked="" type="checkbox"/> Redox Dark Surface (F6)	<input type="checkbox"/> Thin Dark Surface (S9) (LRR K, L)	
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)	<input type="checkbox"/> Iron-Manganese Masses (F12) (LRR K, L, R)	
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)	<input type="checkbox"/> Piedmont Floodplain Soils (F19) (MLRA 149B)	
<input type="checkbox"/> Sandy Gleyed Matrix (S4)		<input type="checkbox"/> Mesic Spodic (TA6) (MLRA 144A, 145, 149B)	
<input type="checkbox"/> Sandy Redox (S5)		<input type="checkbox"/> Red Parent Material (F21)	
<input type="checkbox"/> Stripped Matrix (S6)		<input type="checkbox"/> Very Shallow Dark Surface (TF12)	
<input type="checkbox"/> Dark Surface (S7) (LRR R, MLRA 149B)		<input type="checkbox"/> Other (Explain in Remarks)	

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):		Hydric Soil Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Type:	None		
Depth (inches):	NA		

Remarks:

The criterion for hydric soil is met.

Photo of Sample Plot



DP-4 facing northwest

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Sherman Road City/County: Jackson, Washington Sampling Date: 2019-May-17
 Applicant/Owner: Joseph Merkel State: Wisconsin Sampling Point: DP-05
 Investigator(s): Lesley Brotkowski Section, Township, Range: 19-T10N-R20E
 Landform (hillslope, terrace, etc.): Terrace Local relief (concave, convex, none): Convex Slope (%): 1-3
 Subregion (LRR or MLRA): LRR K Lat: 43.31079 Long: -88.16442 Datum: WGS84
 Soil Map Unit Name: Brookston silt loam, 0 to 2 percent slopes WWI classification: None
 Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation Soil or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation Soil or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Hydric Soil Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Wetland Hydrology Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, optional Wetland Site ID:
Remarks: (Explain alternative procedures here or in a separate report)		
Based on the absence of all three parameters, this area is an upland. Circumstances not normal due to disturbed soil from historic access road fill.		

HYDROLOGY

Wetland Hydrology Indicators:		
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Marl Deposits (B15)	<input type="checkbox"/> Moss Trim Lines (B16)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Stunted or Stressed Plants (D1)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)		<input type="checkbox"/> Microtopographic Relief (D4)
		<input type="checkbox"/> FAC-Neutral Test (D5)
Field Observations:		
Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	
Saturation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	
(includes capillary fringe)		
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:		
USGS topo map, contour map, NRCS soils map, WWI map, aerial imagery, WETS Analysis		
Remarks:		
The criterion for wetland hydrology is not met. Based on WETS analysis, antecedent hydrologic conditions are within a normal range.		

VEGETATION -- Use scientific names of plants.

Sampling Point: DP-05

	Absolute % Cover	Dominant Species?	Indicator Status																																									
Tree Stratum (Plot size: <u>30' r</u>)				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>40</u> (A/B)																																								
1.																																												
2.																																												
3.																																												
4.																																												
5.																																												
6.																																												
7.																																												
<u>0</u> = Total Cover																																												
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)																																												
1.	<i>Rhamnus cathartica</i>	25	Yes	FAC																																								
2.	<i>Prunus virginiana</i>	20	Yes	FACU																																								
3.	<i>Lonicera X bella</i>	15	Yes	FACU																																								
4.	<i>Rubus allegheniensis</i>	5	No	FACU																																								
5.																																												
6.																																												
7.																																												
<u>65</u> = Total Cover																																												
Herb Stratum (Plot size: <u>5' r</u>)																																												
1.	<i>Geranium maculatum</i>	60	Yes	FACU																																								
2.	<i>Hydrophyllum virginianum</i>	20	Yes	FAC																																								
3.	<i>Sanguinaria canadensis</i>	10	No	FACU																																								
4.	<i>Fragaria virginiana</i>	5	No	FACU																																								
5.	<i>Rhamnus cathartica</i>	5	No	FAC																																								
6.																																												
7.																																												
8.																																												
9.																																												
10.																																												
11.																																												
12.																																												
<u>100</u> = Total Cover																																												
Woody Vine Stratum (Plot size: <u>30' r</u>)																																												
1.																																												
2.																																												
3.																																												
4.																																												
<u>0</u> = Total Cover																																												
Remarks: (Include photo numbers here or on a separate sheet.)				Prevalence Index worksheet: <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 40%;"></th> <th style="width: 10%; text-align: center;">Total % Cover of:</th> <th style="width: 10%;"></th> <th style="width: 10%; text-align: center;">Multiply By:</th> <th style="width: 10%;"></th> </tr> </thead> <tbody> <tr> <td>OBL species</td> <td style="text-align: center;"><u>0</u></td> <td></td> <td style="text-align: center;">x 1 =</td> <td style="text-align: center;"><u>0</u></td> </tr> <tr> <td>FACW species</td> <td style="text-align: center;"><u>0</u></td> <td></td> <td style="text-align: center;">x 2 =</td> <td style="text-align: center;"><u>0</u></td> </tr> <tr> <td>FAC species</td> <td style="text-align: center;"><u>50</u></td> <td></td> <td style="text-align: center;">x 3 =</td> <td style="text-align: center;"><u>150</u></td> </tr> <tr> <td>FACU species</td> <td style="text-align: center;"><u>115</u></td> <td></td> <td style="text-align: center;">x 4 =</td> <td style="text-align: center;"><u>460</u></td> </tr> <tr> <td>UPL species</td> <td style="text-align: center;"><u>0</u></td> <td></td> <td style="text-align: center;">x 5 =</td> <td style="text-align: center;"><u>0</u></td> </tr> <tr> <td>Column Totals</td> <td style="text-align: center;"><u>165</u></td> <td style="text-align: center;">(A)</td> <td></td> <td style="text-align: center;"><u>610</u> (B)</td> </tr> <tr> <td colspan="4" style="text-align: right;">Prevalence Index = B/A =</td> <td style="text-align: center;"><u>3.7</u></td> </tr> </tbody> </table> Hydrophytic Vegetation Indicators: ___ 1- Rapid Test for Hydrophytic Vegetation ___ 2 - Dominance Test is > 50% ___ 3 - Prevalence Index is ≤ 3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic		Total % Cover of:		Multiply By:		OBL species	<u>0</u>		x 1 =	<u>0</u>	FACW species	<u>0</u>		x 2 =	<u>0</u>	FAC species	<u>50</u>		x 3 =	<u>150</u>	FACU species	<u>115</u>		x 4 =	<u>460</u>	UPL species	<u>0</u>		x 5 =	<u>0</u>	Column Totals	<u>165</u>	(A)		<u>610</u> (B)	Prevalence Index = B/A =				<u>3.7</u>
	Total % Cover of:		Multiply By:																																									
OBL species	<u>0</u>		x 1 =	<u>0</u>																																								
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UPL species	<u>0</u>		x 5 =	<u>0</u>																																								
Column Totals	<u>165</u>	(A)		<u>610</u> (B)																																								
Prevalence Index = B/A =				<u>3.7</u>																																								
The criterion for hydrophytic vegetation is not met. Upland woodland.																																												

Photo of Sample Plot



DP-5 facing south

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Sherman Road City/County: Jackson, Washington Sampling Date: 2019-May-17
 Applicant/Owner: Joseph Merkel State: Wisconsin Sampling Point: DP-06
 Investigator(s): Lesley Brotkowski Section, Township, Range: 19-T10N-R20E
 Landform (hillslope, terrace, etc.): Foot slope Local relief (concave, convex, none): Concave Slope (%): 1-3
 Subregion (LRR or MLRA): LRR K Lat: 43.31064 Long: -88.16441 Datum: WGS84
 Soil Map Unit Name: Brookston silt loam, 0 to 2 percent slopes WWI classification: None
 Are climatic/hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation Soil or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation Soil or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Hydric Soil Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Wetland Hydrology Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	If yes, optional Wetland Site ID:	W-1
Remarks: (Explain alternative procedures here or in a separate report)			
Based on the presence of all three parameters, this area is a wetland. Circumstances not normal due to disturbed soil from historic access road fill. Wetland ID: W-1			

HYDROLOGY

Wetland Hydrology Indicators:		
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Marl Deposits (B15)	<input type="checkbox"/> Moss Trim Lines (B16)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Stunted or Stressed Plants (D1)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input checked="" type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)		<input type="checkbox"/> Microtopographic Relief (D4)
		<input checked="" type="checkbox"/> FAC-Neutral Test (D5)
Field Observations:		
Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches): _____	
Saturation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches): <u>0</u>	
(includes capillary fringe)		
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:		
USGS topo map, contour map, NRCS soils map, WWI map, aerial imagery, WETS Analysis		
Remarks:		
The criterion for wetland hydrology is met. Based on WETS analysis, antecedent hydrologic conditions are within a normal range.		

VEGETATION -- Use scientific names of plants.

Sampling Point: DP-06

	Absolute % Cover	Dominant Species?	Indicator Status																	
Tree Stratum (Plot size: 30' r)				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>4</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>80</u> (A/B)																
1.																				
2.																				
3.																				
4.																				
5.																				
6.																				
7.																				
<u>0</u> = Total Cover																				
Sapling/Shrub Stratum (Plot size: 15' r)																				
1.	<i>Rhamnus cathartica</i>	10	Yes	FAC																
2.	<i>Acer negundo</i>	5	Yes	FAC																
3.																				
4.																				
5.																				
6.																				
7.																				
<u>15</u> = Total Cover																				
Herb Stratum (Plot size: 5' r)																				
1.	<i>Phalaris arundinacea</i>	30	Yes	FACW																
2.	<i>Hydrophyllum virginianum</i>	20	Yes	FAC																
3.	<i>Geranium maculatum</i>	15	Yes	FACU																
4.	<i>Scirpus atrovirens</i>	5	No	OBL																
5.																				
6.																				
7.																				
8.																				
9.																				
10.																				
11.																				
12.																				
<u>70</u> = Total Cover																				
Woody Vine Stratum (Plot size: 30' r)																				
1.																				
2.																				
3.																				
4.																				
<u>0</u> = Total Cover																				
Remarks: (Include photo numbers here or on a separate sheet.)				Prevalence Index worksheet: <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%; text-align: left;">Total % Cover of:</th> <th style="width: 50%; text-align: left;">Multiply By:</th> </tr> </thead> <tbody> <tr> <td>OBL species <u>5</u></td> <td>x 1 = <u>5</u></td> </tr> <tr> <td>FACW species <u>30</u></td> <td>x 2 = <u>60</u></td> </tr> <tr> <td>FAC species <u>35</u></td> <td>x 3 = <u>105</u></td> </tr> <tr> <td>FACU species <u>15</u></td> <td>x 4 = <u>60</u></td> </tr> <tr> <td>UPL species <u>0</u></td> <td>x 5 = <u>0</u></td> </tr> <tr> <td>Column Totals <u>85</u></td> <td>(A) <u>230</u> (B)</td> </tr> <tr> <td colspan="2" style="text-align: center;">Prevalence Index = B/A = <u>2.7</u></td> </tr> </tbody> </table> Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1- Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% <input checked="" type="checkbox"/> 3 - Prevalence Index is ≤ 3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic	Total % Cover of:	Multiply By:	OBL species <u>5</u>	x 1 = <u>5</u>	FACW species <u>30</u>	x 2 = <u>60</u>	FAC species <u>35</u>	x 3 = <u>105</u>	FACU species <u>15</u>	x 4 = <u>60</u>	UPL species <u>0</u>	x 5 = <u>0</u>	Column Totals <u>85</u>	(A) <u>230</u> (B)	Prevalence Index = B/A = <u>2.7</u>	
Total % Cover of:	Multiply By:																			
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FACW species <u>30</u>	x 2 = <u>60</u>																			
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UPL species <u>0</u>	x 5 = <u>0</u>																			
Column Totals <u>85</u>	(A) <u>230</u> (B)																			
Prevalence Index = B/A = <u>2.7</u>																				
The criterion for hydrophytic vegetation is met. Fresh (Wet) Meadow plant community.																				

SOIL

Sampling Point: DP-06

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0 - 6	10YR 3/2	100					Sandy Clay Loam	
6 - 20	10YR 3/2	95	10YR 4/6	5	C	M	Sandy Clay Loam	
20 - 24	10YR 3/2	85	10YR 4/6	15	C	M	Clay Loam	

¹Type: C = Concentration, D = Depletion, RM = Reduced Matrix, MS = Masked Sand Grains. ²Location: PL = Pore Lining, M = Matrix.

Hydric Soil Indicators:

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Dark Surface (S7) (LRR R, MLRA 149B)
- Polyvalue Below Surface (S8) (LRR R, MLRA 149B)
- Thin Dark Surface (S9) (LRR R, MLRA 149B)
- Loamy Mucky Mineral (F1) (LRR K, L)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

Indicators for Problematic Hydric Soils³:

- 2 cm Muck (A10) (LRR K, L, MLRA 149B)
- Coast Prairie Redox (A16) (LRR K, L, R)
- 5 cm Mucky Peat or Peat (S3) (LRR K, L, R)
- Dark Surface (S7) (LRR K, L)
- Polyvalue Below Surface (S8) (LRR K, L)
- Thin Dark Surface (S9) (LRR K, L)
- Iron-Manganese Masses (F12) (LRR K, L, R)
- Piedmont Floodplain Soils (F19) (MLRA 149B)
- Mesic Spodic (TA6) (MLRA 144A, 145, 149B)
- Red Parent Material (F21)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):		Hydric Soil Present?	
Type:	None	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Depth (inches):	NA		

Remarks:

The criterion for hydric soil is met.

Photo of Sample Plot



DP-6 facing south

**Appendix E:
Professional Opinion on Wetland Susceptibility**

Table 5: Opinion of Susceptibility for NR 151 Setback Purposes

Note: Final authority on NR 151 protective areas rests with WDNR, but the following is TRC's opinion of each wetland's NR 151 protective area category.

<u>Wetland #</u>	<u>Least Susceptible</u>	<u>Moderately Susceptible</u>	<u>Highly Susceptible</u>
W-1		X	

Definitions of Susceptibility Per WDNR Administrative Code:

Least Susceptible: Degraded wetlands dominated by invasive species ($\geq 90\%$) such as reed canary grass. Protective area = 10% of avg wetland width, but no less than 10' or more than 30'.

Moderately Susceptible: Fens, sedge meadows, bogs, low prairies, conifer swamps, shrub swamps, other forested wetlands, fresh wet meadows, shallow marshes, deep marshes and seasonally flooded basins. Protective area = 50'.

Highly Susceptible: Outstanding/exceptional resource waters, wetlands in areas of special natural resource interest as specified in s. NR 103.04. Protective area = 75'.



Sharon Lee La

Melroy Pl

Elliot Dr

SE

Glen Brooke Dr

Kamilla

Stonebrook Dr

Butternut La

Pin Oak Cir

Fox Creek Dr

Cedar Creek

Jackson Dr

Cedar Creek

Cedar Creek

N

0 200 400 600ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

B

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____

PROPERTY INFORMATION

- COMMERCIAL
- INDUSTRIAL
- RESIDENTIAL
- OTHER _____
- CONDITIONAL USE
 - New
 - Special Use
(For existing CU ONLY)
- PLANNED UNIT DEVELOPMENT
 - New
 - Special Use
(For existing PUD ONLY)
- CERTIFIED SURVEY MAP
- CONCEPT PLAN
- OTHER _____

Property Address: W220N16712 County Road P Unit: _____ Jackson, WI

Parcel #: 051500B Lot Size: 7.51 Acres sq. ft. Building Area: _____ sq. ft.

Current Zoning: B-1 B-2 M-1 M-2 I-1 PUD Other _____ Floodplain

APPLICANT INFORMATION

Name(s): Brett Cottrell

Mailing Address: W220N16712 County Road P, Jackson State WI Zip 53037

Office: (_____) Cell: (262) 689-1699 Fax: (_____) _____

Email: brettccm7518@gmail.com

BUSINESS INFORMATION (If New Business)

Legal Business Name: Kettle Marine

D/B/A: _____ FEIN #: 84-3326587

Mailing Address: W220N16712 County Road P, Jackson State WI Zip 53037

Office: (262) 663-1111 (pending) Cell: (262) 689-1699 Fax: (_____) _____

Email: admin@Kettlemarine.com

Website: www.Kettlemarine.com

PROPERTY OWNER INFORMATION

Name(s): Jackson HP LLC

Address: N173W21010 Northwest Passage way State WI Zip 53037

Office: (262) 677-9933 Cell: (_____) _____ Fax: (_____) _____

Email: phil@design2construct.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: Design 2 Construct

Primary Contact: Phil Eckert

Address: N173W21010 Northwest Passage way State WI Zip 53037

Office: (262) 677-9933 Cell: (_____) _____ Fax: (_____) _____

Email: phil@design2construct.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: Marine Dealership
at the address listed.

Provide a brief overview of proposed use(s) of entire property and/or lease space: Retail sales
of Boats. PDI and prep of boats.

Hours of Operation: Monday through Friday 9A.M.-6P.M., Saturday
9A.M.-1P.M.

Provide a brief overview of proposed daily on-site operations: Movement of retail
boats and storage boats in and out of building.

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: None

Describe all businesses, properties and other entities located adjacent to the proposed use: Amenden Insulation,
Great Rates.

Proposed, development, on-site improvements or other construction/remodeling activities: Showroom
and Storage warehouse.

Proposed grading and/or stormwater management plan: none

Proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: Existing

Proposed on-site security measures including site lighting: Existing

Life Safety Systems – Existing or Proposed (Includes fire hydrants, fire suppression & fire alarm systems): Existing

Projected traffic circulation and impacts: None

Setbacks from rights-of-way and property lines and height limitations: Existing

Status of State/Federal License(s) or Certificate(s) required for operation: Existing

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?
 No Yes If yes, explain: _____

Describe any proposed signage including type and location: Single fare located on front of building see sign permit application.

Exterior Building Materials (type, color, etc.): Existing

Site Specific Features/Constraints: None

Parking (Total No. of spaces plus number of dedicated handicapped parking and type): Existing

Proposed screening/buffering from adjacent properties: None

Proposed provisions for refuse and recycling collection/storage: Existing

Projected Sewer/Wastewater Usage: N/A gal/year

Projected Water Usage: N/A gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print): Brett Cottrell

Applicant Signature: [Handwritten Signature]

Co-Applicant Name (Print): _____

CO-Applicant Signature: _____

Date of Application: 3/4/2020

You MUST sign and date this Application!

SUBMIT TO: Village of Jackson – Village Hall (Checks shall be made payable to Village of Jackson)
N168 W20733 Main Street
PO BOX 637
Jackson, WI 53037

QUESTIONS?

Village Clerk: For all **general questions** related to completing form or questions related to Village meetings.
Phone: (262) 677-9001 x11
Email: jilline.dobratz@villageofjackson.com

Building Inspector: For questions concerning **building codes, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjackson.com

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

LETTER OF INTENDED USE

MARCH 5, 2020



W220 N1671 Co Rd P, Jackson, WI 53037 :: 262-665-1111

Kettle Marine is excited about dropping anchor in the Village of Jackson, WI and building lasting relationships with boating enthusiasts in the Midwest while striving to be the best in every area of the marine business. Our core values are based on honesty, integrity and to provide excellent customer service. We are a dynamic organization that constantly seeks areas of growth and innovation.

Founded in 2019, Kettle Marine launched as a local, family-owned marine dealership with two longtime friends and business partners at the helm. We desire to meet the increasing needs of a growing number of boat enthusiasts in Wisconsin¹ and the Midwest with a marine dealership.

With over 50 years of combined success in similar dealership operations, the owners are recognized in the national powersports industry for their business acumen and attention to detail in retail and service-based operations. Their dealerships earn quarterly awards for customer service benchmarks.

Kettle Marine will be selling and storing a wide range of fishing and pontoon boats from three brands; AlumaCraft®, Tahoe® Pontoon and Premier Pontoon®. We will also sell outboard motors from Mercury®, Evinrude® (both companies have manufacturing facilities in Wisconsin which is important to us) and Yamaha®. We will also sell boating accessories and safety equipment to enhance the boat ownership experience.

Brett Cottrell

ss://BRETT COTTRELL
General Manager
KETTLE MARINE, INC.

1. NMMA 2018 Boating Economic Impact Study
<https://www.nmma.org/statistics/publications/economic-impact-infographics>

IMPACT STATEMENT

MARCH 5, 2020

KETTLE MARINE

W220 N1671 Co Rd P, Jackson, WI 53037

DAILY OPERATIONS

Kettle Marine will be selling and storing a wide range of fishing and pontoon boats from three brands; AlumaCraft®, Tahoe® Pontoon and Premier Pontoon®. We'll be selling outboard motors from Mercury®, Evinrude® (both companies have manufacturing facilities in Wisconsin, which is important to us) and Yamaha®. We will also sell boating accessories and safety equipment to enhance the ownership experience.

A. HOURS OF OPERATION: Monday through Friday 9:00 a.m. to 5:00 p.m. and Saturday 9:00 a.m. to 1:00 p.m. CST. Our full time of staff six may arrive earlier or stay later for business purposes.

B. UNUSUAL CONDITIONS: With our 26 year history of operating powersports dealerships without incident we adhere to the strictest national, state and local guidelines for employee and public safety and there will be no special attention warranted. We are good neighbors and stewards of our environment.

C. VEHICLE TRIP GENERATION: Our estimation monthly vehicle trips total 392 in and out of the dealership. This includes employees, customers and vendors.

D. PARKED VEHICLES: We have a large existing parking lot with 78 marked vehicle spaces. These spaces will be used by customers, employees and seasonal boat displays. We estimate having 50-100 marine products for sale, securely stored on site.

E. PROPOSED SIGNS: Kettle Marine has submitted a Sign Permit Application here within for 6 signs to decorate the storefront representing the dealership name and brands we sell. We will also have no parking signs in closed areas and a directional sign indicating new boat delivery areas for customers.

F. CONSTRUCTION: Improvements to the building's interior by the building owner to accommodate boat displays in a showroom and offices for staff. This building was once the home of Wickes Lumber whose operations were sold in 2002³, but has not had permanent occupancy since that time. Kettle Marine is adding 21st century phone and internet technologies to support business operations. We expect upgrades to be completed by March 9, 2020. Kettle Marine currently has partial occupancy permit as of February 28, 2020.

G. ANTICIPATED USER PROFILES: N/A

H. WATER CONSUMPTION: The property currently has a water well and wastewater storage tank system and we expect no impact to the Village of Jackson Water/Sewer Utility. For toilets and fixtures we estimate usage of 60 gallons a day³.

I. SEWAGE: Since this property has water well and wastewater storage tank system we expect not impact on the Village of Jackson Water/Sewer Utility.

2. Wickes Lumber Operations Sold – Milwaukee Business Journal, Oct. 31, 2002
<https://www.bizjournals.com/milwaukee/stories/2002/10/28/daily42.html>

3. Village of Jackson – Typical Water Use report
<https://www.villageofjackson.com/?SEC=20E1FB71-5A7E-441A-8F7D-30FE049D43F6>

WAREHOUSE STORAGE AGREEMENT

This WAREHOUSE STORAGE AGREEMENT (the "Agreement"), is entered into as of January 1, 2020, by and between Jackson HP, LLC, a Wisconsin Limited Liability Company ("Landlord"), and Kettle Marine, Inc., a Wisconsin Corporation ("Tenant").

I. WAREHOUSE STORAGE FACILITIES

Landlord shall make available to Tenant approximately 25,000 square feet of warehouse/retail space in the building located at W220 N16712 County Highway P, Village of Jackson, Wisconsin 53037. Such space shall be separately demised and secured at the commencement of this Agreement and shall consist of 13,000 square feet of finished space and 12,000 square feet of warehouse space. Landlord shall not be responsible to furnish any racking systems, personnel, materials, equipment, supplies or other accessories for the use of Tenant. Landlord will provide an allowance of \$50,000.00 towards finishing the space to the Tenant's specifications, and Tenant will be responsible for all other costs to prepare the space for its use.

II. TERM

The Term of this Agreement shall commence on February 1, 2020 (the "Commencement Date") and shall continue through January 31, 2023 (the "Term"). The Term may be extended after the expiration of the initial term based on mutual agreement of the Landlord and Tenant.

III. RENTAL PAYMENT/SECURITY DEPOSIT

Rent is due and payable on or before the first day of each month during the Term, beginning on February 1, 2020. No rent is due for any occupancy granted prior to the Commencement Date. For the first year of the Term of this Agreement, monthly base rent in the amount of \$7,333.00 is due; for the second year of the Term of this Agreement, monthly base rent in the amount of \$8,375.00 is due; for the third year of the Term of this Agreement, monthly base rent in the amount of \$8,700.00 is due.

This is a "modified gross" Agreement, Tenant shall be responsible for fifty percent (50%) of all real estate taxes, insurance premiums and snowplowing charges incurred during the Term. Tenant shall also be responsible for gas and electric utilities consumed within the space. Other common area maintenance and water/sewer charges are the responsibility of the Landlord.

Tenant shall be required to pay to Landlord a refundable security deposit in the amount of \$8,000.00.

IV. TENANT'S INSURANCE AND LIABILITY

During the Term, Tenant shall maintain, at its expense, a property insurance policy with limits adequate to cover its property stored in the facility. Landlord does not take any responsibility for Lessee's stored items, nor does it provide any insurance coverage for them.

Tenant shall also maintain, at its expense, comprehensive general liability insurance adequate to cover its activities while in the facility, and any other damage that may be caused to the facility or property of others. Tenant shall be liable for damages or the loss of or injury to the facility or to property owned by others due to Tenant's failure to exercise due care in regard to the use of the facility.

If the quality or conditions of the product(s) stored in the facility by Tenant are deemed by Landlord to create a hazard to other property, the facility or persons, Landlord shall immediately notify Tenant and Tenant shall remove such product(s) from the facility, at Tenant's expense.

The Tenant hereby agrees to provide a certificate of insurance evidencing such coverages and naming Landlord as an additional insured as his interests apply. Such certificate shall provide that insurance coverage shall not be canceled or altered without thirty (30) days advance written notice to Landlord.

V. LANDLORD'S INSURANCE

During the Term, Landlord shall maintain, at its expense, property insurance with coverage equal to or greater than the replacement value of the building, along with comprehensive general liability coverage of at least \$1,000,000 and statutory workers' compensation coverage, if applicable.

The cancellation or termination of this Agreement by either party hereto shall not affect the insurance coverage for losses occurring during the Term.

Upon request from Tenant, Landlord hereby agrees to provide a certificate of insurance evidencing such coverages and naming Tenant as an additional insured as his interests apply. Such certificate shall provide that insurance coverage shall not be canceled or altered without thirty (30) days advance written notice to Lessee.

VI. NOTICE OF LOSS

Tenant shall promptly notify Landlord of any loss or damage, howsoever caused, to the facility or to products stored on the premises.

Likewise, Landlord shall promptly notify Tenant of any loss or damage, howsoever caused, to the facility or to products stored on the premises.

VII. COMPLIANCE WITH LAWS, ORDINANCES, RULES AND REGULATIONS

Tenant and Landlord shall comply with all applicable laws, ordinances, rules and regulations of federal, state, local and other governmental authorities and entities governing the facility. Tenant shall use the warehouse space primarily for storage and for minor material staging. Tenant shall not use the space for any painting or staining of materials.

VIII. TERMINATION

Tenant may not terminate this Agreement prior to the end of the term. Landlord may terminate this Agreement if the Tenant fails to perform any material term, condition or obligation hereof to the satisfaction of the Landlord.

IX. RELOCATION

Landlord shall have the option, after providing a minimum of 30 days' notice to Tenant, to relocate Tenant to another similar space within the property or in the Jackson area, at no cost to the Tenant.

X. OPTION TO PURCHASE

Tenant shall have the option, during the Term of this Agreement, to purchase the entire property from Landlord, should a bona fide offer to purchase be presented to Landlord during said term. Upon receiving notice from Landlord of receipt of such offer, Tenant shall have 10 days to present Landlord with an offer to purchase, based on the same or better terms and conditions of the received offer.

Tenant shall have the option, at the end of the Term of this Agreement, to purchase the entire property from Landlord. If Tenant desires to exercise this option, Tenant must provide notice at least 6 months prior to the end of the Term. Upon receiving such notice, an appraisal of the property will be ordered and paid for by Tenant. Purchase price would be determined by such appraisal, however, should Landlord determine, for any reason, that the appraisal does not fairly represent the then current market value of the property, then at Landlord's expense, a second appraisal shall be

ordered. Sale price shall be determined based on the higher of the two appraisals.

XI. ASSIGNMENT

Neither party shall, without the prior written consent of the other party (which consent shall not be unreasonably withheld), assign this Agreement by operation of law or otherwise. Notwithstanding the foregoing consent requirement, but without releasing the parties of their obligations under this Agreement, either party may assign this Lease to one of its wholly-owned affiliates.

XII. APPLICABLE LAW

This Agreement shall be governed by, enforced, interpreted and construed under the laws of the State of Wisconsin. Venue for any action to enforce this Agreement shall be in the County of Washington, State of Wisconsin for any such action filed in state court or in the United States District Court for the District in which the facility is located for any such action filed in federal court.

XIII. NOTICE

Any notice or other communication required or permitted to be given under this Lease shall be in writing (including facsimile or similar transmission) and mailed (by U.S. certified mail, return receipt requested, postage prepaid), sent or delivered (including by way of overnight courier service):

If to Landlord, addressed to:

Jackson HP, LLC
N173 W21010 Northwest Passage Way
Jackson, WI 53037

If to Tenant, addressed to:

Kettle Marine, Inc.
W220 N16712 County Highway P
Jackson, WI 53037

or to such other address as Landlord or Tenant shall give notice to the other by like means. All such notices, demands, and communications, if mailed, shall be effective upon the earlier of (1) actual receipt by the addressee, (2) the date shown on the return receipt of such mailing, or (3) three days after deposit in the mail. All such notices, demands, and communications, if not mailed, shall be effective upon the earlier of (1) actual receipt by the addressee, (2) with respect to delivery by overnight

courier service, the day after deposit with the courier service, if delivery on such day by such courier is confirmed with the courier or the recipient orally or in writing.

XIV. ACCESS

The Landlord shall have the right, at any time and without any notice required, to enter the premises for any purpose whatsoever.

XV. MISCELLANEOUS PROVISIONS

The headings contained herein are inserted for convenience only and shall not be deemed to have any substantive meaning.

If any provision of this Agreement is held by a court of competent jurisdiction to be invalid, void or unenforceable in any manner, the remaining provisions of this Agreement shall nonetheless continue in full force and effect without being impaired or invalidated in any way. In addition, if any provision of this Agreement may be modified by a court of competent jurisdiction such that it may be enforced, then that provision shall be so modified and as modified shall be fully enforced.

Except as otherwise stated in this Agreement, this Agreement contains the entire understanding of the parties with respect to its subject matter, and supersedes all prior or contemporaneous agreements, understandings and negotiations. No modification or alteration of this Agreement shall be deemed effective unless in writing and signed by the parties.

The terms used in this Agreement, regardless of the number and gender in which they are used, shall be construed to include the other number (singular or plural), and other genders (masculine, feminine or neuter), as the context or sense of this Agreement or any paragraph or clause may require.

This Agreement may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute one Agreement. The signature of any party to any counterpart shall be deemed to be a signature to, and may be appended to, any other counterpart. Facsimile signatures shall be deemed effective as originals.

Each party agrees to sign and deliver all documents, instruments, certificates and applications reasonably necessary to consummate the transactions contemplated by this Agreement.

Each of the parties acknowledges that they and their counsel have reviewed this Agreement or had the opportunity to review this Agreement and suggested changes to its language. Therefore, any rule of construction that any ambiguity shall be construed against the drafter of

this Agreement shall not apply in interpreting the provisions of this Agreement.

This Agreement is solely for the benefit of the parties hereto and shall not confer upon third parties any remedy claims or actions or other right.

IN WITNESS WHEREOF, the parties have duly executed this Agreement as of the date first set forth above.

LANDLORD:

Jackson HP, LLC

By: _____

Print Name: James G. Blise

Title: Member of Delaney Group, LLC – Sole Member of Jackson HP, LLC

TENANT:

Kettle Marine Inc.

By: _____

Print Name: Jay Jay Soh





60

60



Westbury Bank



Dairy Queen Grill & Chill

P

Products

pany

P



KETTLE MARINE



Amundson Insulation

Pharmacal Way

P



A Space Place

P

TRANSACTION INFORMATION

Name: BRETT
COTTRELL

Utility Account #:

Building Permit #:

Parking Ticket #:

**TRANSACTION
REFERENCE #:** 28109482

**TRANSACTION
DATE/TIME:** 03/04/2020
16:47:08
EST

General:

**KETTLE
MARINE -
PUD PLAN
COMMISSION
APPLICATION
WITH VOJ
PROVIDED
MAILING
LABELS.**

BILLING INFORMATION

NAME: BRETT COTTRELL

ADDRESS: W220 N16712 CO RD P

**CITY, STATE
ZIP:** JACKSON, WI 53037

PHONE #: 262-689-1699

CARD #: xxxx-xxxx-xxxx-4884

PAYMENT INFORMATION

APPROVAL #: 01253G

PAYMENT AMOUNT: \$175.00

SERVICE FEE: \$5.00

TOTAL AMOUNT: \$180.00

**The service fee is not
refundable.**

ATTENTION CARDHOLDER:

If you have questions about the processing of your payment, please call GovPayNet at 888-604-7888.

Thank you for using GovPayNet

BUILDING DESIGN FOR:
PROPOSAL 19-00190

SHEET TITLE
PARTIAL EXISTING FLOOR PLAN
EXISTING ELEVATIONS

REVISIONS

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PROJECT DATA

DATE	09 12 2019
JOB NO	19-00190
STATUS	PRELIMINARY
DRAWN BY	DLH
CHECKED	

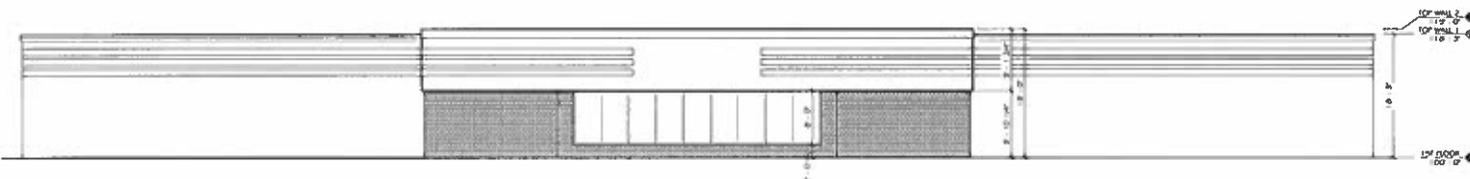
A2.0



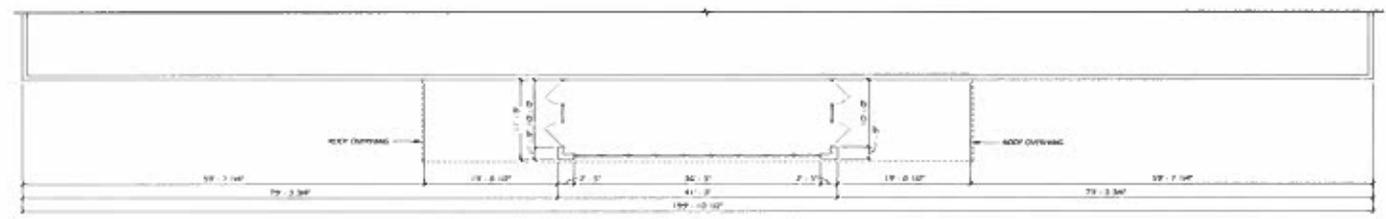
4 PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



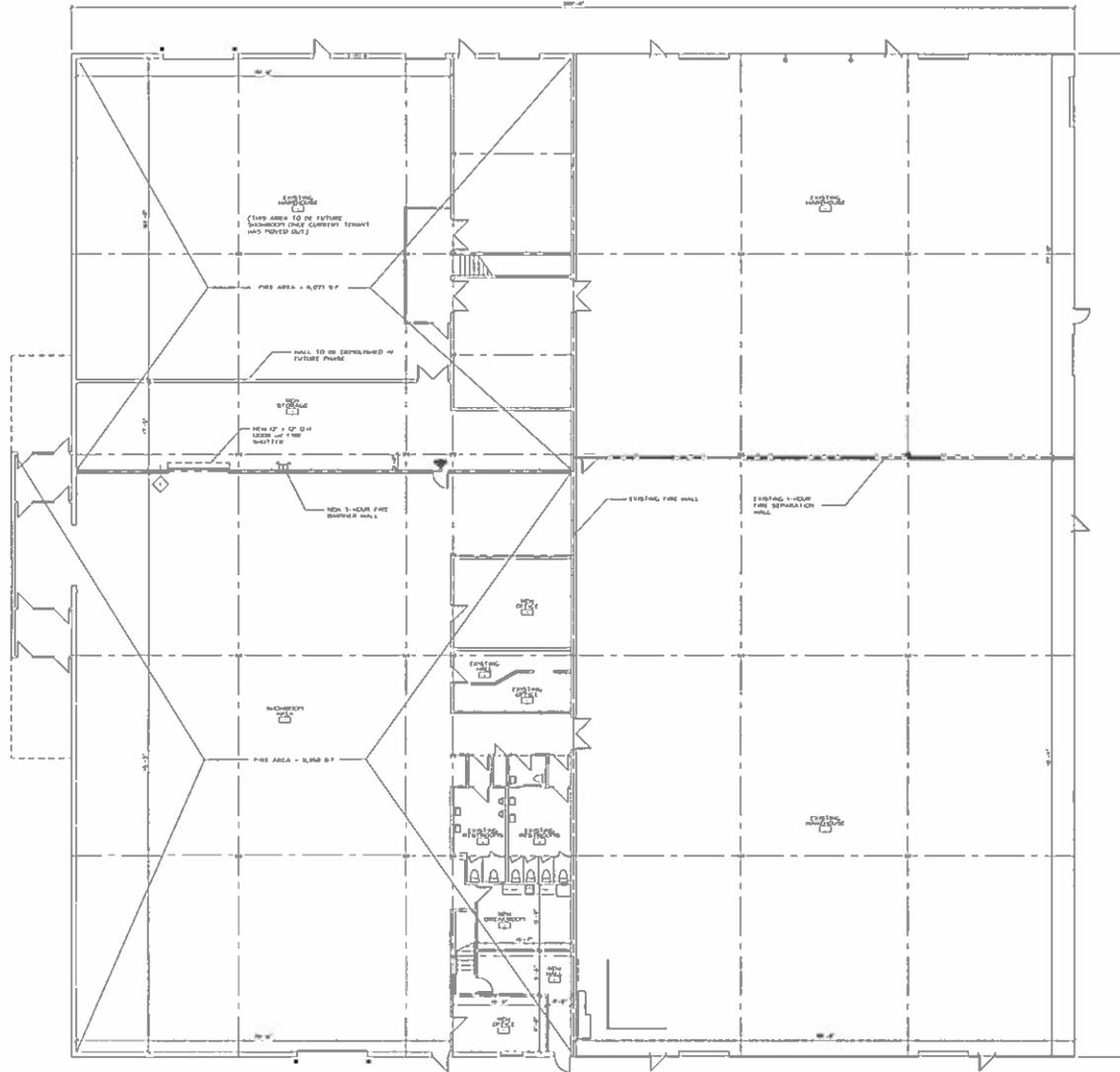
1 PARTIAL EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"

EMERGENCY/EGREE LIGHTING NOTES:

ALL EXISTING EMERGENCY AND EGREE LIGHTING TO REMAIN WITH THE EXCEPTION OF THE NEW EMERGENCY & EGREE LIGHTS INDICATED ON THIS PLAN. NEW EMERGENCY AND EGREE LIGHTING TO MATCH EXISTING FUTURE TYPE.

PARTITION TYPES:

NO.	SKETCH	DESCRIPTION
	(STUD WALL TYPES)	
1		(1) LAYERS OF 1/2" GYPSUM TYPE X HALLOWARD (EACH FACE) ON 4" METAL STUDS, 24" O.C. (2) 3-HOUR FIRE RATING PER ASSEMBLY HP 2000 ACTUAL THICKNESS: 4" PLAN DIMENSION: 4"



1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"
BUILDING AREA: APPROX. 40,366 SF

DESIGN
121
CONSTRUCT
DEVELOPMENT CORPORATION

8175 W21416
NORTHWEST PALMARE WAY
JACKSON, WI 53037

PHONE 262.877.9023
FAX 262.877.9034

info@design2construct.com

BUILDING DESIGN FOR:
KETTLE MARINE
W220 N16712 COUNTY HIGHWAY P
JACKSON, WI 53037

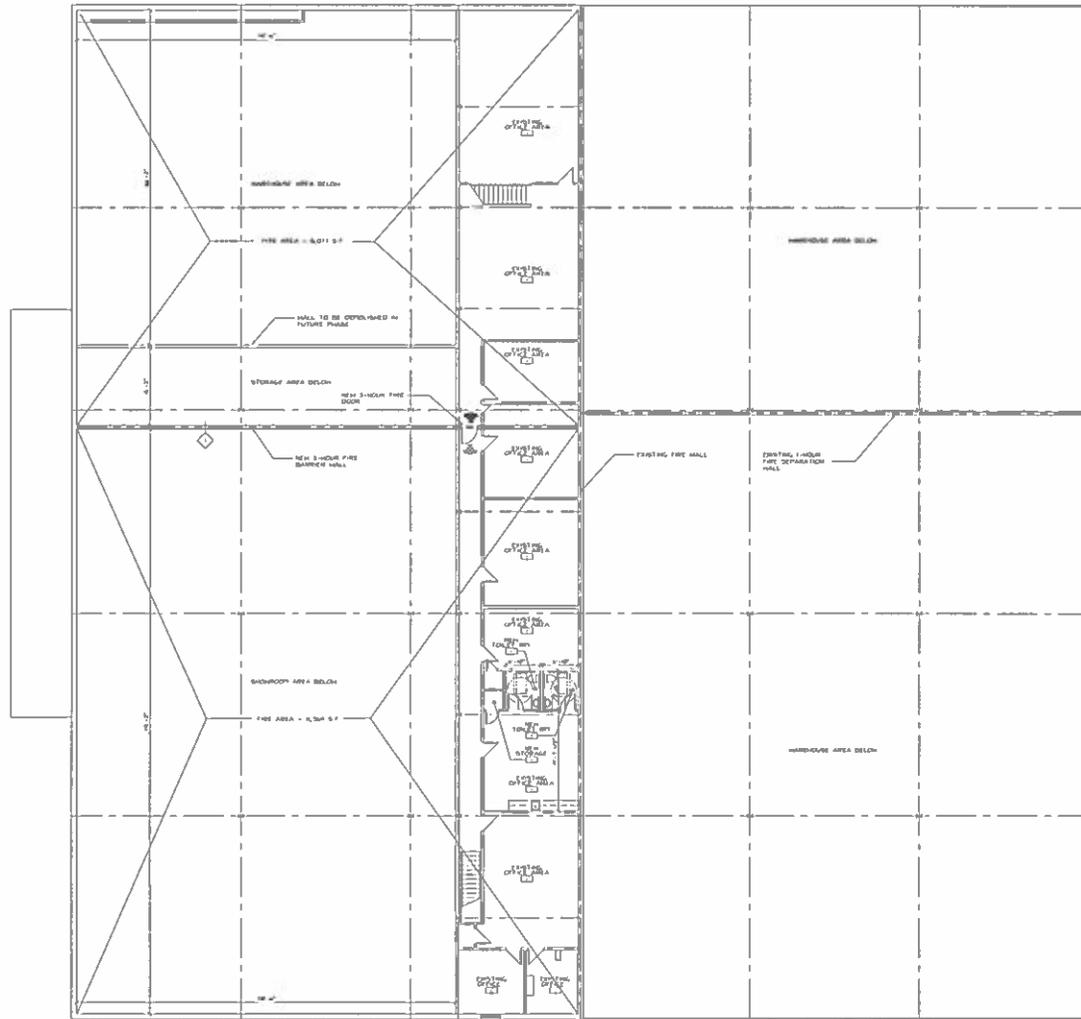
SHEET TITLE
FIRST FLOOR PLAN

REVISIONS

PROJECT DATA

DATE	01.20.2020
PROJECT	20-00103
REVISED	
PERFORMED	PA
DRAWN BY	PA-AJ1
SHEET NO.	015

A2.1



1 SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

DESIGN
121
CONSTRUCT
DEVELOPMENT CORPORATION

8173 W21918
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.8933
FAX 262.677.8934

info@designconstruct.com

BUILDING DESIGN FOR:
KETTLE MARINE
W220 N16712 COUNTY HIGHWAY P
JACKSON, WI 53037

SHEET TITLE
SECOND FLOOR PLAN

REVISIONS

PROJECT DATA	
DATE	01.20.2020
JOB NO.	20-00103
BY/USE	PERMIT
FILE NAME	03-27-2
DRAWN BY	SPS
SHEET NO.	SPS

A2.2



SIGN PERMIT APPLICATION

DEPARTMENT OF BUILDING INSPECTION
W194 N16660 Eagle Drive, Jackson, WI 53037
Phone: 262.677.9696
Email: collin.johnson@villageofjackson.com

PERMIT #: _____ - _____

TENANT INFORMATION:

Business Name: Kettle Marine

Business Address: W220 N16712 Co Rd P Suite #: _____ Jackson, WI

New Business Business Phone: (262) 665-1111 (pending) cell: 262.689-1111
 Existing Business Business Email: brett@kettlemarine.com, julie@kettlemarine.com

Sign Location: W220 N16712 Co Rd P - West side, front face

Sign Location Zoning District: B-1

SIGN TYPE: (Check all that apply)

- Temporary Permanent Illuminated Non-Illuminated Single-Sided
- Awning Monument Construction Church/School Two-Sided
- Banner Freestanding Real Estate Window Special Event
- Wall Projecting Non-Profit Wire/Wind Other

If Temporary, list dates of display: _____
(Maximum of two (2) times per year for a twelve (12) weeks)

SIGN INFORMATION:

Sign Width: _____ Height: _____ = Sq. Ft.: _____ x 1 or 2 Sides = TOTAL Sq. Ft.: _____

Sign Copy: 6 signs various sizes and monikers

APPLICANT INFORMATION:

Name: Brett Cottrell		Phone: 262-689-1111	
Address: W220 N16712 Co Rd P		Email: brett@kettlemarine.com & julie@kettlemarine.com	
City: Jackson	State: WI	Zip: 53037	Contact: Brett Cottrell

PERMIT FEES:

Permanent Sign: \$60.00 each
Temporary Sign: \$60.00 each (per display period)

The following: attachments are required:

- Colored Artwork/Renderings of sign(s)
- Scaled drawings
- Map or elevations showing proposed location

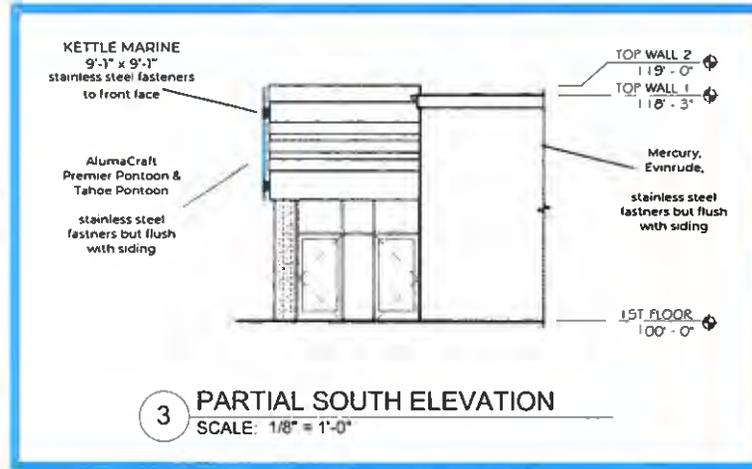
<i>For Office Use Only</i>	
Date Received:	_____
Amount:	\$ _____
Payment Type:	CA / CH / CC / RCPT
Check/Receipt #:	_____
Received By:	_____



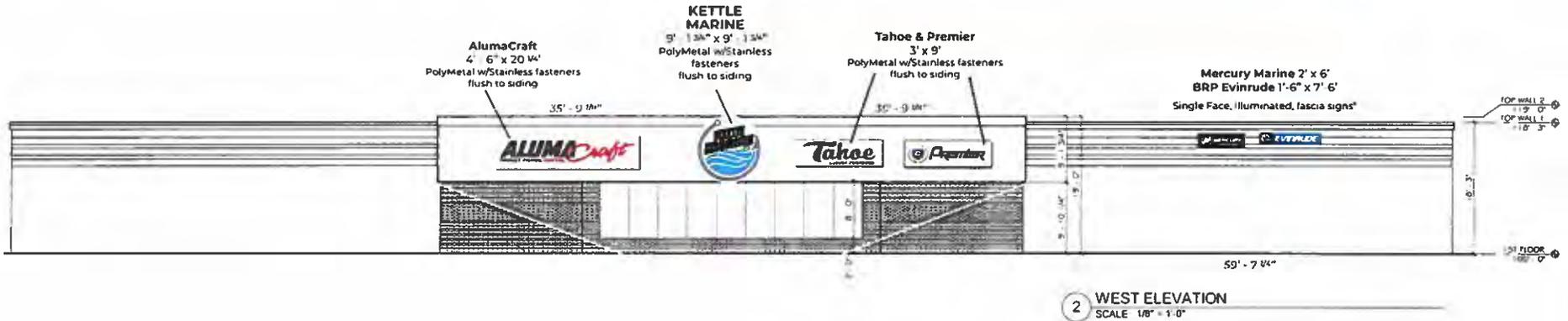
KETTLE MARINE
 W229 N161712 Co Rd P
 Jackson, WI 53037

Applicant: Brett Cottrell, General Manager
 Cell: (262) 689-1699
 Brett@KettleMarine.com

VILLAGE OF JACKSON
Sign Permit Application
 Submit Date: 02/29/20



ELEVATIONS PROVIDED BY



*Single face illuminated fascia sign
 Aluminum sign cabinet with 3/16" polycarbonate faces, 3M vinyl graphics applied 1st surface, digitally printed & face applied with GPS coating. Retainers painted to match vinyl face colors. 5000K White LED illumination throughout.

EXTERIOR SIGNS PROPOSED



VILLAGE OF JACKSON PLAN COMMISSION APPLICATION FORM

(Meetings are held the LAST Thursday of the month. Applications are DUE the 1st Friday of the month PRIOR to that month's Planning Commission Meeting)

Name of Applicant/Agent: Keller, Inc - Dave Uttech

Address: W204 N11509 Goldendale Rd. City: Germantown State: WI Zip: 53022

Phone #: (262) 894-8820 E-mail: duttech@kellerbuilds.com

Property Owner: _____ Primary Contact Person: _____

Address: 1583 St. Augustine Cir. City: Hubertus State: WI Zip: 53033

Phone #: (414) 312-1663 E-mail: kreuserjo49@gmail.com

SUBJECT PROPERTY ADDRESS: Lot #2 Alcan Ct. Parcel No. V3_009000U

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See reverse)	Paper Copy	USB DRIVE
CONCEPT PLAN	\$50	1,2,6,13	✓ 1) Complete Application (all pages)	Yes	Yes
			✓ 2) Describe the intended use and operation	Yes	Yes
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	✓ 3) Address Labels of adjacent owners to be notified (500' / 200')	Yes	Yes
			✓ 4) Property owner acknowledgement of the request	Yes	Yes
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	✓ 5) Impact Statement	Yes	Yes
			✓ 6) Location Map	Yes	Yes
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	✓ 7) Development Plan / Site Plan	Yes	Yes
			8) Preliminary Plat	Yes	Yes
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,3,6,10,20	9) Final Plat	Yes	Yes
			10) Certified Survey Map	Yes	Yes
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition	Yes	Yes
			12) Annexation Map	Yes	Yes
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		Yes
			✓ 14) Landscape and Buffer Plan	4 (24x36)	Yes
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
			✓ 15) Grading / Drainage Plan	4 (24x36)	Yes
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	✓ 16) Water / Sanitary Sewer / Storm Sewer Plans	4 (24x36)	Yes
			✓ 17) Street / Right of Way cross sections	4 (24x36)	Yes
FINAL PLAT / Final Plat Reappl.	\$100	1,2,3,5,6,9,15,16,17,18,20	✓ 18) Erosion Control Plan	4 (24x36)	Yes
			✓ 19) Proposed colors / materials		Yes
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	✓ 20) Developers Agreement		Yes
			✓ 21) Annexation Agreement (includes pre-annex agreements)		Yes
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	✓ 22) Other -		Yes
VARIANCE	\$150	1,2,3,4,6,7			
LABELS (If provided by the Village)	\$25		Submit additional fee unless providing mailing labels	Yes	

OFFICE USE ONLY: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: 20 - 007 SUP

PROPERTY INFORMATION

- COMMERCIAL** **INDUSTRIAL** **RESIDENTIAL** **OTHER** _____
- CONDITIONAL USE** **SPECIAL USE** **PLANNED UNIT DEVELOPMENT (PUD)**
(See Ch. 48, Article III, Div. 5) (See Ch. 48, Article III, Div. 6) (See Ch. 48, Article III, Div. 2, Sec. 48-241)
- New New New
 Amended Amended Amended

Subject Property Address: Lot #2 Alcan Ct. Unit: _____ Jackson, WI
Parcel #: V3-009000U Lot Size: 4.875 sq. ft. Building Area: 82,575 sq. ft.
Current Zoning: B-1 B-2 M-1 M-2 I-1 PUD Other _____ Floodplain

APPLICANT INFORMATION

Name(s): John and Steve Kreuser
Mailing Address: 1583 Saint Augustine Circle, Hubertus State WI Zip 53033
Office: (____) _____ Cell: (414) 312-1663 Fax: (____) _____
Email: kreuserjo49@gmail.com

BUSINESS INFORMATION

Legal Business Name: Liberty Self-Storage
D/B/A: _____ FEIN #: _____
Mailing Address: 1583 St. Augustine Cir. Hubertus State WI Zip 53033
Office: (____) _____ Cell: (414) 312-1663 Fax: (____) _____
Email: kreuserjo49@gmail.com
Website: _____

PROPERTY OWNER INFORMATION

Name(s): _____
Address: _____ State _____ Zip _____
Office: (____) _____ Cell: (____) _____ Fax: (____) _____
Email: _____

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION (Circle One)

Firm Name: Keller, Inc.
Primary Contact: Dave Uttech
Address: W204 N11509 Goldendale Rd. Germantown State WI Zip 53022
Office: (262) 250-9710 Cell: (262) 894-8820 Fax: (____) _____
Email: duttech@kellerbuilds.com

Please provide as much detailed information as possible. (Add additional pages if needed)

Briefly explain what you are requesting to be reviewed and/or approved:

Approval of the plans for a self-storage facility located on Lot 2, Alcan Court in the Jackson Northwest Business Park. We believe this is a discrete location for the placement of a multi-storage facility which provides safe and convenient access.

Provide a brief overview of proposed use(s) of entire property and/or lease space:

We propose building a self-storage facility with large and medium sized storage units. Larger units would be approx 15' wide x 45' deep to accommodate customers that have a need to store larger format items like travel trailers, fifth wheels, pontoon boats, etc. All units would be furnished with electricity and the larger format units would provide indoor lights, wall outlets and overhead garage door openers with press key pads for security and access. Site would be ADA compliant. Exterior lighting would be wall mounted, downward facing LED's to minimize light pollution while providing sufficient lighting for security.

Hours of operation:

Customers would have access to their storage units 24/7.

Provide a brief overview of proposed daily on-site operations:

Minimal impact to the neighboring community. Access would be provided from the cul-de-sac entrance on Alcan Court. Units are to be used for tenant storage of property.

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment etc.:

Minimal environmental impact is anticipated to the site or adjacent properties. Snow removal will be maintained on the property, with the site graded so that water will sheet drain to existing swales.

Describe all businesses, properties and other entities located adjacent to the proposed use:

- North Adjacent: Cedar Creek Rd. with residential across the street.
- East Adjacent: Residential property (1.84 Acres) & SE adjacent: 70,000SF Building Badger Tire & Wheel (Commercial /Industrial).
- South Adjacent: Vacant 3.12 Acre Lot (Industrial Park Lot) & SW adjacent: 50,000SF Germantown Iron & Steel (Commercial/Industrial).
- East Adjacent: P.W. Walsh & Company 50,000 SF (Commercial/Industrial)

Proposed, development, on-site improvements or other construction/remodeling activities:

Phase one would be the construction of 2 buildings (see site plan). One building would consist of larger units (15'x45') and the second would consist of smaller units (10'x20').

Proposed grading and/or stormwater management plan:

Site will be designed to sheet drain to North, East, South & West swales which will drain offsite to the industrial park's regional storm detention areas per the master grading plan for the development.

Proposed landscape plan/improvements including driveways, sidewalks vegetative plantings, etc:

Please see proposed site plan for location of drives and planting areas. Proposed entry driveway will enter from Alcan Ct. with landscaping to be provided consistent with review conducted with Village Staff. Proposed plantings on the East and West property lines to provided side yard buffers. Plantings to the North with openings to allow for sight lines between the buildings from Cedar Creek road. Sight lines provided for improved visibility from the road and increased security as requested by Village Police.

Proposed on-site security measures including site lighting:

Lighting to be provided via LED lights mounted to the buildings. 24/7 video security recording will be provided on each building. The landscape plan will allow for the creation of sight lines between plantings from Cedar Creek Road to the North.

Life Safety Systems — Existing or Proposed (including fire hydrants, fire suppression & fire alarm systems):

Fire hydrants per Village code. Other items per code.

Projected traffic circulation and impacts:

Minimal impact to the Business Park.

Setbacks from rights-of-way and property lines and height limitations:

- North property line setback: 30' road setback.
- East property line setback: 15' side yard setback.
- South property line setback: 30' road setback.
- West property line setback: 15' side yard setback.
- Building heights are designed to be 11' (for smaller buildings) and 18' (for larger buildings) +/- Maximum height.

Status of State/Federal License(s) or Certificate(s) required for operation: N/A

Does the project require other jurisdictional Approvals from other Governmental or Regulatory entities?

No

Describe any proposed signage including type and location:

Building mounted signs on the gable of building 1 facing South and the North facing gables of building 2 and 5.

Exterior Building Materials (type, color, etc.):

- Roofing: 29 gauge Fabral "Grand Rib 3" exposed fasteners
- Siding: 29 gauge Fabral "Grand Rib 3" exposed fastener
- Soffit/Fascia: Rollex Prefinished Aluminum w/prefinished aluminum "K" style gutters and downspouts

Site Specific Features/Constraints:

N/A: Site was master graded as pad ready for industrial park development.

Parking (Total No. of spaces plus number of dedicated handicapped parking and type):

Parking facilities to be provided per code. Minimal to no parking spaces are expected to be needed.

Proposed screening/buffering from adjacent properties:

See comments above and site plan.

Provisions for refuse and recycling collection / storage:

None provided: As this is not a typical feature provided by multi-storage operators.

Projected Sewer/Wastewater Usage: Zero gal/year

Projected Water Usage: Zero gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Development Application and requirements and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print): John Kreuser

Applicant Signature: John Kreuser

Co-Applicant Name (Print): _____

CO-Applicant Signature: _____

Date of Application: April 3, 2020

You MUST sign and date this Application!

SUBMIT TO: Village of Jackson – Village Hall *(Checks shall be made payable to Village of Jackson)*
N168 W20733 Main Street
PO BOX 637
Jackson, WI 53037

QUESTIONS?

Village Clerk: For **general questions** related to filling out of forms or questions related to village meetings.
Phone: (262) 677-9001 x11
Email: jilline.dobratz@villageofjackson.com

Building Inspector: For inquiries concerning **building codes, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjackson.com

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: John Walther, Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

FOR OFFICE USE ONLY	
Acct. #: 100-00-45730-000-00	
Date Received:	4-3-20
Amount: \$	150.00
Payment Type:	(CH) CC / CASH
Check/Rcpt. #:	3741
Received By:	<i>[Signature]</i>

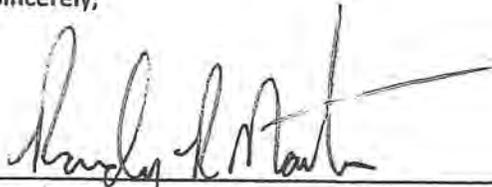
JR LAND HOLDINGS, LLC
4991 Hron Road
West Bend, WI 53095

Mr. John Walther
Village Administrator
Village of Jackson
W194 N16660 Eagle Drive
Jackson, WI 53037

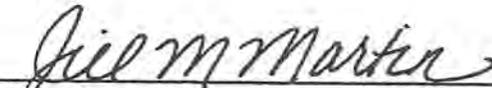
Dear Mr. Walther,

This letter is to inform the Village of Jackson that the current ownership, JR Land Holdings, LLC, Owner of Lot 2 Alcan Court, Parcel ID V3-009000U in the Village of Jackson, WI is aware and in support of John A. and Steven J. Kreuser and/or Assigns making a PUD application to the Village of Jackson for subject Property. John A. and Steven J. Kreuser and/or Assigns currently have an accepted offer to purchase Subject with JR Land Holdings, LLC.

Sincerely,



Randy Martin, Member
JR Land Holdings, LLC



Jill Martin, Member
JR Land Holdings, LLC

VILLAGE OF JACKSON

N168W20733 MAIN ST.
P O BOX 637
JACKSON, WI 53037-0147

Receipt Nbr: 229107
Date: 4/06/2020
Check

RECEIVED FROM KREUSER

\$150.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES PLAN COMM#20-007	150.00

TOTAL RECEIVED 150.00

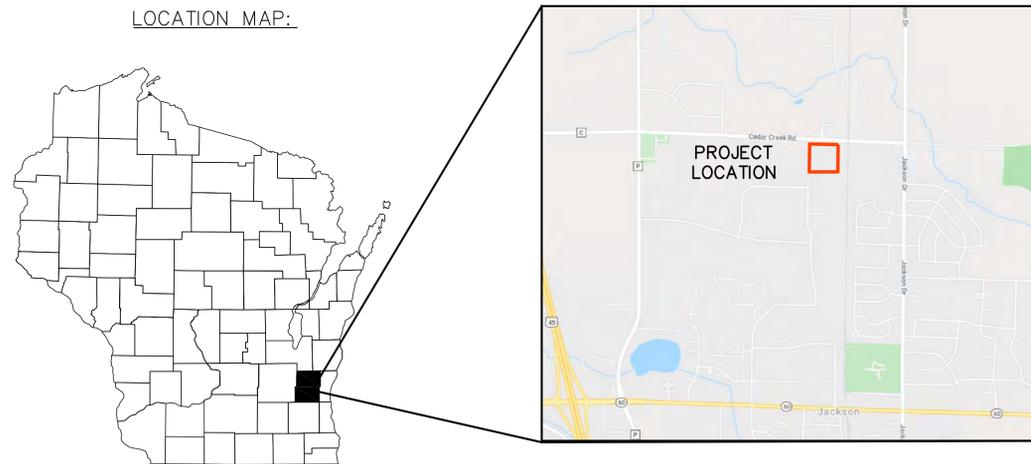
Receipt Memo: PALN COMM#20-007/CK#3741

LIBERTY SELF STORAGE

BUILDING, PARKING LOT & UTILITY CONSTRUCTION

VILLAGE OF JACKSON, WISCONSIN

LOCATION MAP:



CIVIL SHEET INDEX:	
SHEET	SHEET TITLE
C-100	COVER
C-101	CONSTRUCTION NOTES
C-102	EXISTING CONDITIONS SURVEY
C-103	PROPOSED SITE PLAN
C-104	EROSION CONTROL PLAN
C-105	EROSION CONTROL DETAILS
C-106	GRADING PLAN
C-107	UTILITY PLAN
C-108	UTILITY DETAILS
C-109	LANDSCAPE PLAN

PROJECT CONTACTS:	BENCHMARK:
<p>OWNER: JR LAND HOLDINGS LLC W208N16927 N CENTER JACKSON WI 53037</p> <p>CIVIL: QUAM ENGINEERING, LLC ATTN: KEVIN PARISH 122 WISCONSIN STREET WEST BEND, WI 53095</p> <p>DIGGERSHOTLINE Dial 811 or (800)242-8511 www.DiggersHotline.com</p>	<p>SITE BENCHMARK: SOUTHWEST PROPERTY CORNER IRON PIPE ELEV=915.00</p> <p>NOTES: THE CONTRACTOR SHALL REFER TO THE MUNICIPAL STANDARD SPECIFICATIONS, WATER SPECIFICATIONS, WISDOT, AND STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.</p>

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES:

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360.382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL BE NOT ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL:

1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERGUT, AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM-D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTIVELY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN OW, OP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISCUSS, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-298) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE THE SUBGRADE SHALL BE PROF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/- 1" FOR LANDSCAPE AREAS AND +/- 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHED OR PUMPING TO ALLEVIATE WATER PONDING. ANY DOWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DOWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
10. THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT UPON THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
11. SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND CUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
12. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
13. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
14. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
15. ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

SPECIFICATIONS FOR PRIVATE UTILITIES:

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATER MAIN SHALL BE WET TAPED WITH A STAINLESS STEEL TAPPING SLEEVE.
3. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES AND IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN IN THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUT CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 10" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-26, MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE (PER STANDARD SPECIFICATIONS). MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAINS SHALL BE ADSKYOPLAST OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERT A WYE OR EQUIVALENT. LAST (3) THREE JOINTS SHALL BE RESTRAINED WITH RODS. PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.
6. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-900. DI SHALL BE AWWA C151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6" COVER IS REQUIRED FOR ALL WATER MAIN. VALVES SHALL BE NON RISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE PIECE CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES. DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE.
7. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
8. TRACER WIRE (NO.8 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVE CO TERMINAL BOX AT EACH END IN ACCORDANCE WITH 182.0715(2R) OF STATE STATUTES.
9. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATER MAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
10. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
11. ALL UTILITY CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
12. ALL STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE VILLAGE OF JACKSON AND WISCONSIN DSPS STANDARDS.
13. THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
14. MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
15. ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
16. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF JACKSON PRIOR TO CONNECTING TO THE 8" WATER MAIN IN ALGAN COURT.
17. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.
18. ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY REQUIRES A PERMIT FROM THE VILLAGE OF JACKSON PUBLIC WORKS DEPARTMENT.

SPECIFICATIONS FOR PAVING:

1. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1-1/2" INCH DIAMETER LIMESTONE TRAFFIC BOND AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE. SUBSTITUTION AND/OR RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
2. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
3. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
4. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460 LT 58-28 S IS REQUIRED UNLESS NOTED OTHERWISE A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
5. TACK COAT SHALL BE IN ACCORDANCE WITH THE SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
6. CONCRETE FOR CURB, DRIVEWAYS, WALKS, AND NON-FLOOR SLABS SHALL CONFORM TO SECTION 415 OF THE STANDARD SPECIFICATIONS, GRADE A. ASTM C-94, 6 BAG MIX WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED.
7. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH WISCONSIN DOT SECTION 646 OF THE STANDARD SPECIFICATIONS AND WITH LOCAL CODES. THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
 - 8. PARKING STALLS: WHITE
 - PEDESTRIAN CROSSWALKS: WHITE
 - LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
 - LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
 - ADA SYMBOLS; WHITE

RESTORATION NOTES:

1. ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.
2. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.
3. ALL FINISH GRADED AREAS SHALL BE SEEDED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SEEDING. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

LIBERTY SELF STORAGE

CONSTRUCTION NOTES

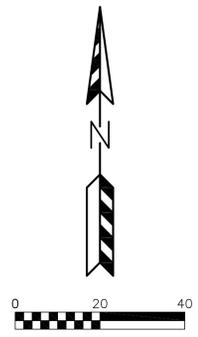
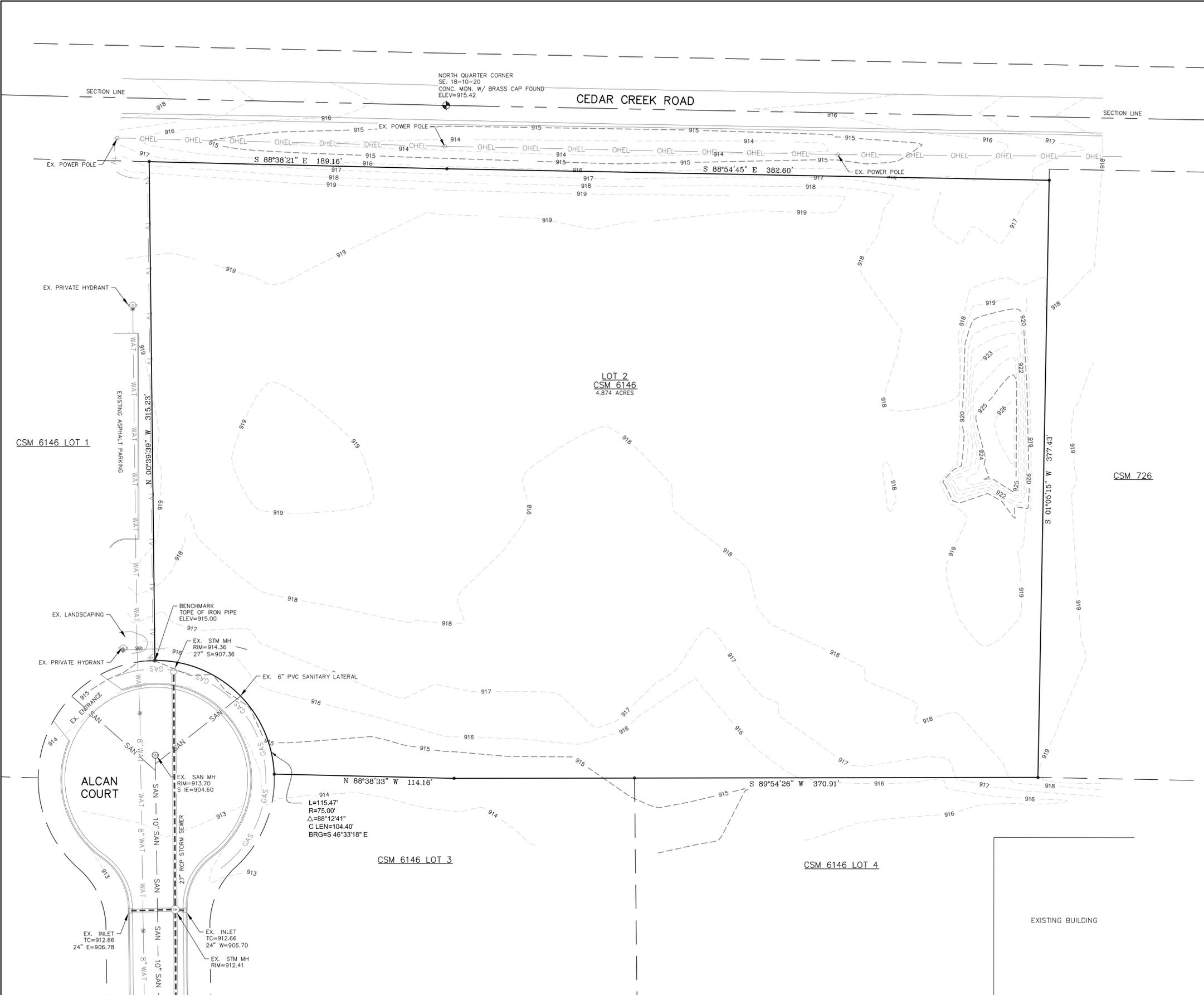
DATED: APRIL 3, 2020

C-101

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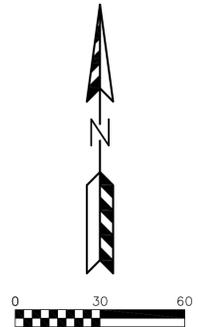
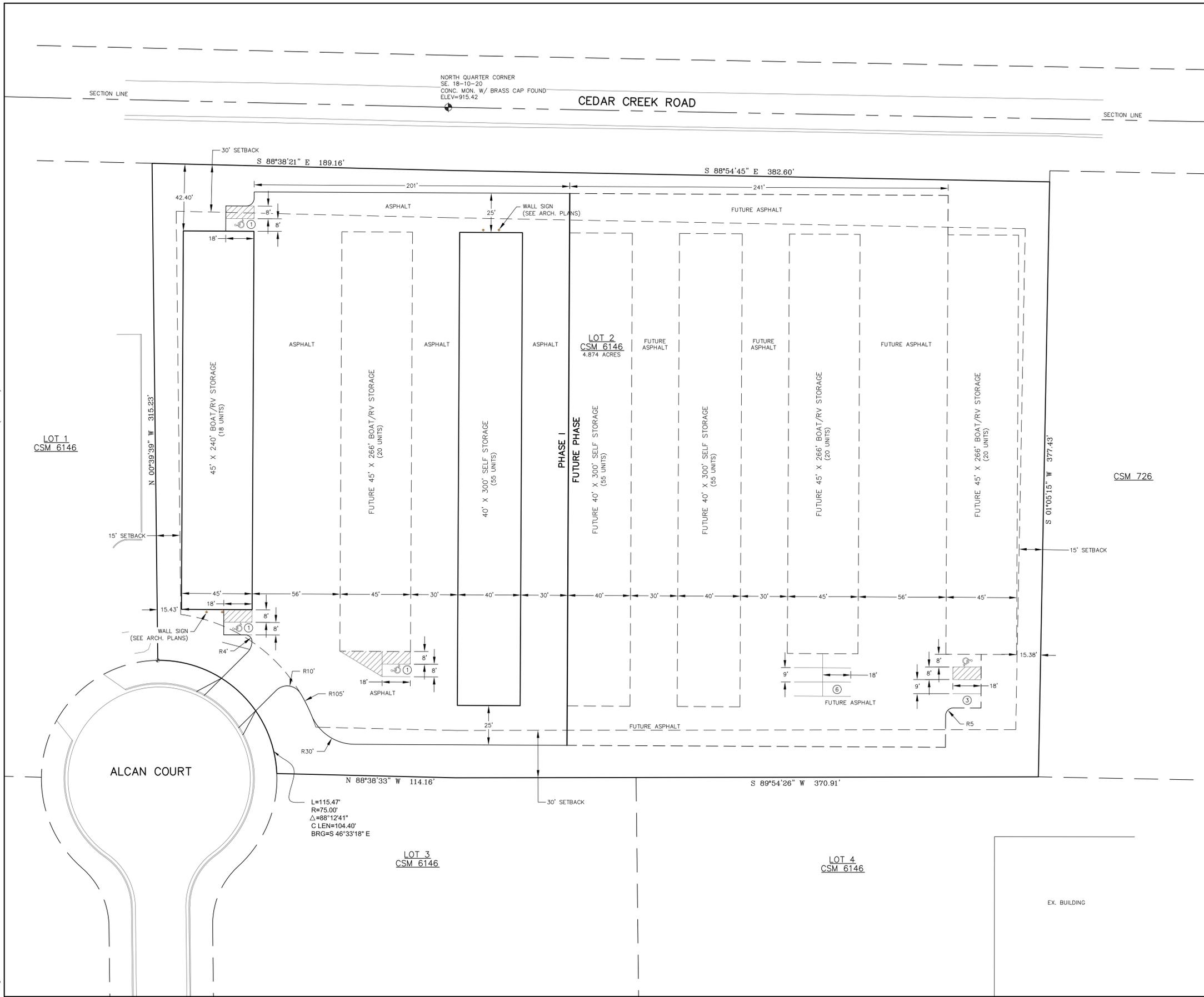
- LEGEND:**
- 916 --- - EXISTING MINOR CONTOUR.
 - 915 --- - EXISTING MAJOR CONTOUR.
 - OHEL — - OVERHEAD ELECTRIC LINE.
 - BuEl — - BURIED ELECTRIC LINE.
 - BuTel — - BURIED TELEPHONE LINE.
 - FO — - FIBER OPTIC LINE.
 - GAS — - GAS LINE.
 - SAN — - SANITARY SEWER MAIN OR LATERAL.
 - WAT — - WATER MAIN OR SERVICE.
 - SS — - STORM SEWER LINE.
 - ELECTRIC METER.
 - GAS METER.
 - GAS VALVE.
 - FIRE HYDRANT.
 - POWER POLE.
 - SANITARY SEWER MANHOLE.
 - STORM SEWER MANHOLE.
 - STORM SEWER INLET.
 - TELEPHONE PEDESTAL.
 - TRANSFORMER.
 - WATER VALVE.

LIBERTY SELF STORAGE
 EXISTING CONDITIONS SURVEY
 DATED: APRIL 3, 2020

C-102

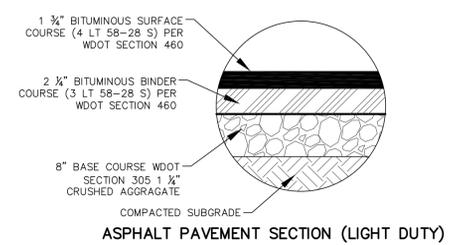
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LEGEND:
 (P) - PARKING STALLS IN A ROW

SITE INFORMATION BLOCK	
Site Address	LOT 2 - CSM 6146
Site acreage (total)	4.874 ACRES
Existing Impervious Area	0.00 ACRES
Area of Disturbance	4.72 ACRES
Current Zoning	PUD (IND)
Setbacks Building/Pavement	
Front	30'
Side	15'
Rear	30'
Number of Parking stalls required:	11
Number of Parking stalls provided:	12
Surface Coverage Total:	
Impervious	80,781 SQ FT (1.85 Acres)
Future Impervious	97,090 SQ FT (2.23 Acres)
Pervious	34,468 SQ FT (0.79 Acres)
Total	212,331 SQ FT (4.87 Acres)
Impervious Percentage	83.8%

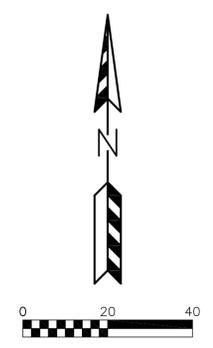
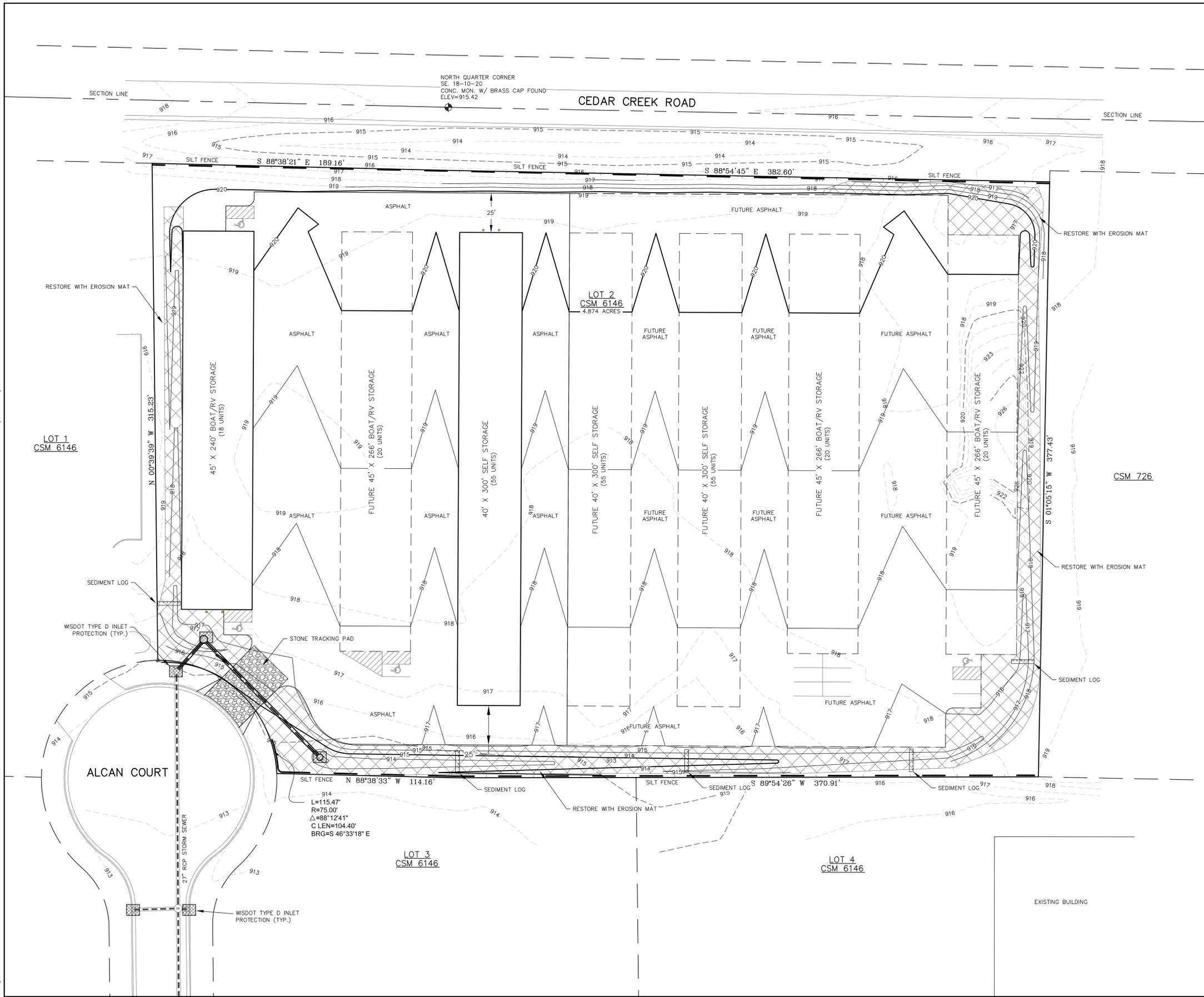


LIBERTY SELF STORAGE
 PROPOSED SITE PLAN
 DATED: APRIL 3, 2020

C-103

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- LEGEND:**
- - - 916 - - - EXISTING MINOR CONTOUR.
 - - - 915 - - - EXISTING MAJOR CONTOUR.
 - - - 916 - - - PROPOSED MINOR CONTOUR.
 - - - 915 - - - PROPOSED MAJOR CONTOUR.
 - — — PROPOSED STORM SEWER.
 - — — EXISTING STORM SEWER.
 - ▣ INSTALL WISDOT TYPE D INLET PROTECTION.

TIME SCHEDULE:
MAY 1, 2020
 INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS. ANY ADDITIONAL CONSTRUCTION ENTRANCES IF APPROVED BY THE VILLAGE OF JACKSON SHALL HAVE A TRACKING PAD.

MAY 2, 2020 - APRIL 15, 2021
 STRIP TOPSOIL AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "SPECIFICATIONS FOR GRADING & EROSION CONTROL" ON "CONSTRUCTION NOTES PAGE".
 BEGIN PROPOSED SITE GRADING INCLUDING BUILDING PAD PREPARATION.
 START CONSTRUCTION OF UTILITIES: WATER SERVICE AND STORM SEWER.
 CONTINUE SITE GRADING
 INSTALL BASE COURSES AND PROPOSED PAVEMENTS.
 STABILIZATION OF DISTURBED AREAS BEFORE OCTOBER 15, 2020.

APRIL 16 - 31, 2021
 ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15. ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)
 STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.

- SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE.
 CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY VILLAGE OF JACKSON PRIOR TO CHANGE.

AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE

REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZED AREAS DISTURBED BY REMOVAL OF BMPs.

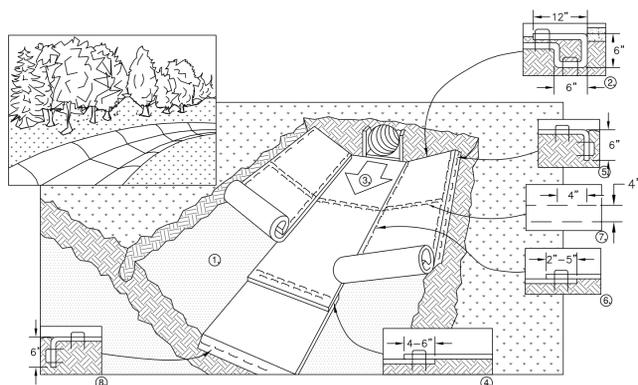
LIBERTY SELF STORAGE
 EROSION CONTROL PLAN
 DATED: APRIL 3, 2020

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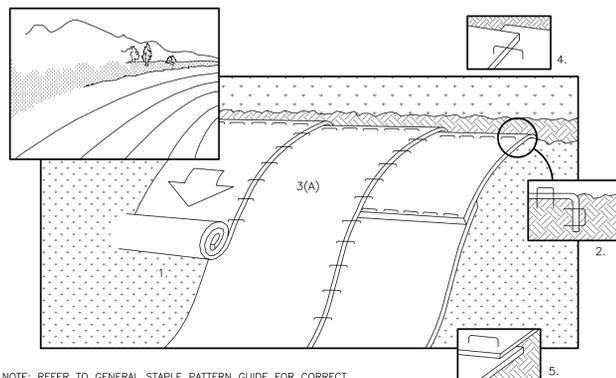
MAXIMUM PERIOD OF BARE SOIL FOR SLOPES > 20%		
SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP?	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)	
	LAND DISTURBANCE BETWEEN SEPTEMBER 16TH AND MAY 1ST	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPTEMBER 15TH
YES	90	90
NO	60	30



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 4" AND STAPLED.
7. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE: ALL STAPLES MUST BE 6" OR GREATER IN LENGTH

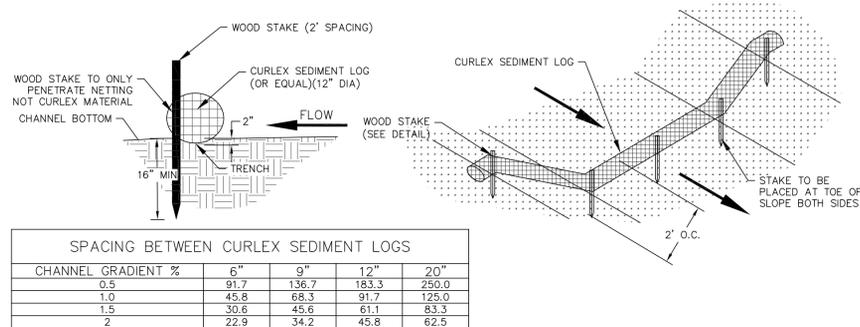
EROSION CONTROL MAT - CHANNEL INSTALLATION



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

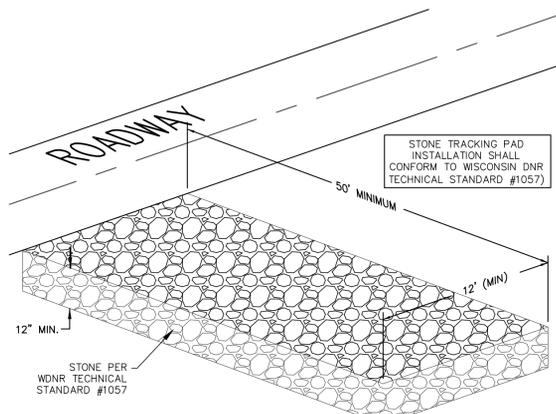
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION CONTROL MAT - SLOPE INSTALLATION

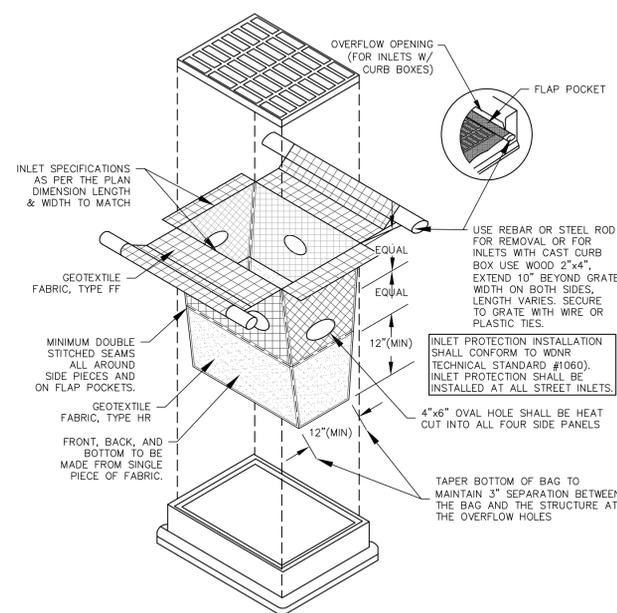


SPACING BETWEEN CURLEX SEDIMENT LOGS				
CHANNEL GRADIENT %	6"	9"	12"	20"
0.5	91.7	136.7	183.3	250.0
1.0	45.8	68.3	91.7	125.0
1.5	30.6	45.6	61.1	83.3
2	22.9	34.2	45.8	62.5

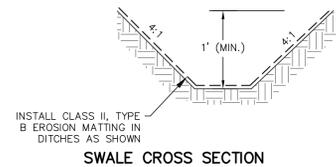
SEDIMENT LOG DETAIL



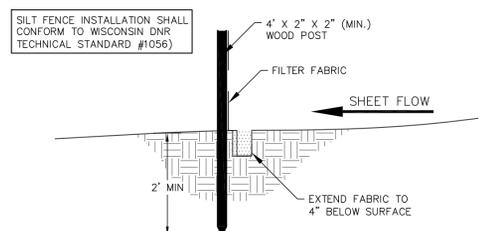
STONE TRACKING PAD DETAIL



TYPE D-HR INLET PROTECTION DETAIL



SWALE CROSS SECTION



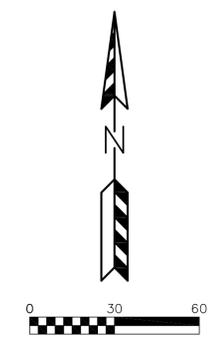
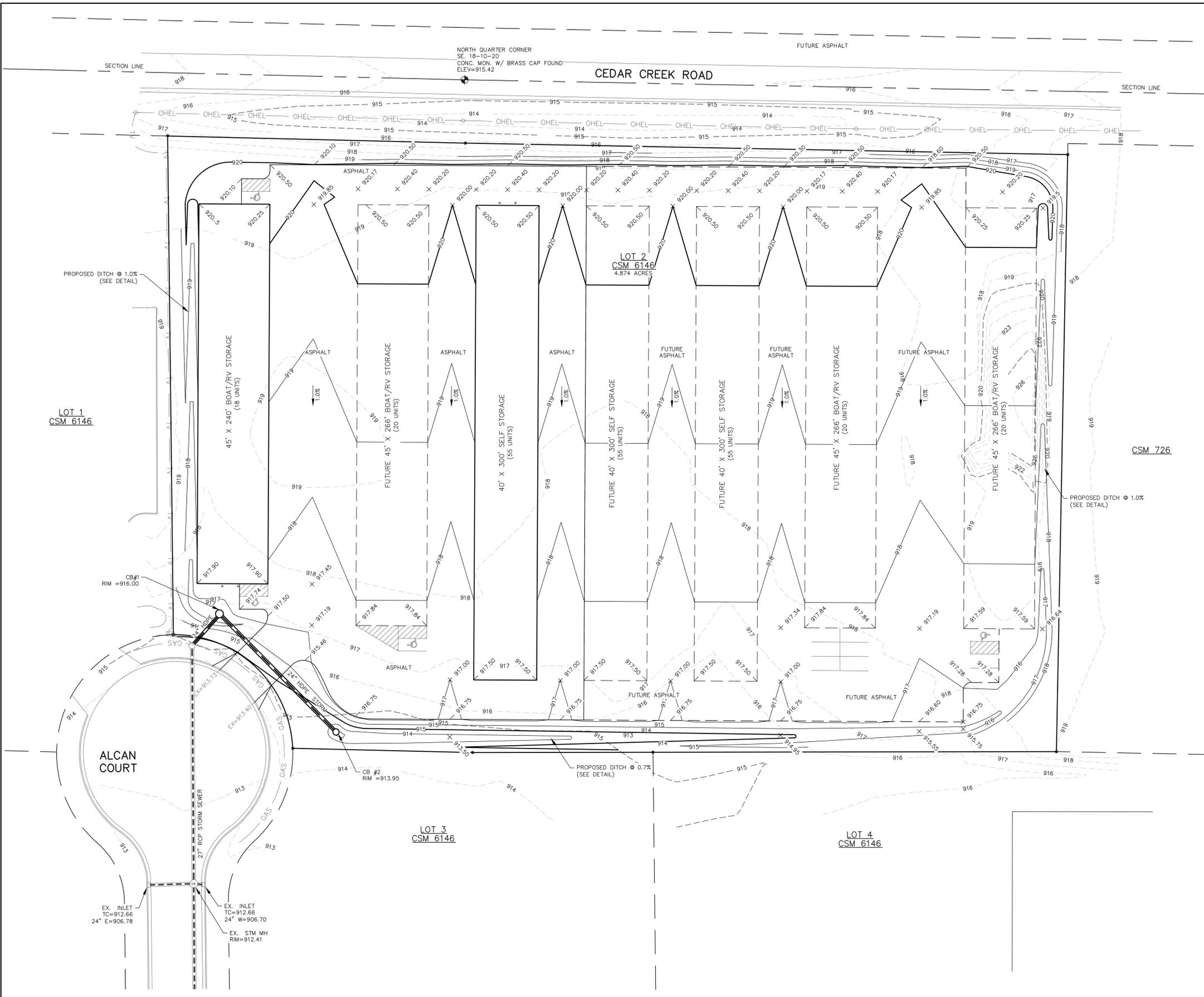
SILT FENCE CONSTRUCTION (SHEET FLOW)

PROJECT NAME
EROSION CONTROL DETAILS
DATED: APRIL 3, 2020

C-105

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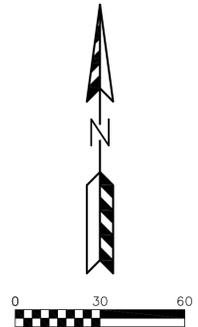
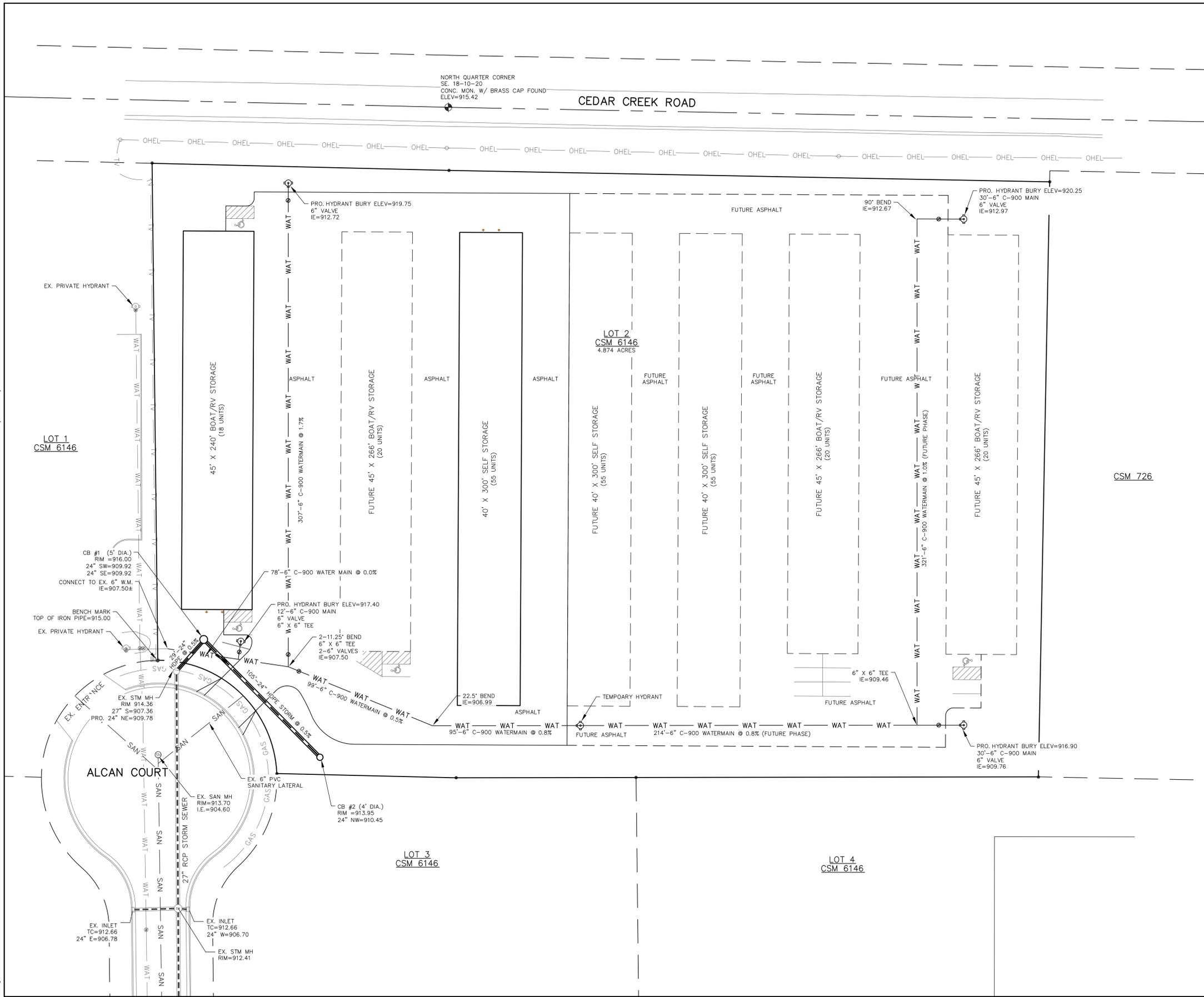


LEGEND:

- 916 --- EXISTING MINOR CONTOUR.
- 915 --- EXISTING MAJOR CONTOUR.
- 916 --- PROPOSED MINOR CONTOUR.
- 915 --- PROPOSED MAJOR CONTOUR.
- EX=913.40 - EXISTING SPOT ELEVATION.
- 915.75 - PROPOSED SPOT ELEVATION.
- --- PROPOSED STORM SEWER.
- --- EXISTING STORM SEWER.
- --- INSTALL WDOT TYPE D INLET PROTECTION.

LIBERTY SELF STORAGE
 GRADING PLAN
 DATED: APRIL 3, 2020

C-106



STORM SEWER CASTINGS:

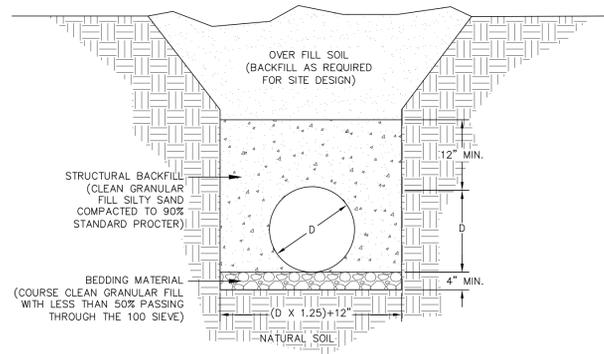
STRUCTURE	STRUCTURE DIAMETER	NEENAH CASTING OR EQUIVALENT
CATCH BASIN #1	5' DIA.	R-2563
CATCH BASIN #2	4' DIA.	R-2561

LIBERTY SELF STORAGE
 UTILITY PLAN
 DATED: APRIL 3, 2020

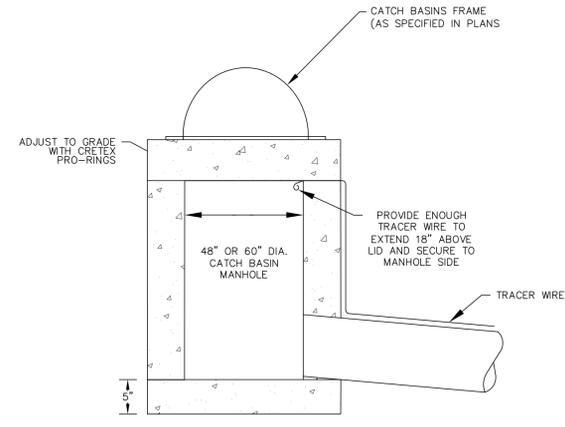
C-107

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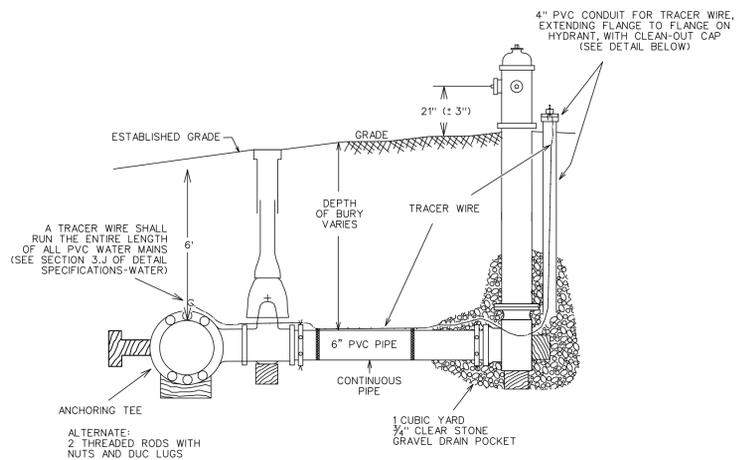
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HDPE PIPE BEDDING DETAIL



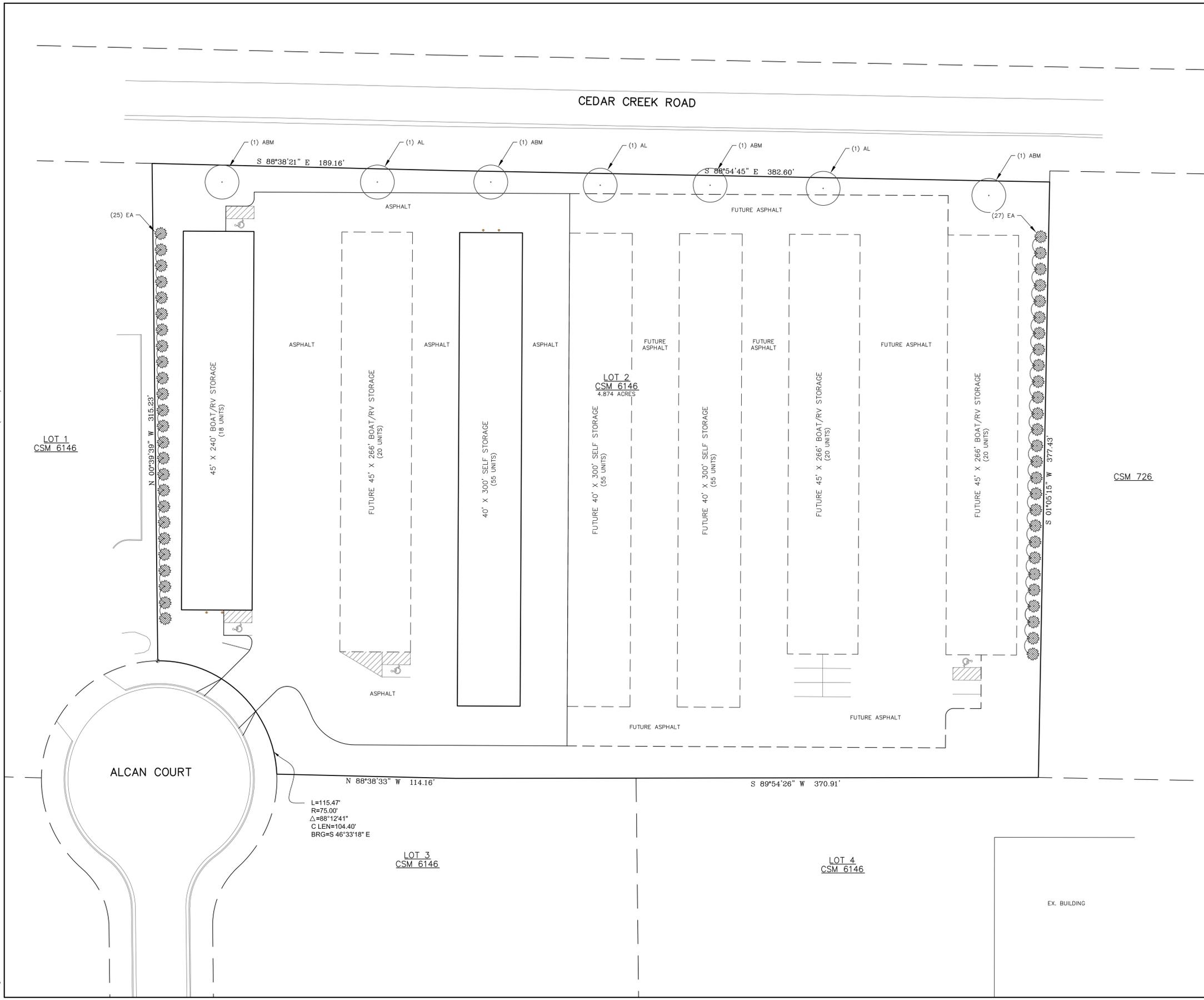
INLET/CATCH BASIN DETAIL



HYDRANT DETAIL

LIBERTY SELF STORAGE
UTILITY DETAILS
DATED: APRIL 3, 2020

C-108



PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
	7		DECIDUOUS SHRUBS	
ABM	4	2"	AUTUMN BLAZE MAPLE	BB
AL	3	2"	AMERICAN LINDEN	BB
	52		UPRIGHT EVERGREEN SHRUBS	
EA	52	4'	EMERALD ARBORVITAE	BB

- NOTES:
1. Designated lawn areas to receive a minimum of 6" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw or straw mat mulch.
 2. Foundation planting beds and designated planting beds to be mulched with shredded hardwood bark mulch spread to a depth of 3".
 3. Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4" diameter) spread to a depth of 3".
 4. Designated planting beds to be separated from lawn areas with 5" black vinyl edging.
 5. Owner will be responsible for landscape maintenance after completion and acceptance of the project.

LIBERTY SELF STORAGE
 LANDSCAPE PLAN
 DATED: APRIL 3, 2020

C-109

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SHEET INDEX

- C1.0 SITE PLAN
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS
- T2.0 SPECIFICATIONS

PROJECT INFORMATION

APPLICABLE BUILDING CODE

2015 INTERNATIONAL BUILDING CODE (WITH WISCONSIN AMENDMENTS)
ASHRE STANDARD 90.1-2013

BUILDING CONTENT

BUILDING & FIRE AREA SQUARE FOOTAGES

FLOOR AREAS	PROPOSED
BUILDING #1	10,800 S.F.
BUILDING #2	12,000 S.F.
BUILDING AREA SUB-TOTALS	22,800 S.F.

HIGH PILE STORAGE YES/NO
FIRE ALARM SYSTEM YES/NO

OCCUPANCY
S-1 - MODERATE HAZARD STORAGE
NON SEPARATED

CONSTRUCTION CLASSIFICATION

TYPE VB CONSTRUCTION
SPRINKLED YES/NO
FIREWALL YES/NO

ALLOWABLE AREA

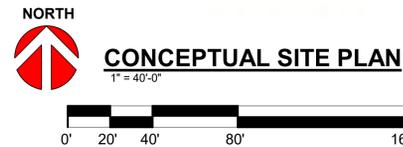
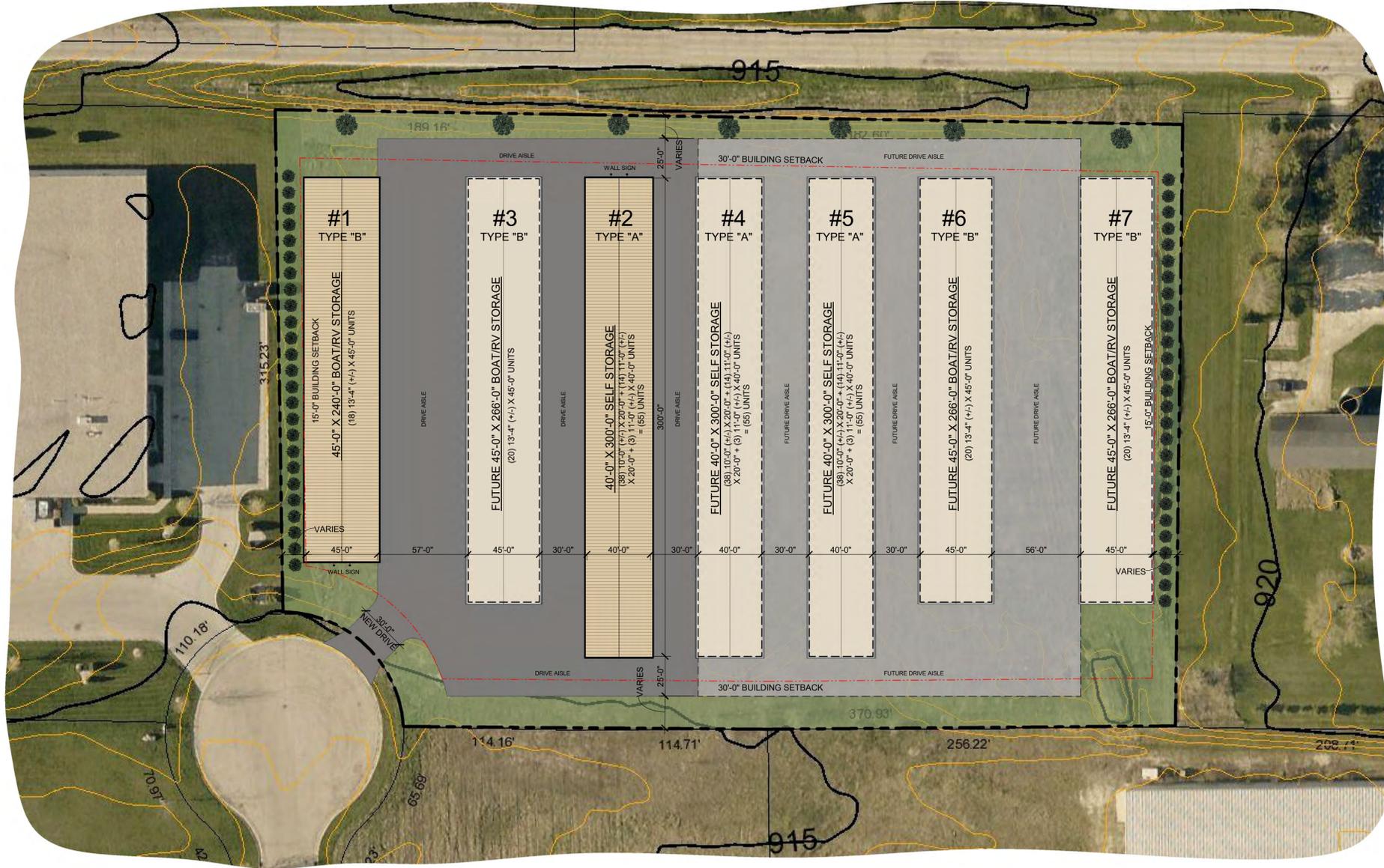
TABULAR FLOOR AREA: 9,000 S.F.
FRONTAGE INCREASE: 6,750 S.F.
SPRINKLER INCREASE: N/A
TOTAL ALLOWABLE AREA: 15,750 S.F.
ALLOWABLE FIRE AREA: 12,000 S.F.

BUILDING/SITE CONTENT

BUILDING SIZE 22,800 S.F. 10.7%
HARD SURFACE 57,845 S.F. 27.2%
GREEN SPACE 132,160 S.F. 62.1%
PARCEL SIZE (APPROX.) 212,805 S.F. 4.89 ACRES
PARKING PROVIDED N/A

ZONING INFORMATION

ZONING: PUD
FRONT YARD SETBACK: 30'-0"
SIDE YARD SETBACK: 15'-0"
REAR YARD SETBACK: 30'-0"



PROPOSED FOR:

LIBERTY SELF-STORAGE

JACKSON,

WISCONSIN



Keller
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
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Goldendale Rd
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LIBERTY SELF-STORAGE
JACKSON,
WISCONSIN

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REVISIONS

NO.	DATE	BY
1	03.31.2020	TDP
2		
3		
4		
5		
6		

PROJECT MANAGER: D. UTTECH
DESIGNER: C. MANSKE
DRAWN BY: TDP
EXPEDITOR: -----
SUPERVISOR: -----
PRELIMINARY NO.: P20080
CONTRACT NO.: -----
DATE: 03.23.2020
SHEET: C1.0

THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

PRELIMINARY - NOT FOR CONSTRUCTION



Keller

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1-800-236-2534
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Sun Prairie, WI 53590
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PHONE (608) 318-2337

WASAU
5605 Libac Ave
Wasau, WI 54401
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FAX (715) 849-3181

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LIBERTY SELF-STORAGE

WISCONSIN

JACKSON,

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1	03.31.2020	TDP
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3		
4		
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6		

PROJECT MANAGER:

D. UTTECH

DESIGNER:

C. MANSKE

DRAWN BY:

TDP

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P20080

CONTRACT NO:

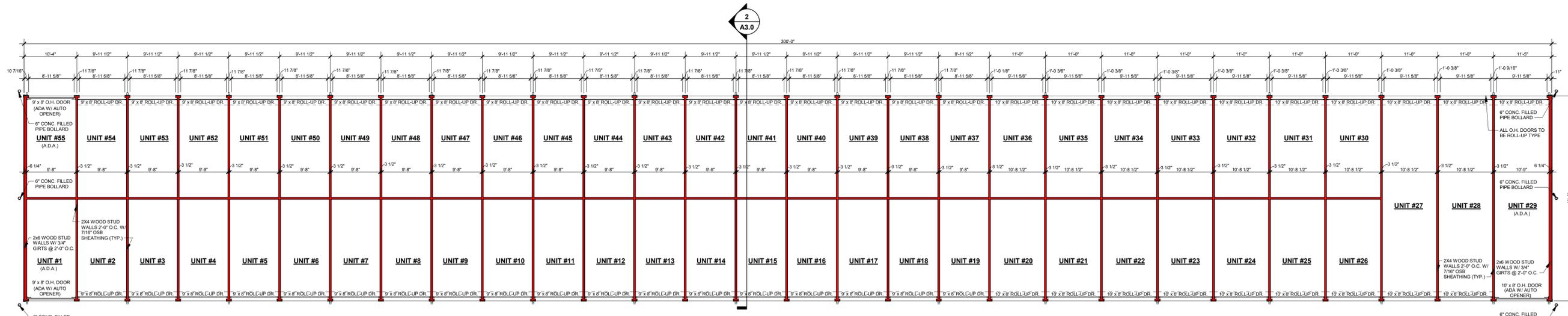
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03.23.2020

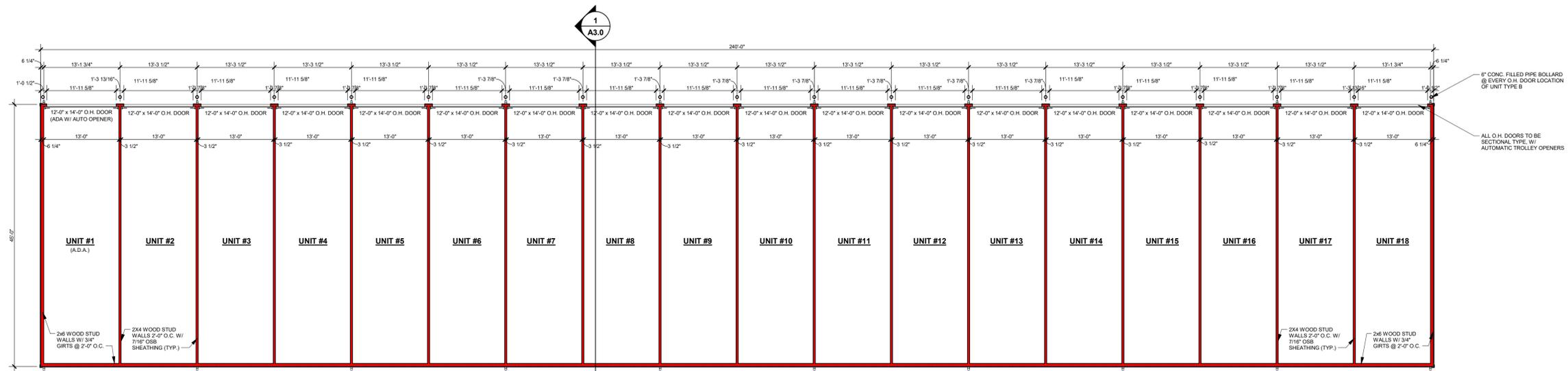
SHEET:

A1.0

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FLOOR PLAN (TYPE A)
1" = 10'-0"



FLOOR PLAN (TYPE B)
1" = 10'-0"

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PROJECT MANAGER: D. UTTECH

DESIGNER: C. MANSKE

DRAWN BY: TDP

EXPEDITOR: -----

SUPERVISOR: -----

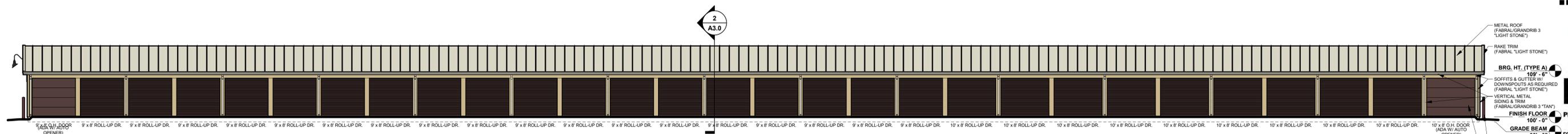
PRELIMINARY NO.: P20080

CONTRACT NO.: -----

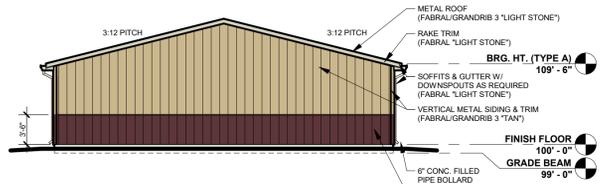
DATE: 03.23.2020

SHEET: **A2.0**

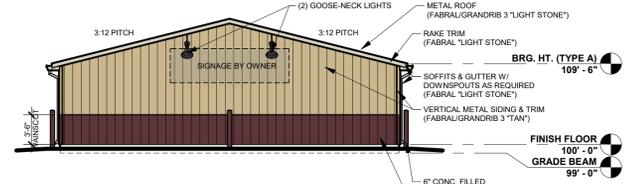
PRELIMINARY - NOT FOR CONSTRUCTION



WEST ELEVATION (TYPE A)
1" = 10'-0"



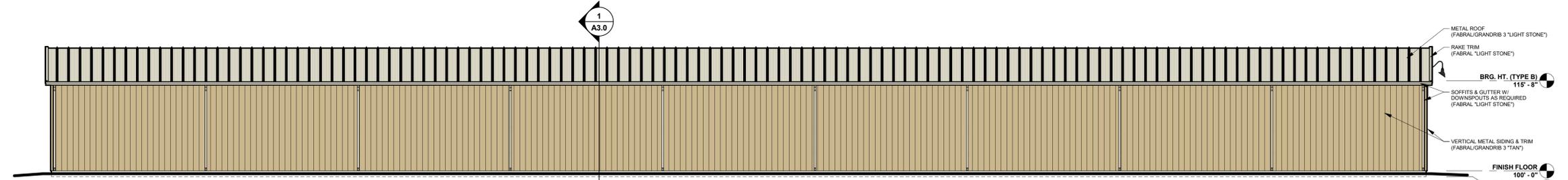
SOUTH ELEVATION (TYPE A)
1" = 10'-0"



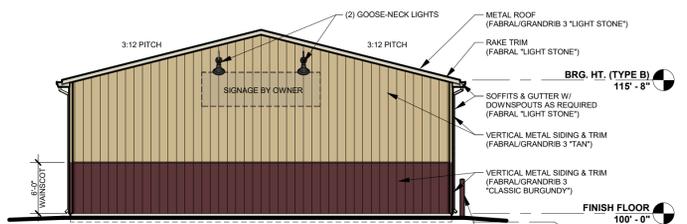
NORTH ELEVATION (TYPE A)
1" = 10'-0"



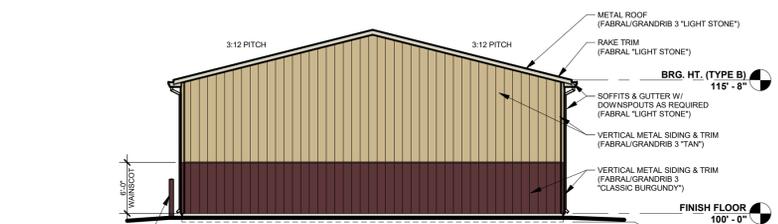
EAST ELEVATION (TYPE A)
1" = 10'-0"



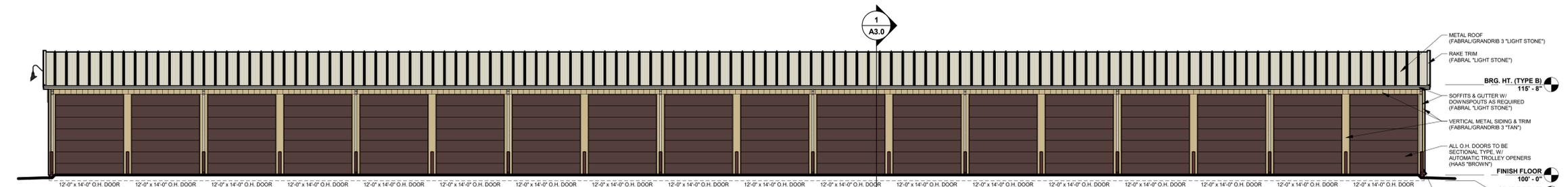
WEST ELEVATION (TYPE B)
1" = 10'-0"



SOUTH ELEVATION (TYPE B)
1" = 10'-0"



NORTH ELEVATION (TYPE B)
1" = 10'-0"



EAST ELEVATION (TYPE B)
1" = 10'-0"



LIBERTY SELF-STORAGE

JACKSON,

WISCONSIN



LIBERTY SELF-STORAGE

JACKSON,

WISCONSIN

FABRAL[®]

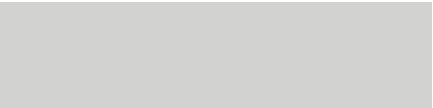
METAL WALL AND ROOF SYSTEMS

ENDURACOTE[®]

COLOR CHART - SMP PAINT SYSTEM



Brite White 824 IR=.60



White 899 IR=.54



Ivory 883 IR=.62



Light Stone 887 IR=.51



Tan 855 IR=.38



Hickory Moss 870 IR=.36



Cocoa Brown 856 IR=.35



Dark Brown 859 IR=.30



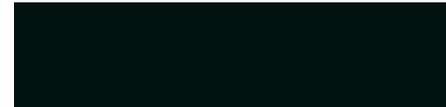
Antique Bronze 854 IR=.29



Patina Green 893 IR=.38



Evergreen 875 IR=.27



Hartford Green 821 IR=.29



Caribbean Blue 881 IR=.27



Gallery Blue 826 IR=.29



Brick Red 898 IR=.31



Brite Red 845 IR=.32



Classic Burgundy 853 IR=.26



Ash Gray 848 IR=.38



Light Gray 889 IR=.31



Charcoal Gray 851 IR=.35



True Black 882 IR=.30



Copper Penny 939 ** IR=.48
IR = Initial Reflectivity



Crinkle Ash SR=.43



Crinkle Rural Red SR=.35



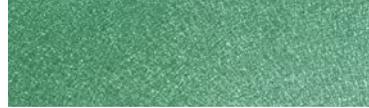
Crinkle Matte Black SR=.31



Crinkle Charcoal SR=.33



Crinkle Burnished Slate SR=.31



Crinkle Evergreen SR=.33

Colors shown are as close to actual colors as allowed by the printing process. Actual metal samples are available. Colors may appear different when viewed at different angles & under different lighting conditions.

Due to product improvements, changes & other factors, we reserve the right to change or delete information herein without prior notice.

**Subject to premium pricing.



*All colors are ENERGY STAR® approved

VILLAGE OF JACKSON PLAN COMMISSION APPLICATION - SUBMITTAL GUIDE

(Meetings are held the fourth Thursday of the month. Applications are DUE the 1st Friday of the month for that month's meeting.)

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u> <i>Refer to number items in shaded column →</i>	<u>TYPE OF INFORMATION DESCRIBED</u> <i>(See reverse side for further instructions)</i>	<u>Paper or Digital Copy Required</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (<i>all pages</i>)	Both
			2) Describe the intended use and operation	Both
CONDITIONAL USE			3) Address labels of adjacent owners to be notified (200' / 500')	Both
- Full Review	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	4) Property owner acknowledgement of the request	Both
- *Special Use (to existing CU)	\$50	1,2,4,5,6,7,13	5) Impact Statement	Both
			6) Location Map	Both
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	7) Development Plan / Site Plan	Both
- *Special Use (to existing PUD)	\$50	1,2,3,4,5,6,7,13 (14-22 upon request)	8) Preliminary Plat	Both
			9) Final Plat	Both
REZONING	\$200	1,2,3,4,6,9 or 10 (500' for rezoning) 200' for Cond. Use or PUD Site Plan	10) Certified Survey Map	Both
			11) Annexation Petition	Both
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	12) Annexation Map	Both
			13) Sketch Plan	Both
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	14) Landscape and Buffer Plan	Both
EXTRA TERRITORIAL PLAT/CSM	\$150	1,2,6,9 / 10		
EXTRA TERRITORIAL PLAT OUTSIDE SANITARY SRVC. AREA	\$50	1,2,6,9 / 10	<u>Engineering Review - Infrastructure</u>	
			15) Grading / Drainage Plan	Both (24x36)
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sanitary Sewer / Storm Sewer Plans	Both (24x36)
			17) Street / Right of Way cross sections	Both (24x36)
FINAL PLAT / Final Plat Reappl.	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	Both (24x36)
			19) Proposed colors / materials	Both
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement	Both
			21) Annexation Agreement (<i>includes pre-annex agreements</i>)	Both
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) Other -	Both
VARIANCE / APPEAL	\$150	1,2,3,4,6,7		
MAILING LABELS	\$25	For all property addresses within 200 feet For all properties within 500' if rezoning ONLY	Must submit additional fee if not providing labels	Both

***SPECIAL USE PERMITS** are applicable to EXISTING Conditional Use Permits and Planned Unit Developments. The granting of a Special Use Permit shall not change the character of the principal use or conflict with the purpose and intent of the original Conditional Use or Planned Use Development approval. Special Use Permits shall be reviewed for impact on neighboring uses in addition to the neighborhood. Compatibility is a primary consideration.

Examples of special uses include: New or expanded tenant uses including occupancies, minor changes to building facades, minor lighting changes, paint schemes, certain accessory structures, sign replacements of equal or lesser size or other uses or modifications as determined by the Village.

Applications shall be submitted NO LATER than 4:00 PM on the 1st Friday of the month to be considered at that month's meeting.

In some cases, additional copies of a submittal may be required. Only COMPLETE applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month at which a public hearing may be held. A decision on the request could be made at that time.

EXPLANATION OF TYPES OF INFORMATION REQUIRED (From front page of application form)

1. **Application Form:** You MUST SUBMIT both HARD (paper) and DIGITAL (USB Drive) copies of your application.
2. **Letter of Intent:** What you are requesting in your own words? (Be brief)
3. **Mailing/Address Labels:** It is your responsibility to provide the Village with addresses labels of ALL adjacent property owners within a 200-foot radius of the subject property. If mailed notification is required for your application, an incorrect address may cause a delay. (Additional \$25 is required if Village provides address labels.)
4. **Proof of Property Ownership:** A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. **Impact Statement:** In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. General hours of operation.
 - B. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc).
 - C. Vehicle trip generation (trips per day per unit x number of units).
 - D. Estimated numbers of vehicles and/or equipment, materials, to be parked and/or stored on site.
 - E. Proposed sign(s) advertising business, directional signage, dwelling unit rental, etc.
 - F. Proposed dates of construction and completion.
 - G. Anticipated user profiles (for residential developments).
 - H. Annual water consumption estimate (100% occupancy and build-out).
 - I. Annual sewage generation estimate (100% occupancy and build-out).
6. **Location Map:** An aerial map indicating where the site is located within the Village.
7. **Development Plan:** Show entire proposal on the site. Include edge of pavement and/or back of the curb line, sidewalks (existing and proposed), structure footprint(s), driveways, parking areas, fencing, refuse enclosures, locations of accessory uses, and overall dimensions of structures and setbacks, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. **Plat Map:** Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. **Certified Survey Map:** A recordable document showing the legal and mapped description of the land division.
11. **Annexation Petition/Attachment Request:** Shows owner is supporting the annexation.
12. **Annexation Map:** A recordable map having the legal and mapped description of the parcel to be annexed.
13. **Sketch Plan:** An informal drawing depicting the proposal for discussion purposes.
14. **Landscape Plan:** Show location, size, type, botanical name & common name of proposed trees & shrubs. Also details surface treatments. Show walls, fence location and style, buffers/screening and similar details.
15. **Grading/Drainage Plan:** Show original & proposed grades & runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (Storm sewer system, ditches, culverts, etc.)
16. **Water/Sewer/Storm Sewer Plans:** Show size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer system with gradient profiles and invert elevations; shows the proposed storm drainage system as in #15 above.
17. **Street Crossing Sections:** Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. **Erosion Control Plan:** A map of existing site conditions on a scale of at least 1-inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. **Proposed Building Colors and Materials:** Submit samples of exterior colors and materials.
20. **Improvement Agreement:** An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. **Annexation Agreement.**

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____ - _____

PROPERTY INFORMATION

- COMMERCIAL INDUSTRIAL RESIDENTIAL OTHER _____
- CONDITIONAL USE PLANNED UNIT DEVELOPMENT CERTIFIED SURVEY MAP
- New New CONCEPT PLAN
- Special Use Special Use OTHER _____
- (For existing CU ONLY)* *(For existing PUD ONLY)*

Property Address: S/E corner of Delaney Court and Northwest Passage Unit: _____ Jackson, WI

Parcel #: 048900A007 Lot Size: 145,802 sq. ft. Building Area: 36,456 sq. ft.

Current Zoning: B-1 B-2 M-1 M-2 I-1 PUD Other _____ Floodplain

APPLICANT INFORMATION

Name(s): Mark Hertzfeldt - Design 2 Construct

Mailing Address: N173W21010 Northwest Passage , fJackson State WI Zip 53037

Office: (262) 677-9933 Cell: (262) 224-1342 Fax: (262) 677-9934

Email: mhertzfeldt@design2construct.com

BUSINESS INFORMATION *(If New Business)*

Legal Business Name: TBD

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: _____ State _____ Zip _____

Office: (_____) _____ Cell: (_____) _____ Fax: (_____) _____

Email: _____

Website: _____

PROPERTY OWNER INFORMATION

Name(s): James Blise - Delaney Group. LLC

Address: N173W21010 Northwest Passage , fJackson State WI Zip 53037

Office: (262) 677-9933 Cell: (262) 224-1333 Fax: (262) 677-9934

Email: jblise@design2construct.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION *(Circle One)*

Firm Name: Design 2 Construct

Primary Contact: Mark Hertzfeldt

Address: N173W21010 Northwest Passage , fJackson State WI Zip 53037

Office: (262) 677-9933 Cell: (262) 224-1342 Fax: (262) 677-9934

Email: mhertzfeldt@design2construct.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: Please refer to the included project narrative

Provide a brief overview of proposed use(s) of entire property and/or lease space: _____

As this is a Spec building the proposed uses are not known at this time.

Hours of Operation: TBD

Provide a brief overview of proposed daily on-site operations: TBD

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: TBD

Describe all businesses, properties and other entities located adjacent to the proposed use: _____

All adjacent uses are commercial or industrial buildings that are a combination of Factory/ fabrication and warehousing uses

Proposed, development, on-site improvements or other construction/remodeling activities: _____

Please refer to the included project narrative

Proposed grading and/or stormwater management plan: _____

Please refer to the included civil engineering plans for details on grading. Stormwater management will be addressed by using the existing regional stormwater ponds in the industrial park

Proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____

Please refer to the included landscape plan

Proposed on-site security measures including site lighting: _____

Please refer to the provided photometric plan and project narrative

Life Safety Systems – Existing or Proposed (Includes fire hydrants, fire suppression & fire alarm systems): _____

The proposed building will protected by an automatic fire sprinkler system. New fire hydrants and fire alarm systems are not proposed.

Projected traffic circulation and impacts: The existing traffic circulation in this area is well established.

This project will have no impact on the existing traffic.

Setbacks from rights-of-way and property lines and height limitations: _____

Front yard setback: 40'-0", Side and rear yard setback 20'-0"

Status of State/Federal License(s) or Certificate(s) required for operation: _____

TBD

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?

No Yes If yes, explain: _____

Describe any proposed signage including type and location: _____

No signage approvals requested at this time. All signage will come back to plan commission at a later date.

Exterior Building Materials (type, color, etc.): Please refer to the included project narrative

Site Specific Features/Constraints: None

Parking (Total No. of spaces plus number of dedicated handicapped parking and type): _____

47 total parking stalls including 3 ADA stalls, 30 future stalls available if necessary

Proposed screening/buffering from adjacent properties: None proposed

Proposed provisions for refuse and recycling collection/storage: Trash enclosure provided on the north side of the

Building

Projected Sewer/Wastewater Usage: TBD gal/year

Projected Water Usage: TBD gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print): Mark Hertzfeldt _____

Applicant Signature:  _____

Co-Applicant Name (Print): _____

CO-Applicant Signature: _____

Date of Application: 04.24.2020 _____

You MUST sign and date this Application!

SUBMIT TO: Village of Jackson – Village Hall (*Checks shall be made payable to Village of Jackson*)
N168 W20733 Main Street
PO BOX 637
Jackson, WI 53037

QUESTIONS?

Village Clerk: For all **general questions** related to completing form or questions related to Village meetings.
Phone: (262) 677-9001 x11
Email: jilline.dobratz@villageofjackson.com

Building Inspector: For questions concerning **building codes, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjackson.com

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

TEMPORARY *Expiration Date:* _____, 20____

Plan Commission Approval: *Meeting Date:* _____, 20____

Village Board Approval: *Meeting Date:* _____, 20____

In-House Approval (O-T-C): *Date:* _____, 20____

Approved by: John Walther, Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: *Date:* _____, 20____

Staff Initials: _____

Reason for Denial: _____

<p>FOR OFFICE USE ONLY Acct. #: 100-00-45730-000-00</p> <p>Date Received: _____</p> <p>Amount: _____</p> <p>Payment Type: CH / CC / CA</p> <p>Check/Receipt #: _____</p> <p>Received By: _____</p>

VILLAGE OF JACKSON

N168W20733 MAIN ST.
P O BOX 637
JACKSON, WI 53037-0147

Receipt Nbr: 230406
Date: 5/04/2020
Check

RECEIVED FROM DESIGN 2 CONSTRUCT / DELANEY GROUP \$150.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	Account Nbr: 100-00-45730-000-000 PLANNING / ZONING FEES CUP APPLICATION / DELANEY / CK #108249	150.00
<hr/>		
TOTAL RECEIVED		150.00
<hr/>		

Receipt Memo: CUP APPLICATION / DELANEY / CK #108249



Planning Commission
Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

April 24, 2020

Re: Project Narrative:

Introduction:

Attached to this project narrative you will find the graphical information regarding the proposed business development located on the southeast corner of Delaney Court and Northwest Passage.

Existing Site:

The existing site is approximately 3.47 acres and is currently vacant. The site frontage is along Delaney Court on the west, Existing Commercially zoned lot on the north and east and Northwest Passage to the south. The parcel has the option to be accessed from both Delaney Court and Northwest Passage.

New Site:

This proposal is to utilize the existing vacant site for a development that will provide spec office and Industrial. Access for the site will be in the northwest corner and the center of the south property line. The parking for the site will be provided along the south side of the site with proposed parking expansion if necessary, along the west. Site lighting will be accomplished utilizing light bollards along the sidewalk serving the building entry points. Full cut off wall packs will be provided along the north side of the building to provide lighting for the loading docks and service entrances.

New Building:

The proposed site submitted for your review will be used to construct a new 36,456 s.f. speculative office / industrial building. The building can provide for up to four individual tenants. The building primary facades face south to the proposed parking field along Northwest Passage and west to Delaney Court.

The building materials are proposed as Precast wall panel. The Precast panel will be painted two different colors as shown in the provided rendering. Dark aluminum window frames with tinted glass for all fenestration and decorative canopies are provided at the main entrances.

Building signage is not addressed in this submittal. All building signage for future tenants will be submitted to the Plan Commission at a later date for approval. A monument sign is proposed at the site access point on Northwest Passage. This sign will be submitted to the Plan Commission for approval at a later date.

N173 W21010

Northwest Passage Way

Jackson, WI 53037



Tel: 262.677-9933

Fax: 262.677.9934

Storm water management for this site will be accomplished utilizing the existing regional pond system located in the industrial park.

Plan of Operation:

As mentioned, the building is being developed as Spec Space, therefore the specific plan of operation for the individual tenants will be presented to Village Staff when under consideration.

Impact Statement:

The impacts of this development upon the Village of Jackson utilities, water consumption, sewage generation, traffic etc... are not able to be quantified at this point. These items can be assessed when individual tenants are approved and installed in the building.

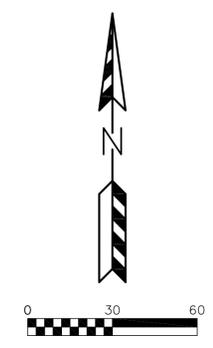
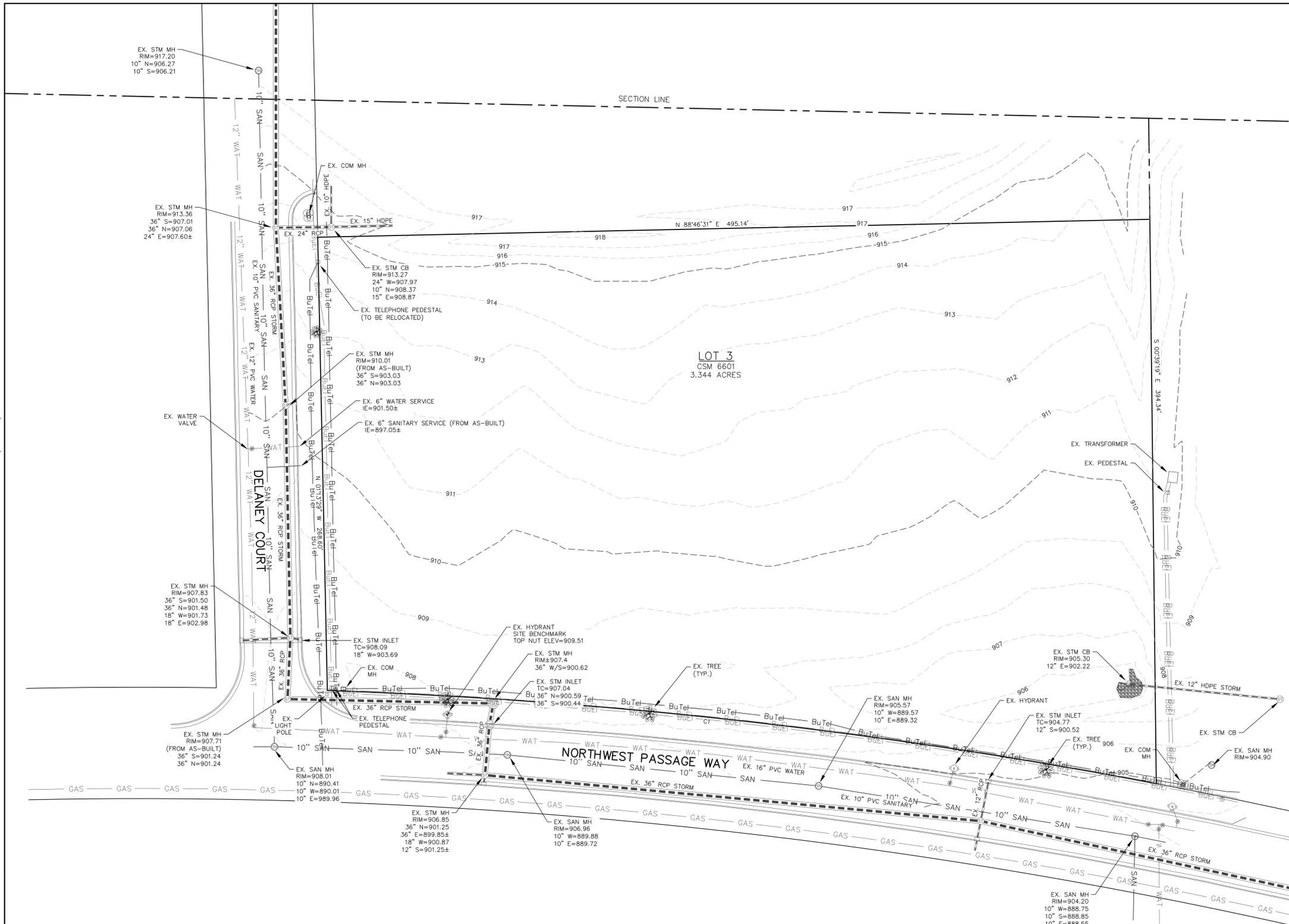
We do not believe this new development will negatively impact or be a nuisance to the surrounding neighborhood. This involves the development of an existing site zoned for commercial development and is consistent with the nature of the surrounding neighborhood which is currently a mix of commercial development. The traffic patterns in the neighborhood are already established and will not be affected by the new development.

If you have any questions or concerns regarding this proposed development please feel free to contact my office.

Sincerely,
Mark Hertzfeldt

A handwritten signature in black ink, appearing to read 'Mark Hertzfeldt', with a large, stylized flourish at the end.

Design 2 Construct



C1 RADIUS=3233.00'
CENTRAL ANGLE=08°48'08"
ARC LENGTH=496.68'
CHORD LENGTH=496.19'
CHORD BEARING=N83°36'51"W
BK TANGENT BEARING=N79°12'47"W
AH TANGENT BEARING=N88°00'55"W

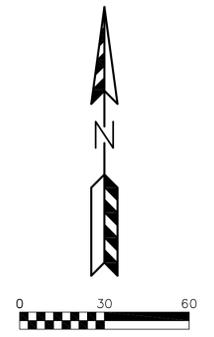
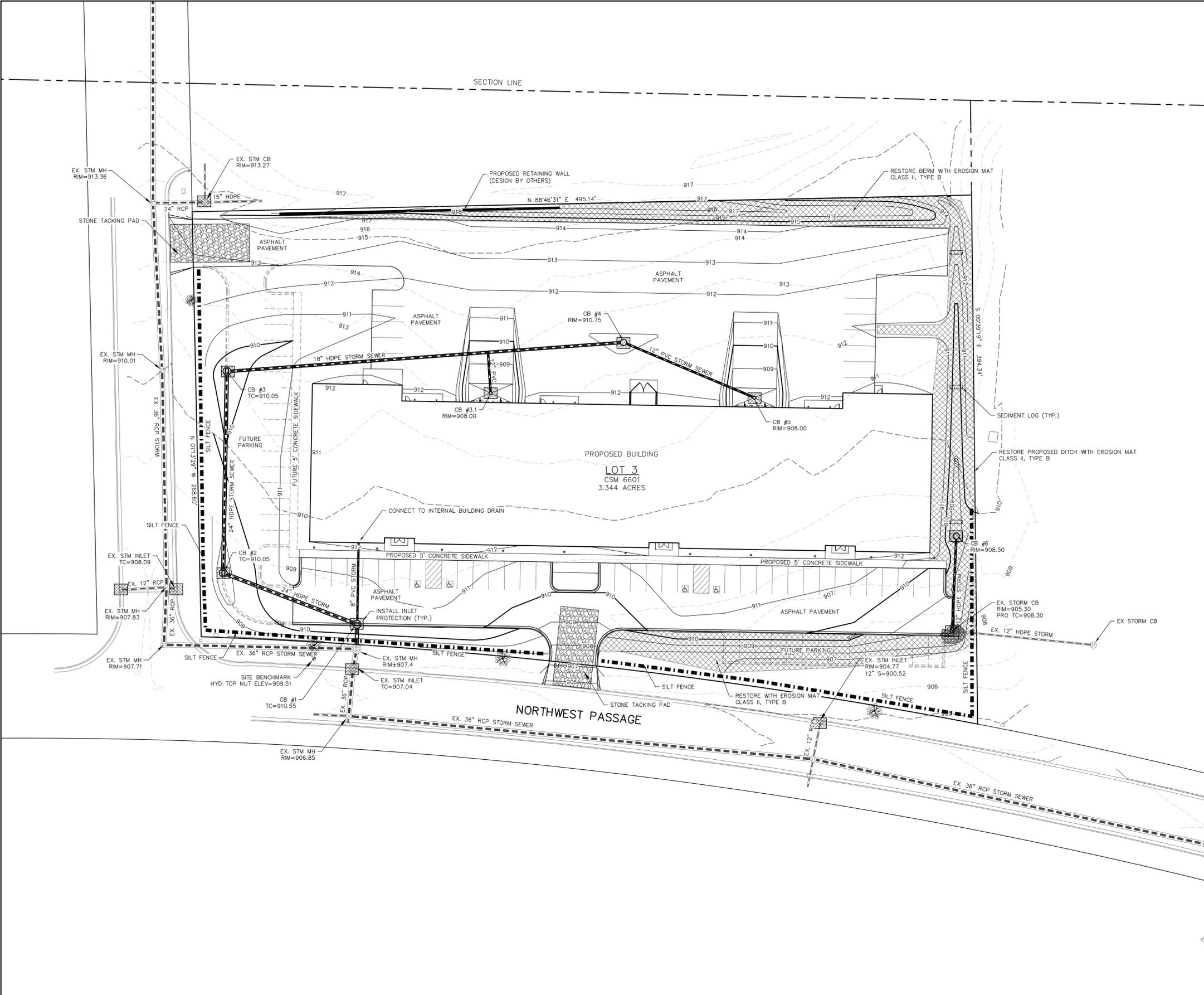
- LEGEND:**
- 896 --- EXISTING MINOR CONTOUR.
 - 895 --- EXISTING MAJOR CONTOUR.
 - OHEL — OVERHEAD ELECTRIC LINE.
 - BuEl — BURIED ELECTRIC LINE.
 - BuTel — BURIED TELEPHONE LINE.
 - FO — FIBER OPTIC LINE.
 - GAS — GAS LINE.
 - SAN — SANITARY SEWER MAIN OR LATERAL.
 - WAT — WATER MAIN OR SERVICE.
 - STORM SEWER LINE.
 - [ELEC] — ELECTRIC METER.
 - [GAS] — GAS METER.
 - [GAS VALVE] — GAS VALVE.
 - [FIRE HYDRANT] — FIRE HYDRANT.
 - [POWER POLE] — POWER POLE.
 - [SN] — SANITARY SEWER MANHOLE.
 - [ST] — STORM SEWER MANHOLE.
 - [STORM SEWER INLET] — STORM SEWER INLET.
 - [T] — TELEPHONE PEDESTAL.
 - [TRAN] — TRANSFORMER.
 - [W] — WATER VALVE.

DELANEY VI
EXISTING CONDITIONS PLAN
DATED: APRIL 29, 2020

C-101

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

122 Wisconsin Street, West Bend, Wisconsin 53095
Phone (262) 346-7800; www.quamengineering.com



TIME SCHEDULE:

JUNE 15, 2020
 INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS. ANY ADDITIONAL CONSTRUCTION ENTRANCES IF APPROVED BY THE VILLAGE OF JACKSON SHALL HAVE A TRACKING PAD.

JUNE 16, 2020 - OCTOBER 1, 2020
 STRIP TOPSOIL AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "EROSION CONTROL NOTES" ON EROSION CONTROL DETAILS SHEET C-103.
 BEGIN PROPOSED SITE GRADING INCLUDING BUILDING PAD PREPARATION.
 START CONSTRUCTION OF UTILITIES: WATER SERVICE, SANITARY SEWER LATERAL AND STORM SEWER.
 CONTINUE SITE GRADING
 CONSTRUCT BASE COURSES, PROPOSED ASPHALT BINDER, PROPOSED SIDEWALKS AND PROPOSED CURB AND GUTTER.

OCTOBER 2 - 15, 2020
 SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE WITH TEMPORARY LANDSCAPING.
 ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)
 STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.

APRIL 1 - 15, 2021
 CONSTRUCT PROPOSED ASPHALT SURFACE, PERMANENT SEEDING AND RESTORATION OF ALL DISTURBED AREAS WITH PERMANENT LANDSCAPING.
 CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY VILLAGE OF JACKSON PRIOR TO CHANGE.
 AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE
 REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMPs.

DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

LEGEND:

- 702 --- - EXISTING MINOR CONTOUR.
- 700 --- - EXISTING MAJOR CONTOUR.
- - - 702 - - - - PROPOSED MINOR CONTOUR.
- - - 700 - - - - PROPOSED MAJOR CONTOUR.
- - PROPOSED STORM SEWER.
- - EXISTING STORM SEWER.
- ▣ - INSTALL WDOT TYPE D INLET PROTECTION.
- ▣ - INSTALLED SILT FENCE

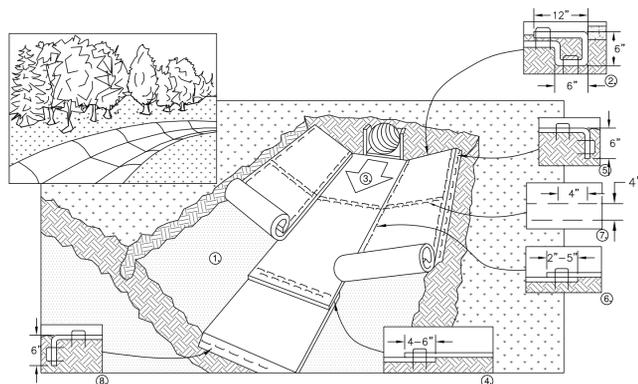
DELANEY VI
 EROSION CONTROL PLAN
 DATED: MAY 1, 2020

C-102

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 Residential and Commercial Site Design Consultants

122 Wisconsin Street, West Bend, Wisconsin 53095
 Phone (262) 346-7800; www.quamengineering.com

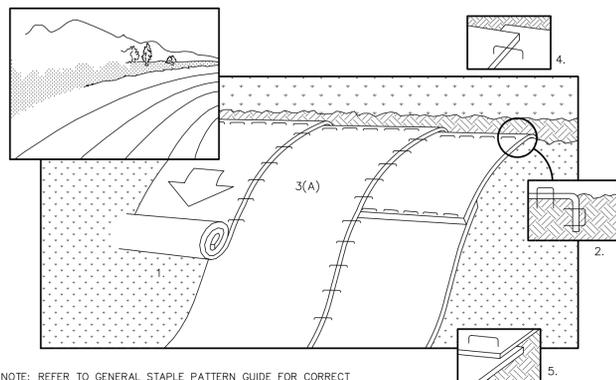
MAXIMUM PERIOD OF BARE SOIL FOR SLOPES > 20%		
SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP?	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)	
	LAND DISTURBANCE BETWEEN SEPTEMBER 16TH AND MAY 1ST	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPTEMBER 15TH
YES	90	90
NO	60	30



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 4" AND STAPLED.
7. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE: ALL STAPLES MUST BE 6" OR GREATER IN LENGTH

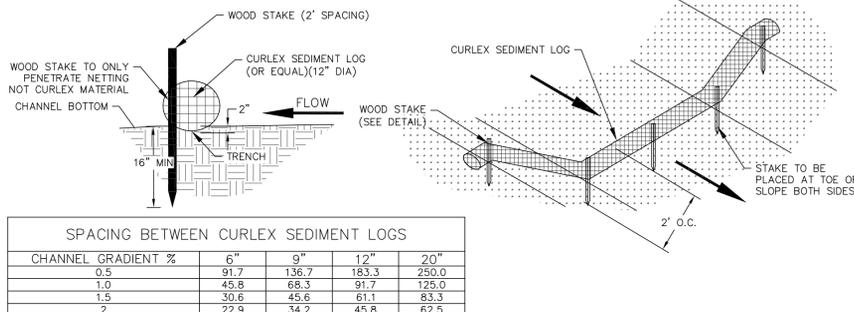
EROSION CONTROL MAT – CHANNEL INSTALLATION



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

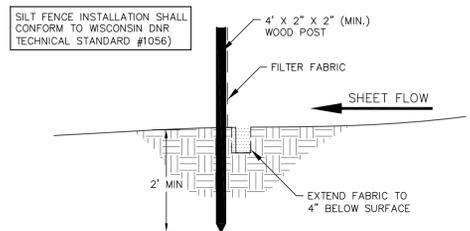
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION CONTROL MAT – SLOPE INSTALLATION

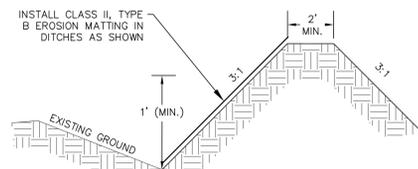


SPACING BETWEEN CURLEX SEDIMENT LOGS				
CHANNEL GRADIENT %	6"	9"	12"	20"
0.5	91.7	136.7	183.3	250.0
1.0	45.8	68.3	91.7	125.0
1.5	30.6	45.6	61.1	83.3
2	22.9	34.2	45.8	62.5

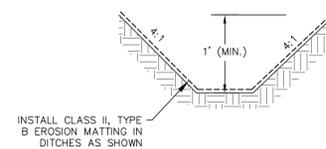
SEDIMENT LOG DETAIL



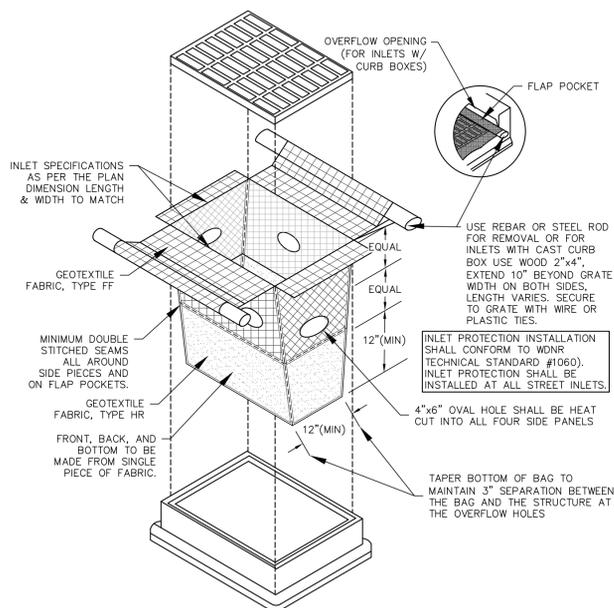
SILT FENCE CONSTRUCTION (SHEET FLOW)



BERM/DITCH DETAIL



DITCH CROSS SECTION



TYPE D-HR INLET PROTECTION DETAIL

EROSION CONTROL NOTES:

THE STONE TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH EROSION MAT (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

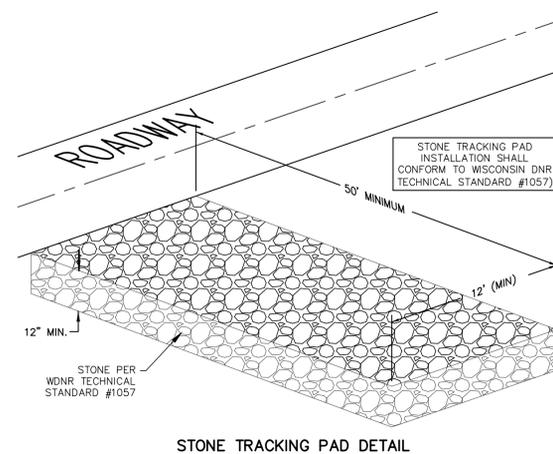
RESTORATION NOTES:

ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEED WITH OLS "MOMM" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.

AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.

ALL FINISH GRADED AREAS SHALL BE SEED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059 FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDER AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.



STONE TRACKING PAD DETAIL

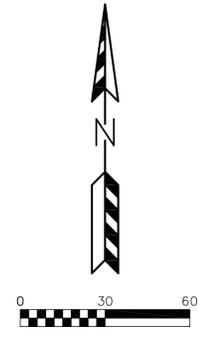
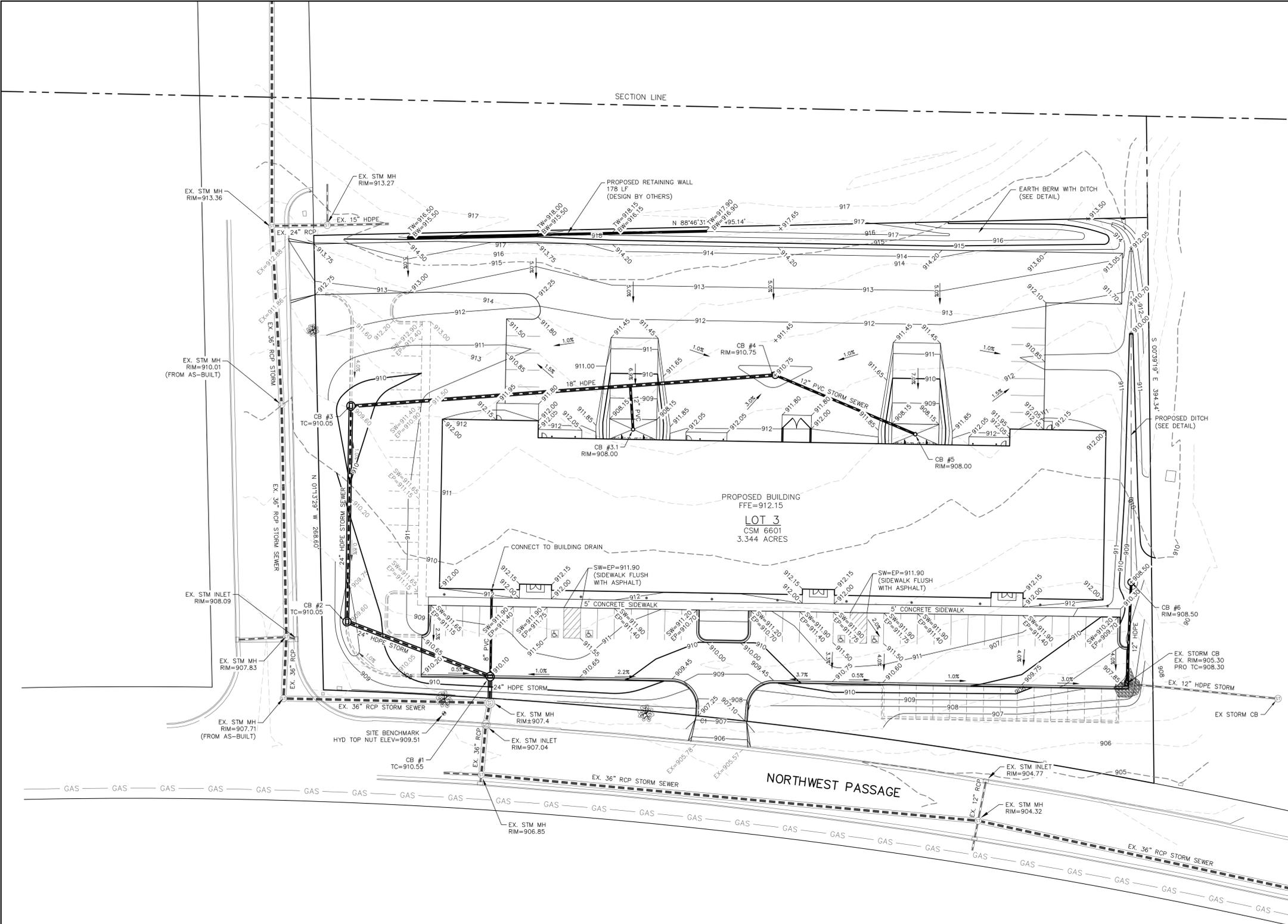
DELANEY VI
EROSION CONTROL DETAILS
DATED: APRIL 29, 2020

C-103

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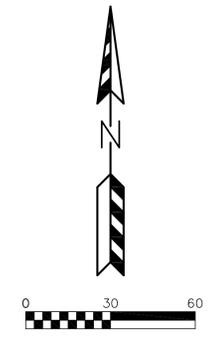
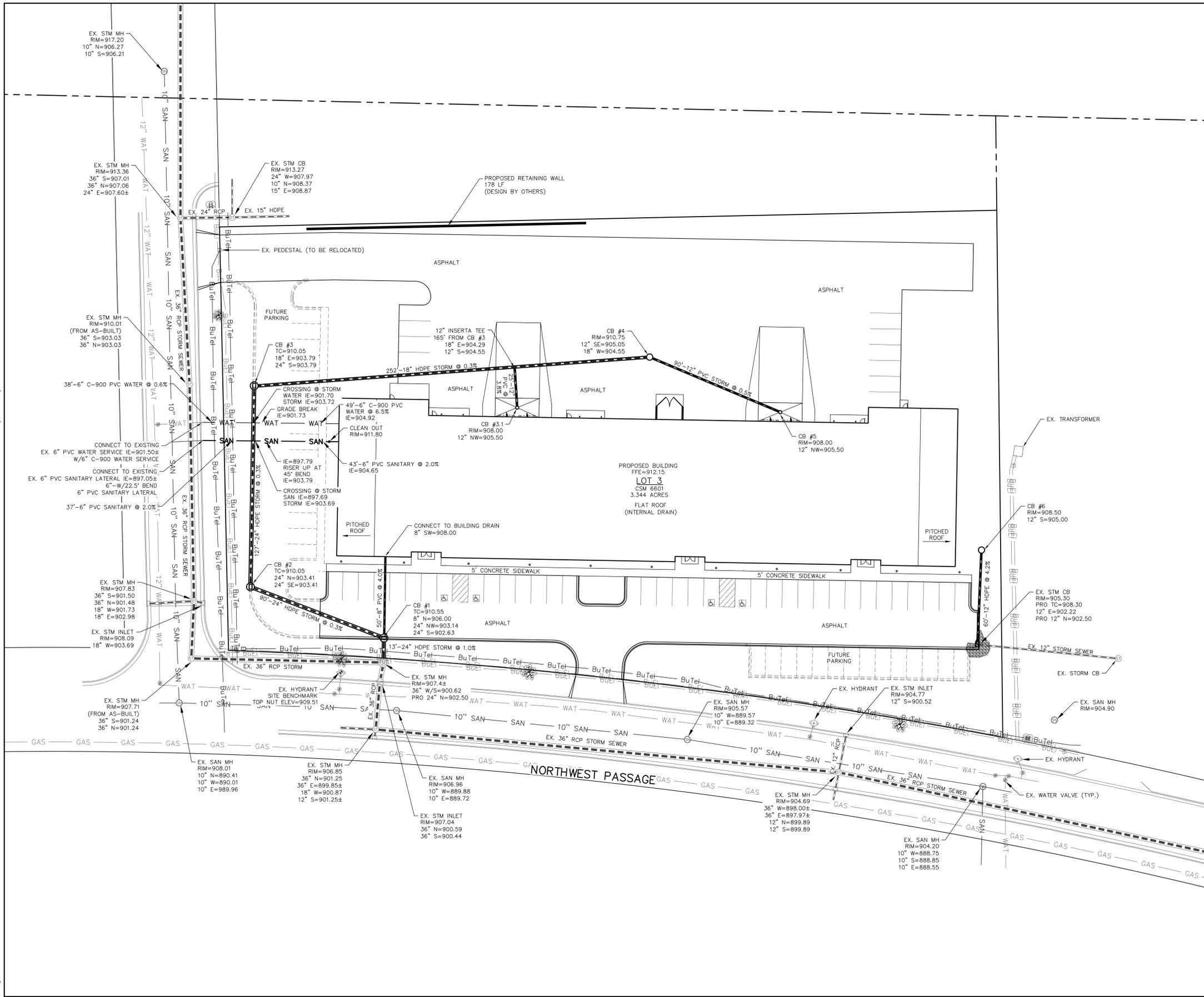
DIGGERSHOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

- LEGEND:**
- 906 --- EXISTING MINOR CONTOUR.
 - 905 --- EXISTING MAJOR CONTOUR.
 - 906 --- PROPOSED MINOR CONTOUR.
 - 905 --- PROPOSED MAJOR CONTOUR.
 - Ex=904.23 - EXISTING SPOT ELEVATION.
 - 907.23 - PROPOSED SPOT ELEVATION.
 - PROPOSED STORM SEWER.
 - EXISTING STORM SEWER.

DELANEY VI
 GRADING PLAN
 DATED: MAY 1, 2020

C-104

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UTILITY NOTES:

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.

ALL UTILITY CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.

ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE VILLAGE OF JACKSON AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF ALL EXISTING UTILITIES PRIOR TO BUILDING CONSTRUCTION AND SHALL REPORT DISCREPANCIES PRIOR TO COMMENCING WORK TO THE ENGINEER OR BUILDING CONTRACTOR.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OR THE AREAS DISTURBED DURING CONSTRUCTION.

BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION.

GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.

SANITARY SEWER SHALL BE PVC ASTM D-3034, SDR 35 WITH INTEGRAL BELL TYPE ELASTOMERIC JOINTS MEETING THE REQUIREMENTS OF ASTM D-3212.

WATER MAIN SHALL BE AWWA C900 CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.

ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATERTIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.

ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY REQUIRES A PERMIT FROM THE VILLAGE OF JACKSON PUBLIC WORKS DEPARTMENT.

DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

STORM SEWER CASTINGS:

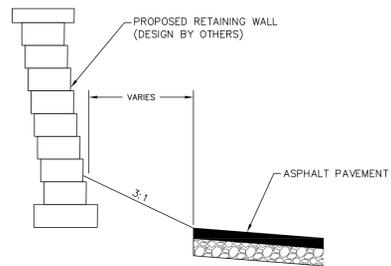
STRUCTURE	STRUCTURE DIAMETER	NEENAH CASTING OR EQUIVALENT
CATCH BASIN #1	5' DIA.	R-3067
CATCH BASIN #2	5' DIA.	R-2560
CATCH BASIN #3	5' DIA.	R-2560
CATCH BASIN #4	4' DIA.	R-2504
CATCH BASIN #3.1	3' DIA.	R-2504
CATCH BASIN #5	3' DIA.	R-2504
CATCH BASIN #6	4' DIA.	R-2560

DELANY VI
 UTILITY PLAN
 DATED: MAY 1, 2020

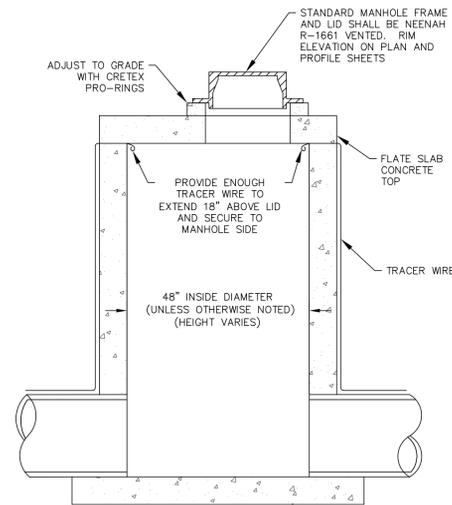
C-105

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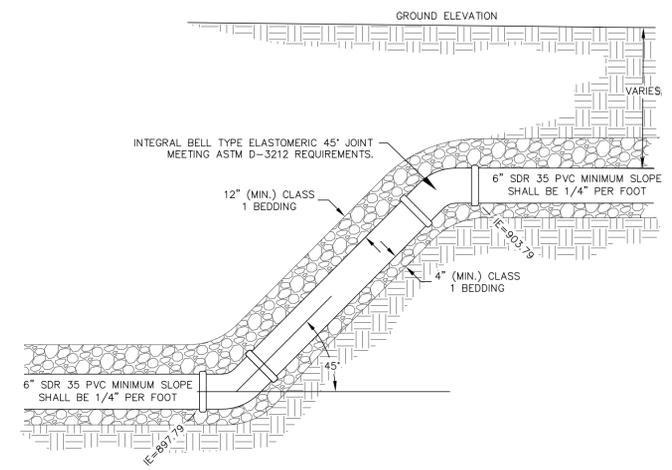
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 Phone (262) 346-7800; www.quamengineering.com



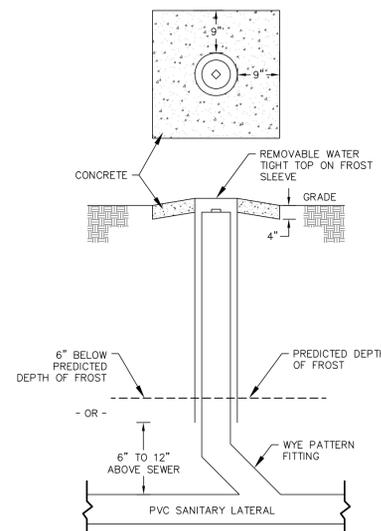
RETAINING WALL DETAIL



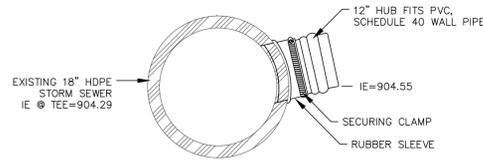
STORM MANHOLE DETAIL



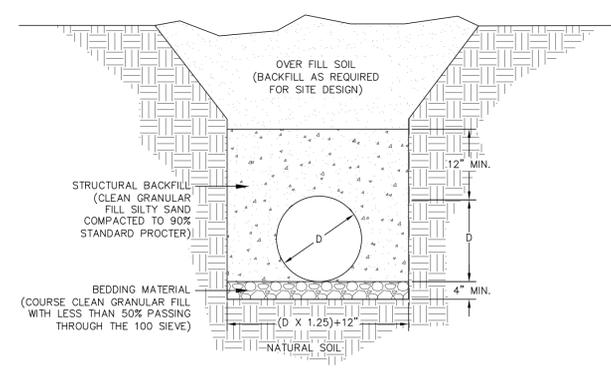
SANITARY LATERAL RISER DETAIL



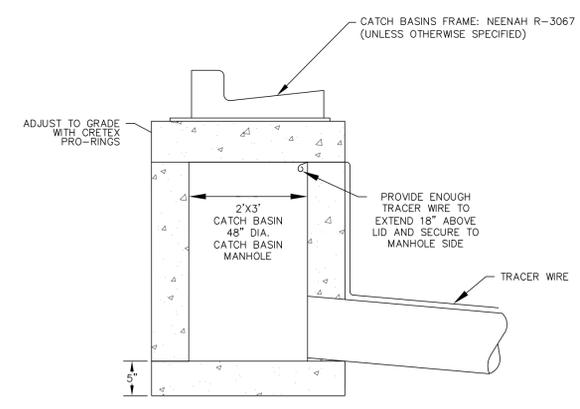
CLEAN OUT WITH FROST SLEEVE DETAIL



INSERTA TEE DETAIL



HDPE PIPE BEDDING DETAIL



INLET/CATCH BASIN DETAIL

DELANY VI
 UTILITY DETAILS
 DATED: APRIL 29, 2020

C-106

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LIGHT FIXTURE KEY				
TYPE	D1	D2	L	Q
SUPPLIER	LITHONIA LIGHTING	LITHONIA LIGHTING	LITHONIA LIGHTING	LITHONIA LIGHTING
DESCRIPTION	EXTERIOR D-SERIES LED WALL PACK	LIGHT BOLLARD	4" EXTERIOR CAN	ELA LT24 WALL MOUNTED REAROTE EMERGENCY LIGHTING
MODEL #	DSX11-LED-10C-5304 0K144MMVOLT-DOBXD	DSX1A-LED-16C-700-40 K3YM-MVOLT-DOBXD	LDN4-WL	ELA - W - T-LT24
# OF LAMPS	N/A	N/A	1	N/A
LAMP TYPE	LED	LED	LED	LED
MOUNTING	WALL MOUNTED	GROUND MOUNTED	RECESSED	WALL MOUNTED
COMMENT			WET LISTED	

SITE NOTE LEGEND

- 01 DOCK LOCKS AT ALL DOCK DOORS
- 02 CATCH BASIN AND TRENCH DRAIN
- 03 6" CONCRETE APRON
- 04 CONCRETE STOOP
- 05 LIGHT BOLLARD (D2) ON CONCRETE BASE FLUSH TO GRADE
- 06 CONCRETE FILLED 6" STEEL BOLLARD W/ POLYCARBONATE COVER
- 07 PROPOSED MONUMENT SIGN, APPROVALS UNDER A SEPERATE SUBMITTAL. PROVIDE POWER
- 08 CANOPY
- 09 LED WALL PACK / FULL CUT-OFF FIXTURE (D1)
- 10 ROOF ACCESS LADDER
- 11 APPROXIMATE LOCATION OF WATER ENTRY TO BUILDING
- 12 APPROXIMATE LOCATION OF SANITARY ENTRY TO BUILDING
- 13 TRASH ENCLOSURE AND CONCRETE PAD
- 14 ACCESSIBLE PARKING SIGN
- 15 RECESSED CAN EMERGENCY EGRESS LIGHT FIXTURE (L)
- 16 WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE (Q)

SITE DATA:

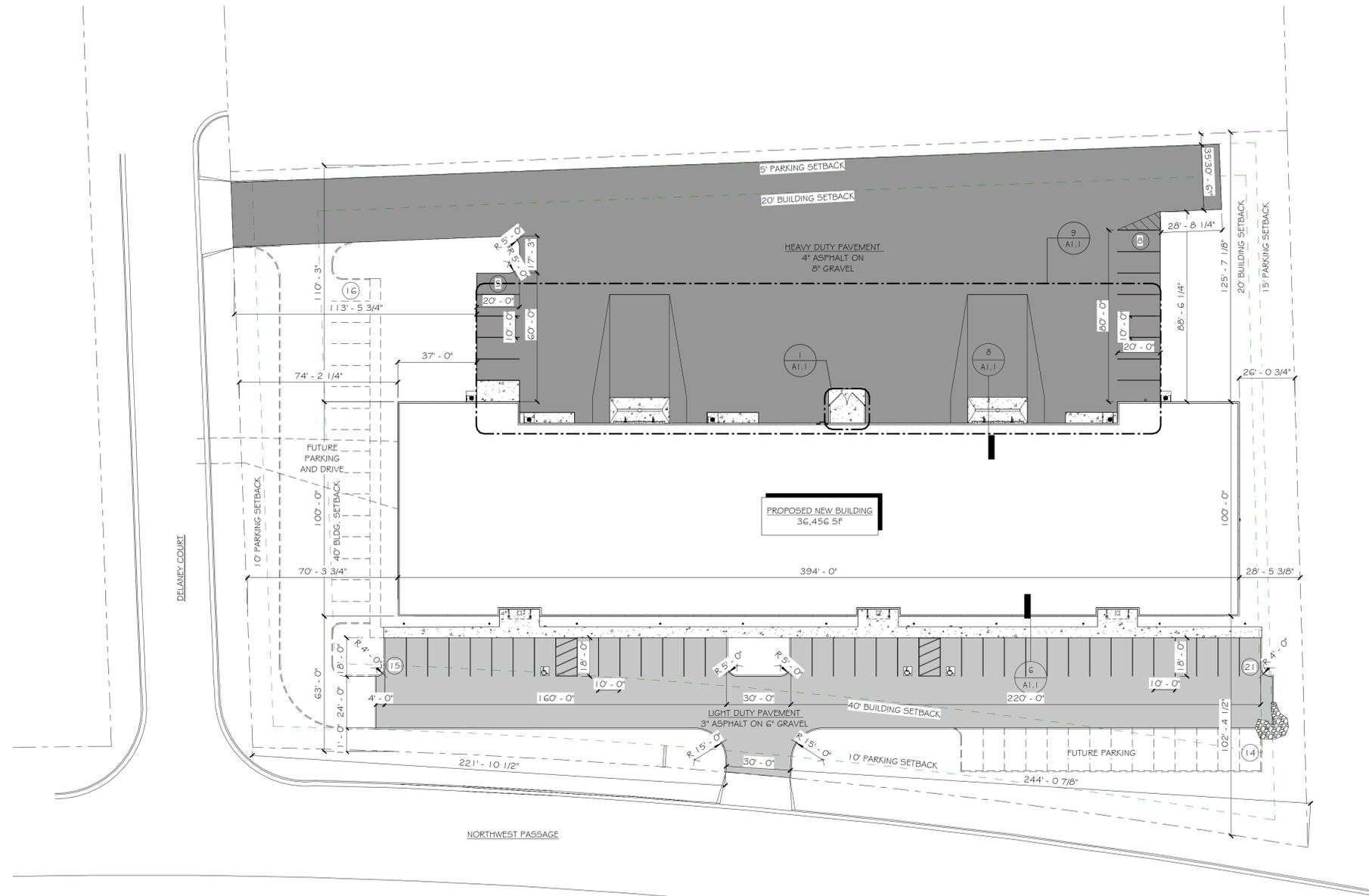
SITE AREA:	145,802 SF 3.47 ACRES
AREA OF PROPOSED BUILDING:	36,456 SF (25.0% OF SITE)
TOTAL HARD SURFACE AREA:	63,806 SF (43.2% OF SITE)
CONCRETE AREA:	3,948 SF
HEAVY DUTY PAVING:	41,335 SF
LIGHT DUTY PAVING:	17,658 SF
TOTAL GREEN SPACE AREA:	46,360 SF (31.8% OF SITE)
ZONING DISTRICT:	PUD
ALLOWABLE BUILDING HEIGHT:	50'-0"
BUILDING HEIGHT:	24'-0"
FRONT YARD SETBACK:	40'-0"
SIDE YARD SETBACK:	20'-0"
REAR YARD SETBACK:	20'-0"
TOTAL PARKING PROVIDED:	49 (INCL. H.C. STALLS)
HANDICAP PARKING REQUIRED:	2
FUTURE PARKING STALLS:	3
	30

SITE GENERAL NOTES:

1. PROPOSED BUILDING IS ONE STORY.
2. MAXIMUM % GRADE AT RIGHT-OF-WAY TO BE 8%.
3. DUMPSTER ENCLOSURE TO BE LOCATED AS SHOWN ON PLAN. EXACT SIZE OF DUMPSTER ENCLOSURE TO BE DETERMINED PER OWNER'S REQUIREMENTS.
4. SEE GRADING PLAN FOR ALL PROPOSED AND EXISTING CONTOURS AND STORM WATER DRAINAGE PATTERNS.
5. ALL ROOF TOP MECHANICAL UNITS TO BE PAINTED TO MATCH BUILDING.
6. SEE LANDSCAPE PLAN FOR ALL PLANTING LOCATIONS.
7. ALL EXTERIOR LIGHTING FIXTURES TO BE CUT-OFF TYPE.
8. ALL SITE UTILITIES TO BE VERIFIED W/ PROPER AGENCIES PRIOR TO CONSTRUCTION.
9. ALL APPROACHES & CULVERTS IN RIGHT-OF-WAY TO BE VERIFIED W/ VILLAGE OF JACKSON PRIOR TO CONSTRUCTION.



N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037
PHONE 262.677.9933
FAX 262.677.9934
info@design2construct.com



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'-0"



BUILDING DESIGN FOR:
DELANEY VI
NORTHWEST PASSAGE
JACKSON, WI 53037

SHEET TITLE
ARCHITECTURAL SITE PLAN

REVISIONS

PROJECT DATA	
DATE	06.15.2020
JOB NO.	20-00122
SET USE	PERMIT & BIDDING
DRAWN BY	DLH
SHEET NO.	

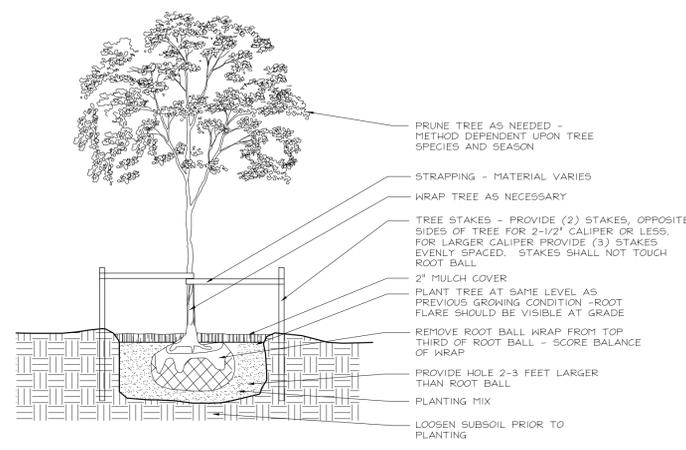
A1.0

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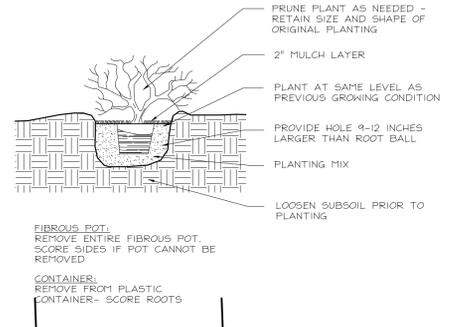
PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE		ROOTS
				MATURE	AT PLANTING	
D1	3	CRATAEGUS CRUSGALLI	HAWTHORN, THORNLESS COCKSPUR	15'	2-1/2" CAL.	B & B
D2	EXIST		STREET TREES	-	-	-
S1	36	COTONEASTER ACUTIFOLIA	COTONEASTER, PEKING HEDGE	4-8'	12-18" HIGH	POT
S2	10	EUONYMUS ALATA 'COMPACTUS'	DWARF BURNING BUSH	4-6'	24" HIGH	B&B
S3	23	RHUS AROMATICA 'GRO-LOW'	SUMAC, GRO-LOW FRAGRANT	2' HIGH 5' WIDE	12-18" HIGH	POT
S4	400 SF		BLACKEYED SUSAN	---	18" O.C.	---
G1	28		KARL FOERSTER GRASSES	3-5'	12-18" HIGH	POT
E1	2	PICEA ABIES	NORWAY SPRUCE	40-60'	8" HIGH	B & B
E2	4	CORNUS SERICEA	CARDINAL DOGWOOD	8-10'	24" HIGH	POT
E3	4	THUJA OCCIDENTALIS NIGRA	DARK GREEN ARBORVITAE	20-30'	3" HIGH	B & B

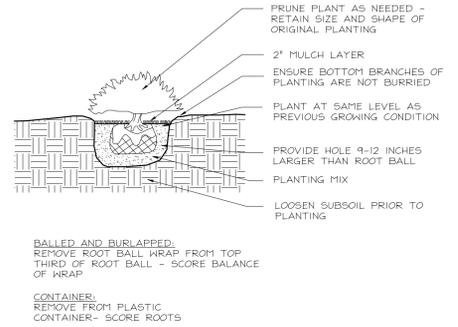
NEW PLANTS ARE TO BE OF REASONABLE GROWTH ALL PLANTINGS TO BE IN MULCH BED w/ EDGING
TREES TO HAVE 2-1/2" (MIN.) CALIPER.



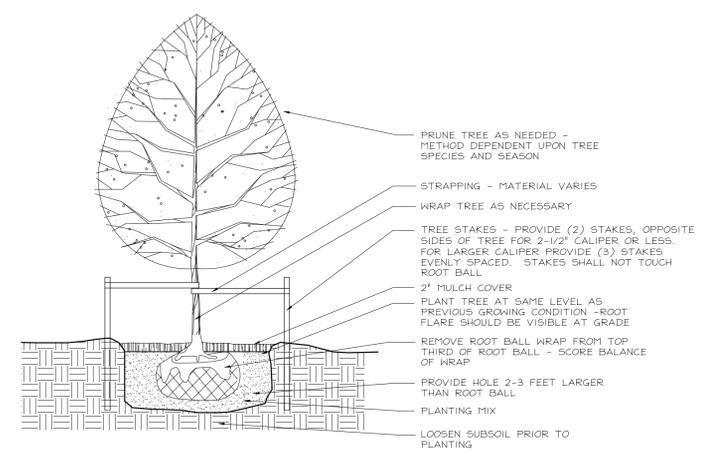
4 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



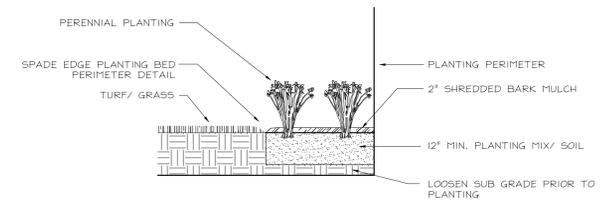
5 CONIFEROUS SHRUB PLANTING DETAIL
SCALE: NTS



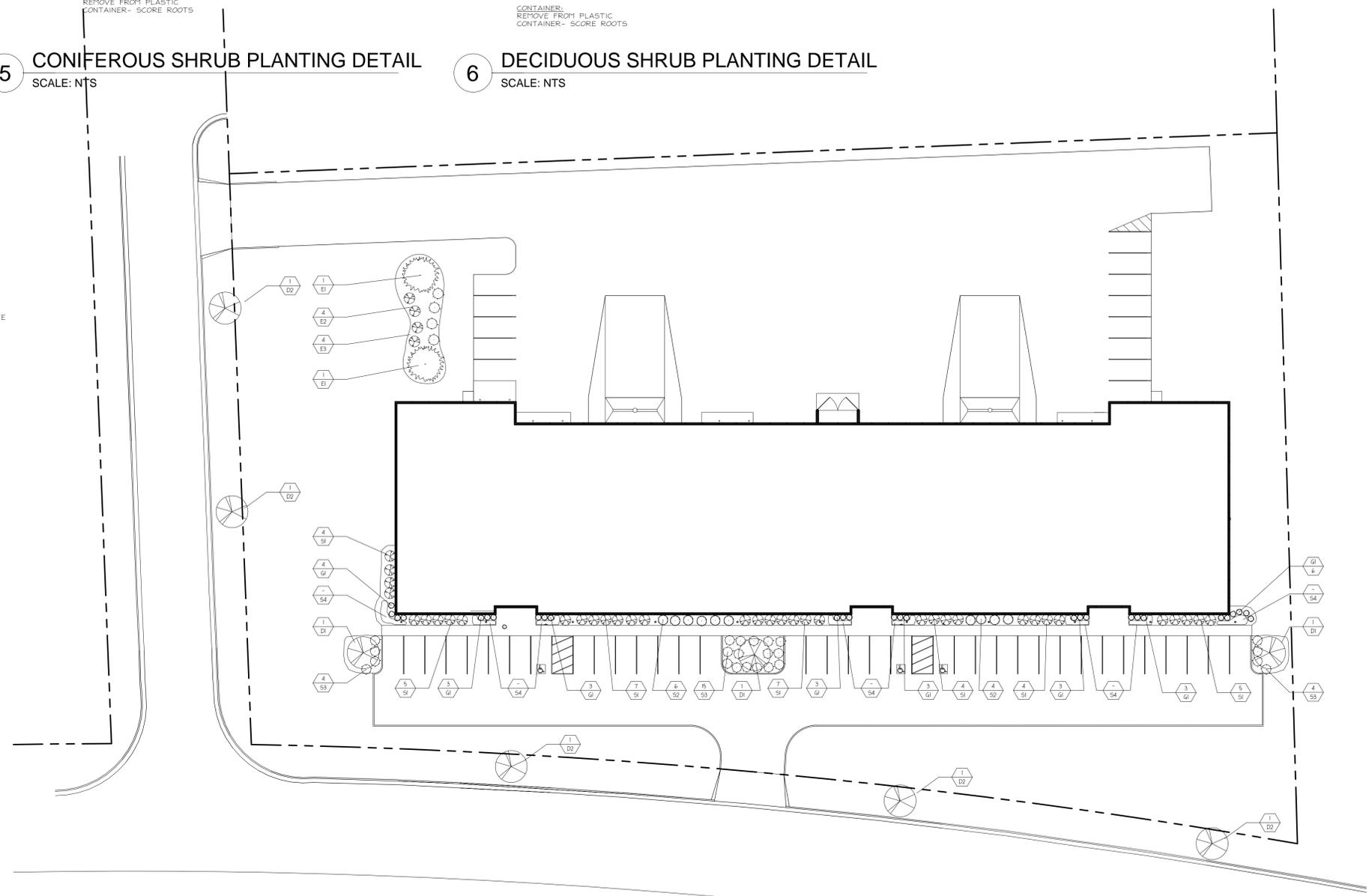
6 DECIDUOUS SHRUB PLANTING DETAIL
SCALE: NTS



3 CONIFEROUS TREE PLANTING DETAIL
SCALE: NTS



2 PERENNIAL BED PLANTING DETAIL
SCALE: NTS



1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

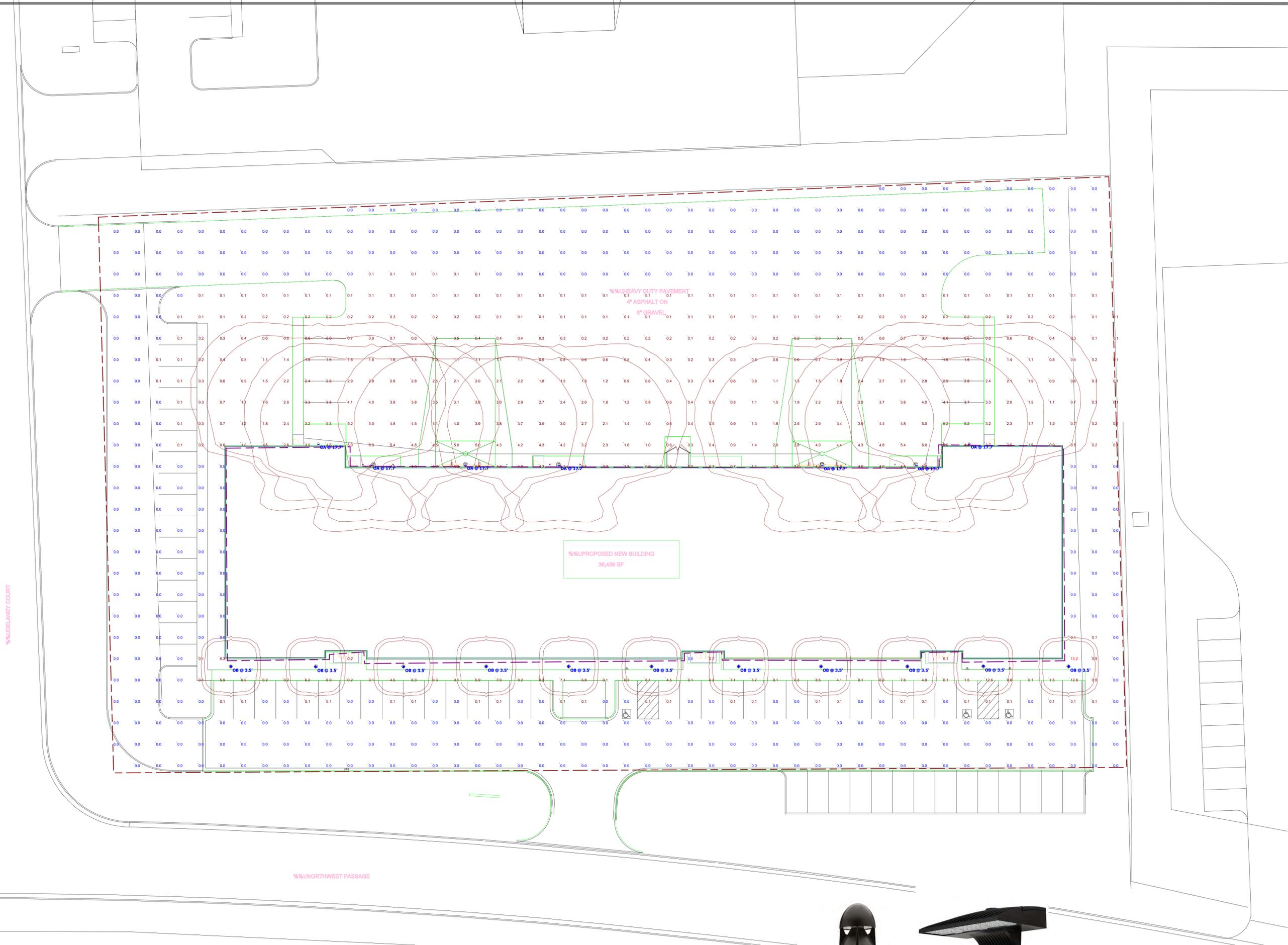
BUILDING DESIGN FOR:
DELANEY VI
NORTHWEST PASSAGE
JACKSON, WI 53037

SHEET TITLE
LANDSCAPE PLAN

REVISIONS

PROJECT DATA
DATE: 06.15.2020
JOB NO.: 20-00122
SET USE: PERMIT & BIDDING
FILE NAME: C3-A1.2
DRAWN BY: MH
SHEET NO.:

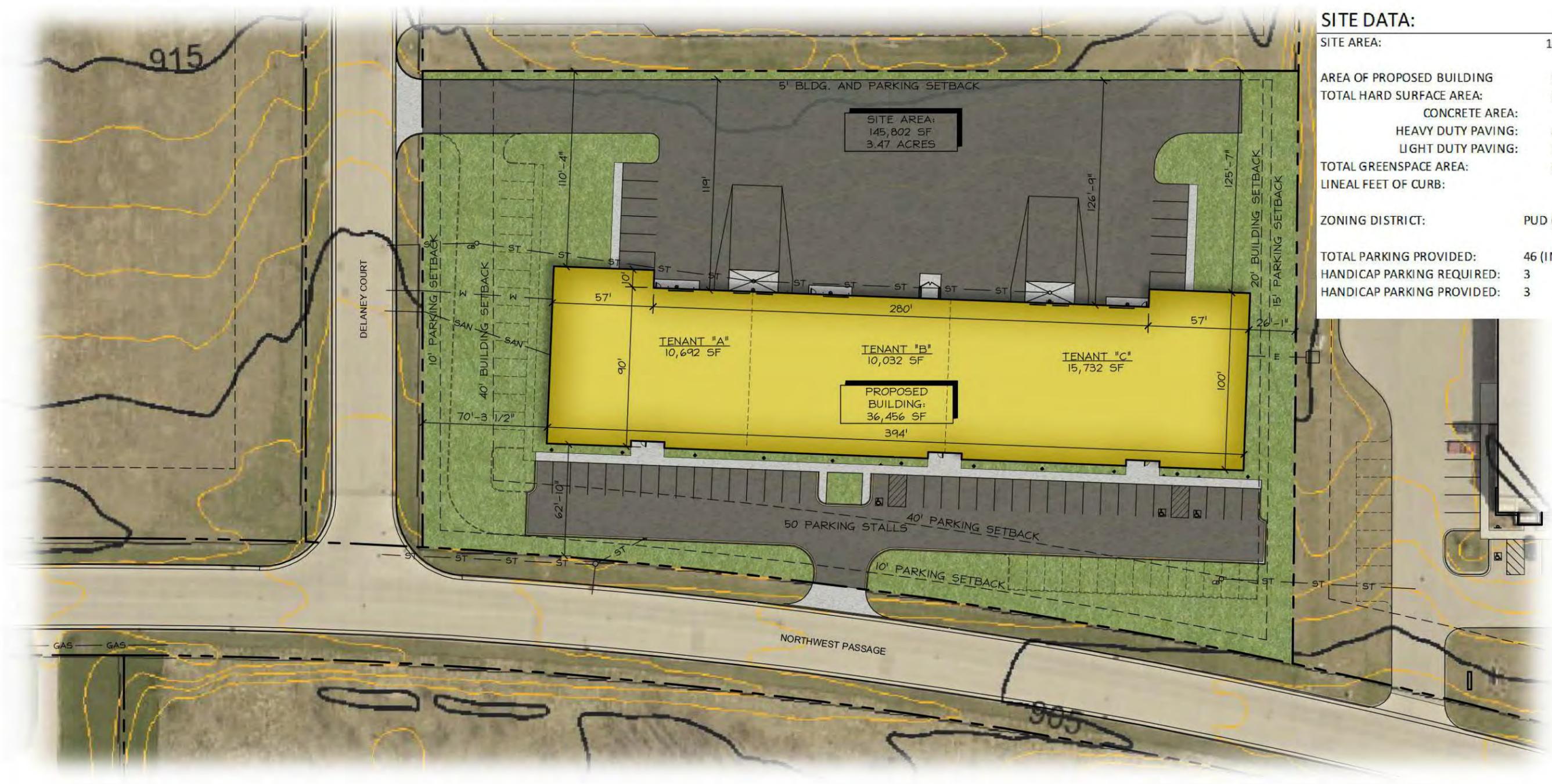
A1.2



Plan View
Scale - 1" = 20ft



Designer	
Date	4/13/2020
Scale	Not to Scale
Drawing No.	
Summary	

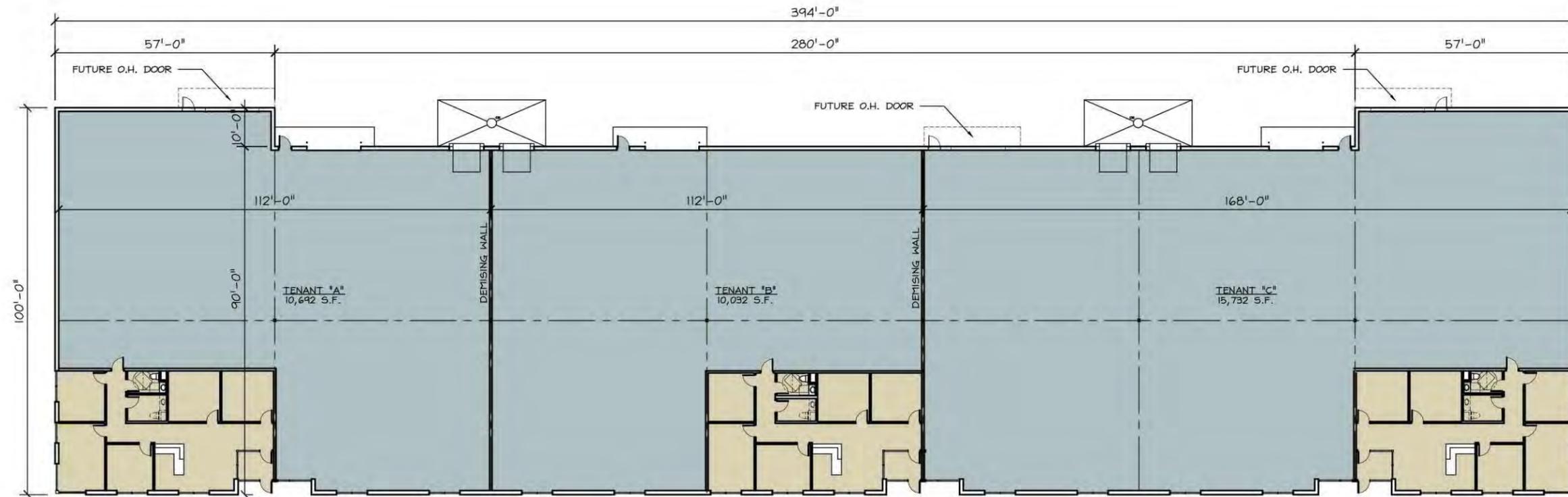


SITE DATA:

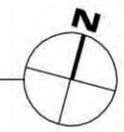
SITE AREA:	145,802 S.F. 3.47 ACRES
AREA OF PROPOSED BUILDING	36,456 S.F. (25% OF SITE)
TOTAL HARD SURFACE AREA:	62,588 S.F. (51% OF SITE)
CONCRETE AREA:	3,630 S.F.
HEAVY DUTY PAVING:	41,469 S.F.
LIGHT DUTY PAVING:	17,489 S.F.
TOTAL GREENSPACE AREA:	34,380 S.F. (24% OF SITE)
LINEAL FEET OF CURB:	427 L.F.
ZONING DISTRICT:	PUD (IND)
TOTAL PARKING PROVIDED:	46 (INCL H.C. STALLS)
HANDICAP PARKING REQUIRED:	3
HANDICAP PARKING PROVIDED:	3

1 SITE PLAN CONCEPT
SCALE: 1" = 60'-0"





1 FLOOR PLAN
SCALE: 1/32" = 1'-0"







VILLAGE OF JACKSON PLAN COMMISSION APPLICATION - SUBMITTAL GUIDE

(Meetings are held the fourth Thursday of the month. Applications are DUE the 1st Friday of the month for that month's meeting.)

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u> <i>Refer to number items in shaded column →</i>	<u>TYPE OF INFORMATION DESCRIBED</u> <i>(See reverse side for further instructions)</i>	<u>Paper or Digital Copy Required</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application <i>(all pages)</i>	Both
			2) Describe the intended use and operation	Both
CONDITIONAL USE			3) Address labels of adjacent owners to be notified (200' / 500')	Both
- Full Review	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	4) Property owner acknowledgement of the request	Both
- *Special Use (to existing CU)	\$50	1,2,4,5,6,7,13	5) Impact Statement	Both
			6) Location Map	Both
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	7) Development Plan / Site Plan	Both
- *Special Use (to existing PUD)	\$50	1,2,3,4,5,6,7,13 (14-22 upon request)	8) Preliminary Plat	Both
			9) Final Plat	Both
REZONING	\$200	1,2,3,4,6,9 or 10 (500' for rezoning) 200' for Cond. Use or PUD Site Plan	10) Certified Survey Map	Both
			11) Annexation Petition	Both
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	12) Annexation Map	Both
			13) Sketch Plan	Both
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	14) Landscape and Buffer Plan	Both
EXTRA TERRITORIAL PLAT/CSM	\$150	1,2,6,9 / 10		
EXTRA TERRITORIAL PLAT OUTSIDE SANITARY SRVC. AREA	\$50	1,2,6,9 / 10	<u>Engineering Review - Infrastructure</u>	
			15) Grading / Drainage Plan	Both (24x36)
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sanitary Sewer / Storm Sewer Plans	Both (24x36)
			17) Street / Right of Way cross sections	Both (24x36)
FINAL PLAT / Final Plat Reappl.	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	Both (24x36)
			19) Proposed colors / materials	Both
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement	Both
			21) Annexation Agreement <i>(includes pre-annex agreements)</i>	Both
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) Other -	Both
VARIANCE / APPEAL	\$150	1,2,3,4,6,7		
MAILING LABELS	\$25	For all property addresses within 200 feet For all properties within 500' if rezoning ONLY	Must submit additional fee if not providing labels	Both

***SPECIAL USE PERMITS** are applicable to EXISTING Conditional Use Permits and Planned Unit Developments. The granting of a Special Use Permit shall not change the character of the principal use or conflict with the purpose and intent of the original Conditional Use or Planned Use Development approval. Special Use Permits shall be reviewed for impact on neighboring uses in addition to the neighborhood. Compatibility is a primary consideration.

Examples of special uses include: New or expanded tenant uses including occupancies, minor changes to building facades, minor lighting changes, paint schemes, certain accessory structures, sign replacements of equal or lesser size or other uses or modifications as determined by the Village.

Applications shall be submitted NO LATER than 4:00 PM on the 1st Friday of the month to be considered at that month's meeting.

In some cases, additional copies of a submittal may be required. Only COMPLETE applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month at which a public hearing may be held. A decision on the request could be made at that time.

EXPLANATION OF TYPES OF INFORMATION REQUIRED (From front page of application form)

1. **Application Form:** You MUST SUBMIT both HARD (paper) and DIGITAL (USB Drive) copies of your application.
2. **Letter of Intent:** What you are requesting in your own words? (Be brief)
3. **Mailing/Address Labels:** It is your responsibility to provide the Village with addresses labels of ALL adjacent property owners within a 200-foot radius of the subject property. If mailed notification is required for your application, an incorrect address may cause a delay. (Additional \$25 is required if Village provides address labels.)
4. **Proof of Property Ownership:** A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. **Impact Statement:** In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. General hours of operation.
 - B. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc).
 - C. Vehicle trip generation (trips per day per unit x number of units).
 - D. Estimated numbers of vehicles and/or equipment, materials, to be parked and/or stored on site.
 - E. Proposed sign(s) advertising business, directional signage, dwelling unit rental, etc.
 - F. Proposed dates of construction and completion.
 - G. Anticipated user profiles (for residential developments).
 - H. Annual water consumption estimate (100% occupancy and build-out).
 - I. Annual sewage generation estimate (100% occupancy and build-out).
6. **Location Map:** An aerial map indicating where the site is located within the Village.
7. **Development Plan:** Show entire proposal on the site. Include edge of pavement and/or back of the curb line, sidewalks (existing and proposed), structure footprint(s), driveways, parking areas, fencing, refuse enclosures, locations of accessory uses, and overall dimensions of structures and setbacks, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. **Plat Map:** Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. **Certified Survey Map:** A recordable document showing the legal and mapped description of the land division.
11. **Annexation Petition/Attachment Request:** Shows owner is supporting the annexation.
12. **Annexation Map:** A recordable map having the legal and mapped description of the parcel to be annexed.
13. **Sketch Plan:** An informal drawing depicting the proposal for discussion purposes.
14. **Landscape Plan:** Show location, size, type, botanical name & common name of proposed trees & shrubs. Also details surface treatments. Show walls, fence location and style, buffers/screening and similar details.
15. **Grading/Drainage Plan:** Show original & proposed grades & runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (Storm sewer system, ditches, culverts, etc.)
16. **Water/Sewer/Storm Sewer Plans:** Show size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer system with gradient profiles and invert elevations; shows the proposed storm drainage system as in #15 above.
17. **Street Crossing Sections:** Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. **Erosion Control Plan:** A map of existing site conditions on a scale of at least 1-inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. **Proposed Building Colors and Materials:** Submit samples of exterior colors and materials.
20. **Improvement Agreement:** An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. **Annexation Agreement.**

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____ - _____

PROPERTY INFORMATION

COMMERCIAL INDUSTRIAL RESIDENTIAL OTHER _____

CONDITIONAL USE PLANNED UNIT DEVELOPMENT CERTIFIED SURVEY MAP
 New New CONCEPT PLAN
 Special Use Special Use OTHER _____
(For existing CU ONLY) *(For existing PUD ONLY)*

Property Address: S/E corner of Delaney Court and Northwest Passage Unit: _____ Jackson, WI

Parcel #: 048900A007 Lot Size: 145,802 sq. ft. Building Area: 36,456 sq. ft.

Current Zoning: B-1 B-2 M-1 M-2 I-1 PUD Other _____ Floodplain

APPLICANT INFORMATION

Name(s): Mark Hertzfeldt - Design 2 Construct

Mailing Address: N173W21010 Northwest Passage , fJackson State WI Zip 53037

Office: (262) 677-9933 Cell: (262) 224-1342 Fax: (262) 677-9934

Email: mhertzfeldt@design2construct.com

BUSINESS INFORMATION *(If New Business)*

Legal Business Name: TBD

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: _____ State _____ Zip _____

Office: (_____) _____ Cell: (_____) _____ Fax: (_____) _____

Email: _____

Website: _____

PROPERTY OWNER INFORMATION

Name(s): James Blise - Delaney Group. LLC

Address: N173W21010 Northwest Passage , fJackson State WI Zip 53037

Office: (262) 677-9933 Cell: (262) 224-1333 Fax: (262) 677-9934

Email: jblise@design2construct.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION *(Circle One)*

Firm Name: Design 2 Construct

Primary Contact: Mark Hertzfeldt

Address: N173W21010 Northwest Passage , fJackson State WI Zip 53037

Office: (262) 677-9933 Cell: (262) 224-1342 Fax: (262) 677-9934

Email: mhertzfeldt@design2construct.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: Please refer to the included project narrative

Provide a brief overview of proposed use(s) of entire property and/or lease space: _____

As this is a Spec building the proposed uses are not known at this time.

Hours of Operation: TBD

Provide a brief overview of proposed daily on-site operations: TBD

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: TBD

Describe all businesses, properties and other entities located adjacent to the proposed use: _____

All adjacent uses are commercial or industrial buildings that are a combination of Factory/ fabrication and warehousing uses

Proposed, development, on-site improvements or other construction/remodeling activities: _____

Please refer to the included project narrative

Proposed grading and/or stormwater management plan: _____

Please refer to the included civil engineering plans for details on grading. Stormwater management will be addressed by using the existing regional stormwater ponds in the industrial park

Proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____

Please refer to the included landscape plan

Proposed on-site security measures including site lighting: _____

Please refer to the provided photometric plan and project narrative

Life Safety Systems – Existing or Proposed (Includes fire hydrants, fire suppression & fire alarm systems): _____

The proposed building will protected by an automatic fire sprinkler system. New fire hydrants and fire alarm systems are not proposed.

Projected traffic circulation and impacts: The existing traffic circulation in this area is well established.

This project will have no impact on the existing traffic.

Setbacks from rights-of-way and property lines and height limitations: _____

Front yard setback: 40'-0", Side and rear yard setback 20'-0"

Status of State/Federal License(s) or Certificate(s) required for operation: _____

TBD

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?

No Yes If yes, explain: _____

Describe any proposed signage including type and location: _____

No signage approvals requested at this time. All signage will come back to plan commission at a later date.

Exterior Building Materials (type, color, etc.): Please refer to the included project narrative

Site Specific Features/Constraints: None

Parking (Total No. of spaces plus number of dedicated handicapped parking and type): _____

47 total parking stalls including 3 ADA stalls, 30 future stalls available if necessary

Proposed screening/buffering from adjacent properties: None proposed

Proposed provisions for refuse and recycling collection/storage: Trash enclosure provided on the north side of the

Building

Projected Sewer/Wastewater Usage: TBD gal/year

Projected Water Usage: TBD gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print): Mark Hertzfeldt _____

Applicant Signature:  _____

Co-Applicant Name (Print): _____

CO-Applicant Signature: _____

Date of Application: 04.24.2020 _____

You MUST sign and date this Application!

SUBMIT TO: Village of Jackson – Village Hall (*Checks shall be made payable to Village of Jackson*)
N168 W20733 Main Street
PO BOX 637
Jackson, WI 53037

QUESTIONS?

Village Clerk: For all **general questions** related to completing form or questions related to Village meetings.
Phone: (262) 677-9001 x11
Email: jilline.dobratz@villageofjackson.com

Building Inspector: For questions concerning **building codes, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjackson.com

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

TEMPORARY *Expiration Date:* _____, 20____

Plan Commission Approval: *Meeting Date:* _____, 20____

Village Board Approval: *Meeting Date:* _____, 20____

In-House Approval (O-T-C): *Date:* _____, 20____

Approved by: John Walther, Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: *Date:* _____, 20____

Staff Initials: _____

Reason for Denial: _____

<p>FOR OFFICE USE ONLY Acct. #: 100-00-45730-000-00</p> <p>Date Received: _____</p> <p>Amount: _____</p> <p>Payment Type: CH / CC / CA</p> <p>Check/Receipt #: _____</p> <p>Received By: _____</p>



Planning Commission
Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

April 24, 2020

Re: Project Narrative:

Introduction:

Attached to this project narrative you will find the graphical information regarding the proposed business development located on the southeast corner of Delaney Court and Northwest Passage.

Existing Site:

The existing site is approximately 3.47 acres and is currently vacant. The site frontage is along Delaney Court on the west, Existing Commercially zoned lot on the north and east and Northwest Passage to the south. The parcel has the option to be accessed from both Delaney Court and Northwest Passage.

New Site:

This proposal is to utilize the existing vacant site for a development that will provide spec office and Industrial. Access for the site will be in the northwest corner and the center of the south property line. The parking for the site will be provided along the south side of the site with proposed parking expansion if necessary, along the west. Site lighting will be accomplished utilizing light bollards along the sidewalk serving the building entry points. Full cut off wall packs will be provided along the north side of the building to provide lighting for the loading docks and service entrances.

New Building:

The proposed site submitted for your review will be used to construct a new 36,456 s.f. speculative office / industrial building. The building can provide for up to four individual tenants. The building primary facades face south to the proposed parking field along Northwest Passage and west to Delaney Court.

The building materials are proposed as Precast wall panel. The Precast panel will be painted two different colors as shown in the provided rendering. Dark aluminum window frames with tinted glass for all fenestration and decorative canopies are provided at the main entrances.

Building signage is not addressed in this submittal. All building signage for future tenants will be submitted to the Plan Commission at a later date for approval. A monument sign is proposed at the site access point on Northwest Passage. This sign will be submitted to the Plan Commission for approval at a later date.

N173 W21010

Northwest Passage Way

Jackson, WI 53037



Tel: 262.677-9933

Fax: 262.677.9934

Storm water management for this site will be accomplished utilizing the existing regional pond system located in the industrial park.

Plan of Operation:

As mentioned, the building is being developed as Spec Space, therefore the specific plan of operation for the individual tenants will be presented to Village Staff when under consideration.

Impact Statement:

The impacts of this development upon the Village of Jackson utilities, water consumption, sewage generation, traffic etc... are not able to be quantified at this point. These items can be assessed when individual tenants are approved and installed in the building.

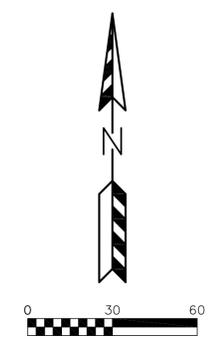
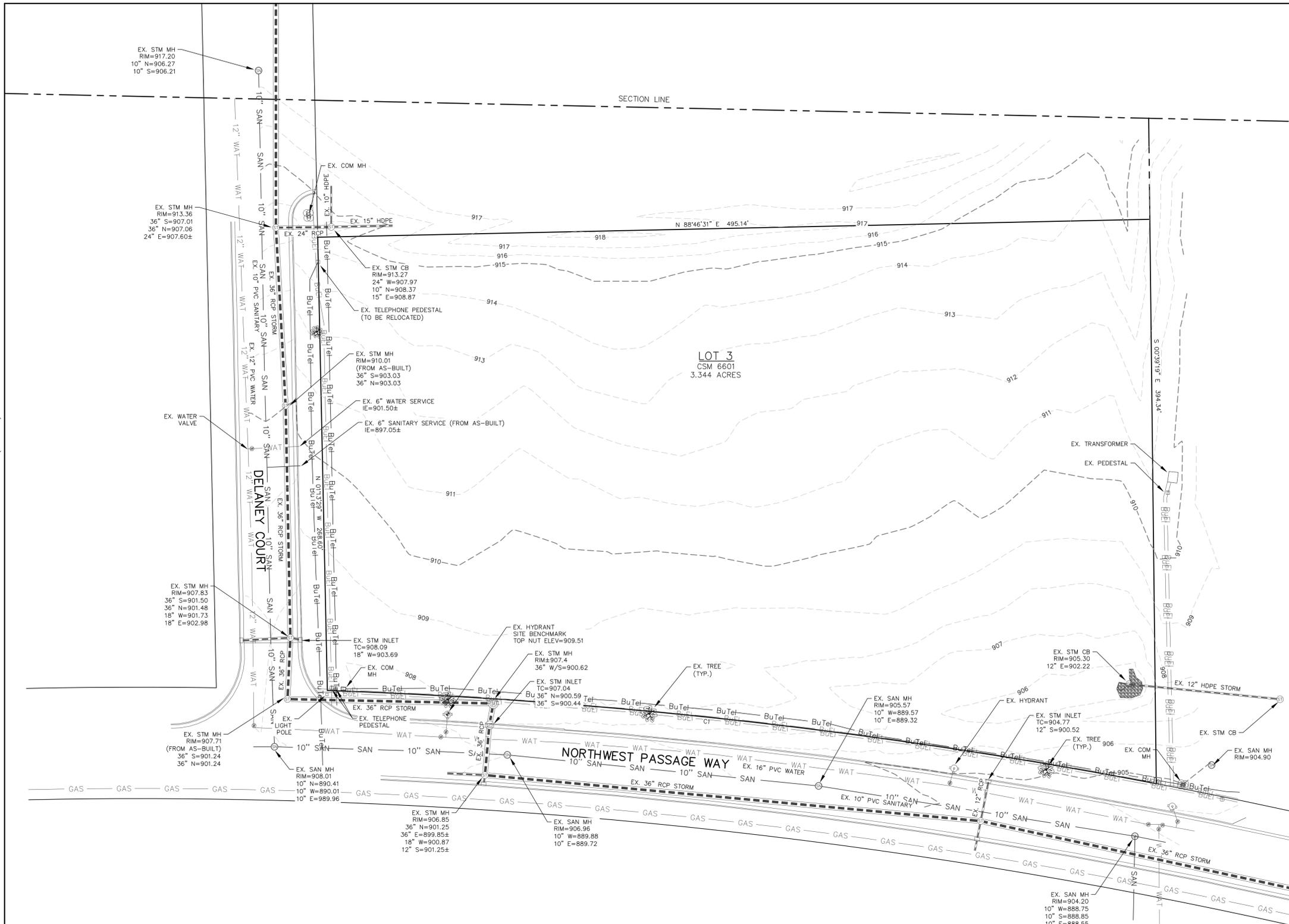
We do not believe this new development will negatively impact or be a nuisance to the surrounding neighborhood. This involves the development of an existing site zoned for commercial development and is consistent with the nature of the surrounding neighborhood which is currently a mix of commercial development. The traffic patterns in the neighborhood are already established and will not be affected by the new development.

If you have any questions or concerns regarding this proposed development please feel free to contact my office.

Sincerely,
Mark Hertzfeldt

A handwritten signature in black ink, appearing to read 'Mark Hertzfeldt', with a large, stylized flourish at the end.

Design 2 Construct



C1 RADIUS=3233.00'
CENTRAL ANGLE=08°48'08"
ARC LENGTH=496.68'
CHORD LENGTH=496.19'
CHORD BEARING=N83°36'51"W
BK TANGENT BEARING=N79°12'47"W
AH TANGENT BEARING=N88°00'55"W

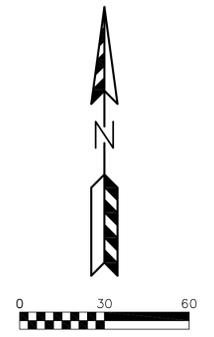
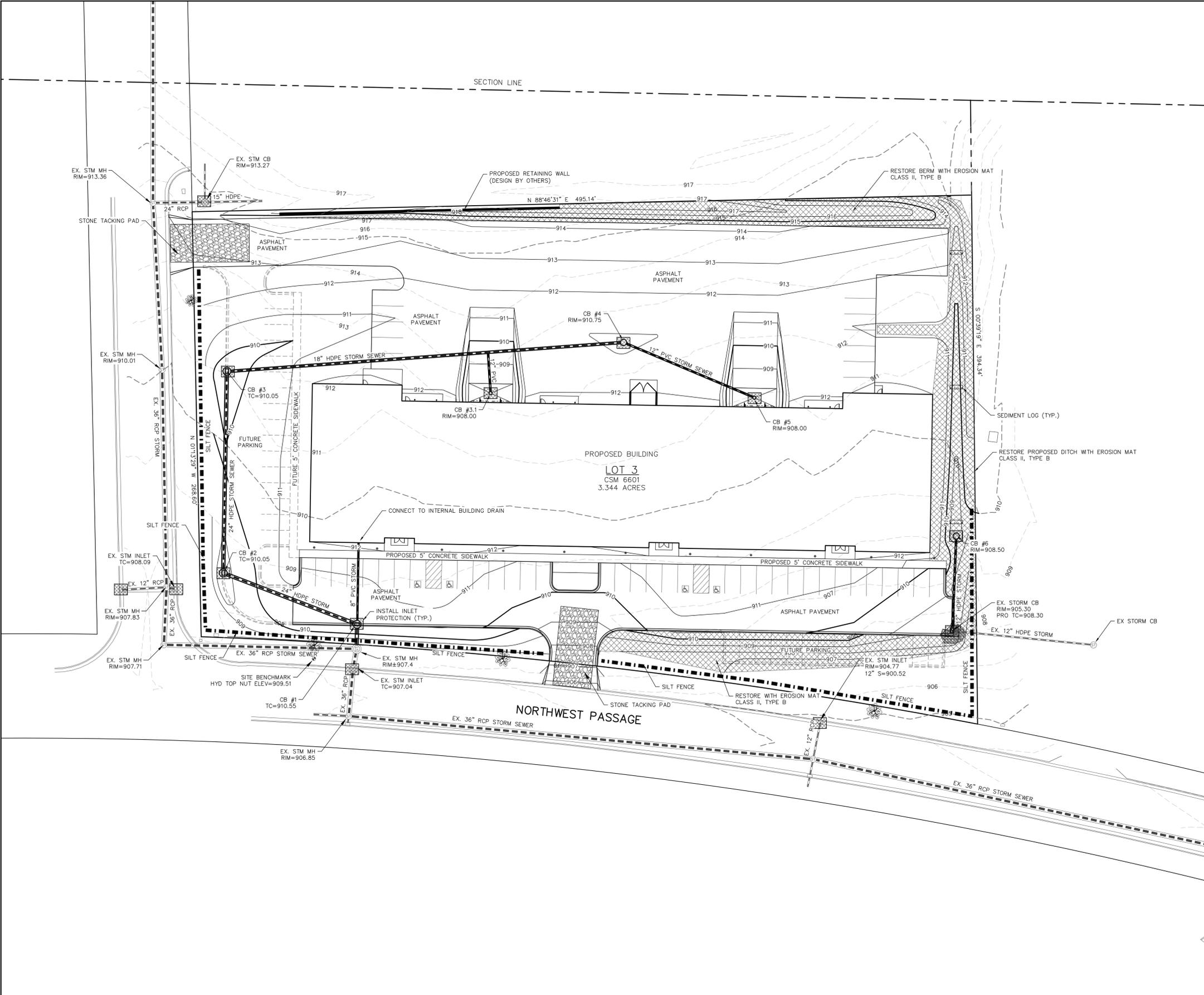
- LEGEND:**
- 896 --- EXISTING MINOR CONTOUR.
 - 895 --- EXISTING MAJOR CONTOUR.
 - OHEL — OVERHEAD ELECTRIC LINE.
 - BuEl — BURIED ELECTRIC LINE.
 - BuTel — BURIED TELEPHONE LINE.
 - FO — FIBER OPTIC LINE.
 - GAS — GAS LINE.
 - SAN — SANITARY SEWER MAIN OR LATERAL.
 - WAT — WATER MAIN OR SERVICE.
 - STORM SEWER LINE.
 - [ELEC] — ELECTRIC METER.
 - [GAS] — GAS METER.
 - [GAS VALVE] — GAS VALVE.
 - [FIRE HYDRANT] — FIRE HYDRANT.
 - [POWER POLE] — POWER POLE.
 - [SN] — SANITARY SEWER MANHOLE.
 - [ST] — STORM SEWER MANHOLE.
 - [STORM SEWER INLET] — STORM SEWER INLET.
 - [T] — TELEPHONE PEDESTAL.
 - [TRAN] — TRANSFORMER.
 - [W] — WATER VALVE.

DELANEY VI
EXISTING CONDITIONS PLAN
DATED: APRIL 29, 2020

C-101

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

122 Wisconsin Street, West Bend, Wisconsin 53095
Phone (262) 346-7800; www.quamengineering.com



TIME SCHEDULE:

JUNE 15, 2020
 INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS. ANY ADDITIONAL CONSTRUCTION ENTRANCES IF APPROVED BY THE VILLAGE OF JACKSON SHALL HAVE A TRACKING PAD.

JUNE 16, 2020 - OCTOBER 1, 2020
 STRIP TOPSOIL AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "EROSION CONTROL NOTES" ON EROSION CONTROL DETAILS SHEET C-103.
 BEGIN PROPOSED SITE GRADING INCLUDING BUILDING PAD PREPARATION.
 START CONSTRUCTION OF UTILITIES: WATER SERVICE, SANITARY SEWER LATERAL AND STORM SEWER.
 CONTINUE SITE GRADING
 CONSTRUCT BASE COURSES, PROPOSED ASPHALT BINDER, PROPOSED SIDEWALKS AND PROPOSED CURB AND GUTTER.

OCTOBER 2 - 15, 2020
 SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE WITH TEMPORARY LANDSCAPING.
 ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)
 STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.

APRIL 1 - 15, 2021
 CONSTRUCT PROPOSED ASPHALT SURFACE, PERMANENT SEEDING AND RESTORATION OF ALL DISTURBED AREAS WITH PERMANENT LANDSCAPING.
 CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY VILLAGE OF JACKSON PRIOR TO CHANGE.
 AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE
 REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMPs.

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 www.DiggersHotline.com

LEGEND:

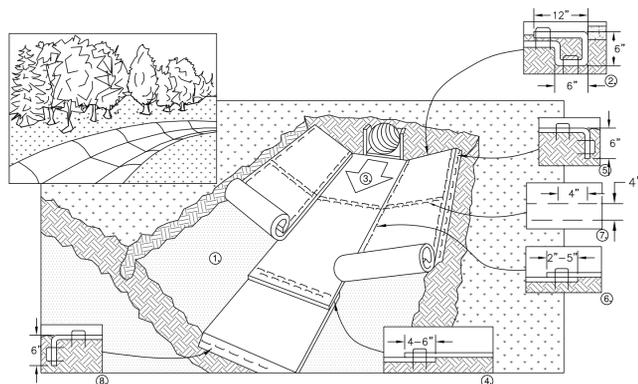
- 702 --- - EXISTING MINOR CONTOUR.
- 700 --- - EXISTING MAJOR CONTOUR.
- - - 702 - - - - PROPOSED MINOR CONTOUR.
- - - 700 - - - - PROPOSED MAJOR CONTOUR.
- - PROPOSED STORM SEWER.
- - EXISTING STORM SEWER.
- ▣ - INSTALL WDOT TYPE D INLET PROTECTION.
- ▣ - INSTALLED SILT FENCE

DELANEY VI
 EROSION CONTROL PLAN
 DATED: MAY 1, 2020

C-102

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 Residential and Commercial Site Design Consultants
 122 Wisconsin Street, West Bend, Wisconsin 53095
 Phone (262) 346-7800; www.quamengineering.com

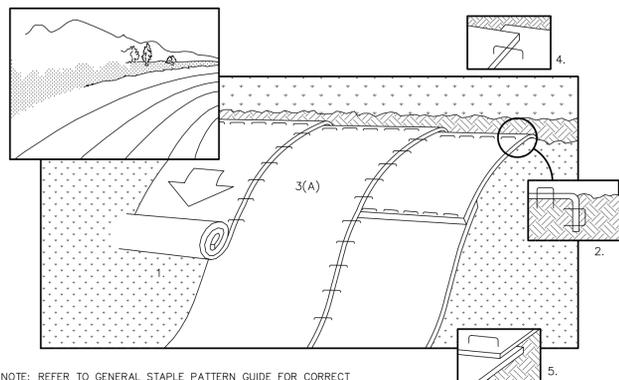
MAXIMUM PERIOD OF BARE SOIL FOR SLOPES > 20%		
SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP?	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)	
	LAND DISTURBANCE BETWEEN SEPTEMBER 16TH AND MAY 1ST	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPTEMBER 15TH
YES	90	90
NO	60	30



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 4" AND STAPLED.
7. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE: ALL STAPLES MUST BE 6" OR GREATER IN LENGTH

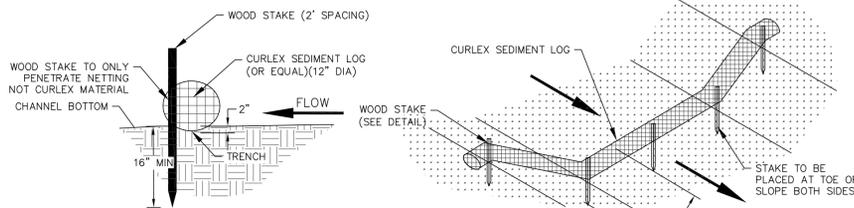
EROSION CONTROL MAT – CHANNEL INSTALLATION



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

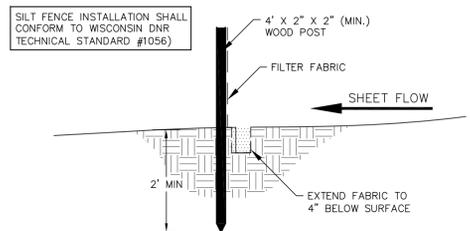
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION CONTROL MAT – SLOPE INSTALLATION

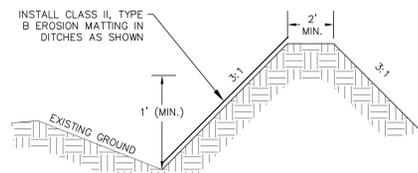


SPACING BETWEEN CURLEX SEDIMENT LOGS				
CHANNEL GRADIENT %	6"	9"	12"	20"
0.5	91.7	136.7	183.3	250.0
1.0	45.8	68.3	91.7	125.0
1.5	30.6	45.6	61.1	83.3
2	22.9	34.2	45.8	62.5

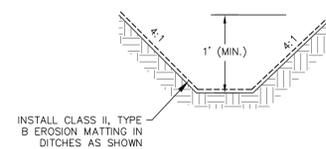
SEDIMENT LOG DETAIL



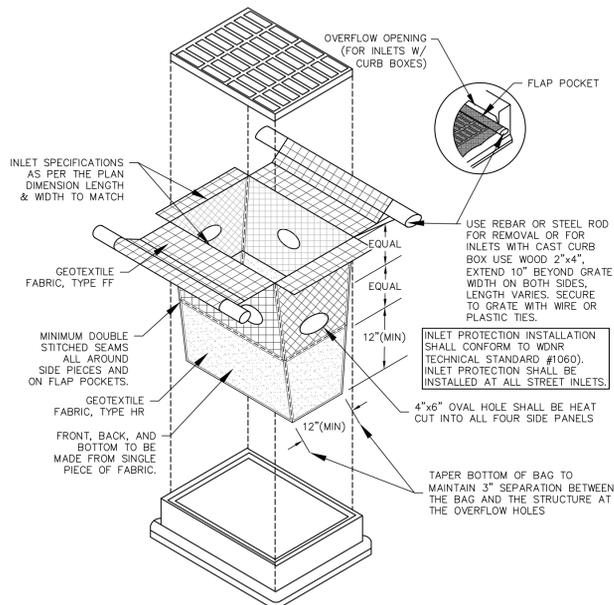
SILT FENCE CONSTRUCTION (SHEET FLOW)



BERM/DITCH DETAIL



DITCH CROSS SECTION



TYPE D-HR INLET PROTECTION DETAIL

EROSION CONTROL NOTES:

THE STONE TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH EROSION MAT (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

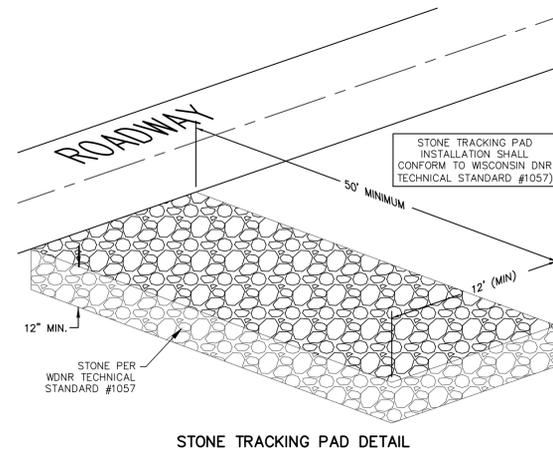
RESTORATION NOTES:

ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDED WITH OLS "MOMOM" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.

AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.

ALL FINISH GRADED AREAS SHALL BE SEEDED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059 FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.



STONE TRACKING PAD DETAIL

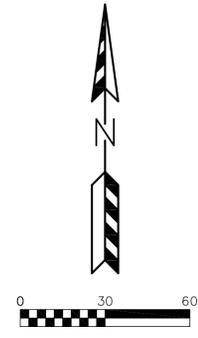
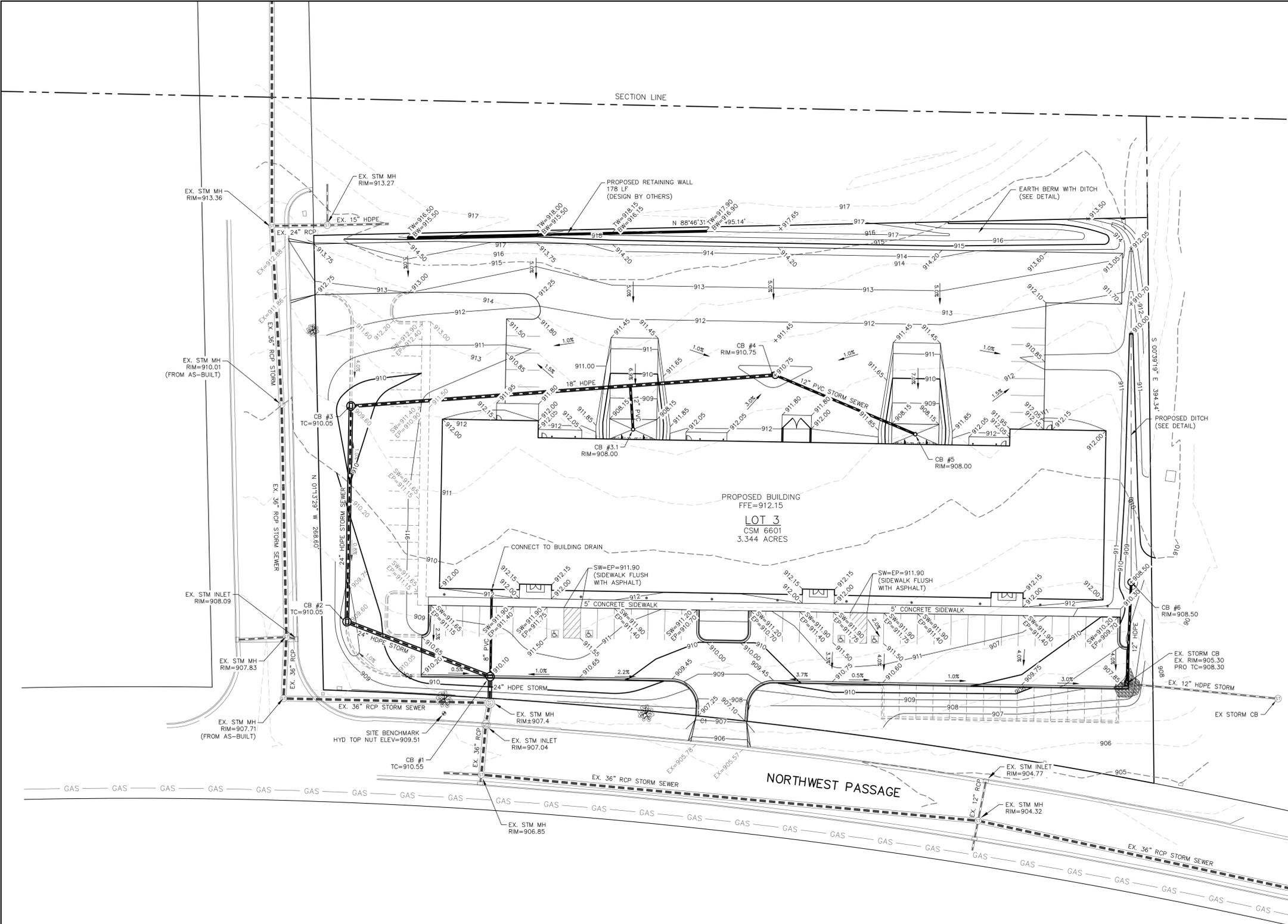
DELANEY VI
EROSION CONTROL DETAILS
DATED: APRIL 29, 2020

C-103

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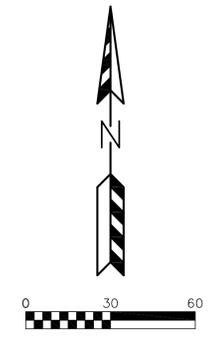
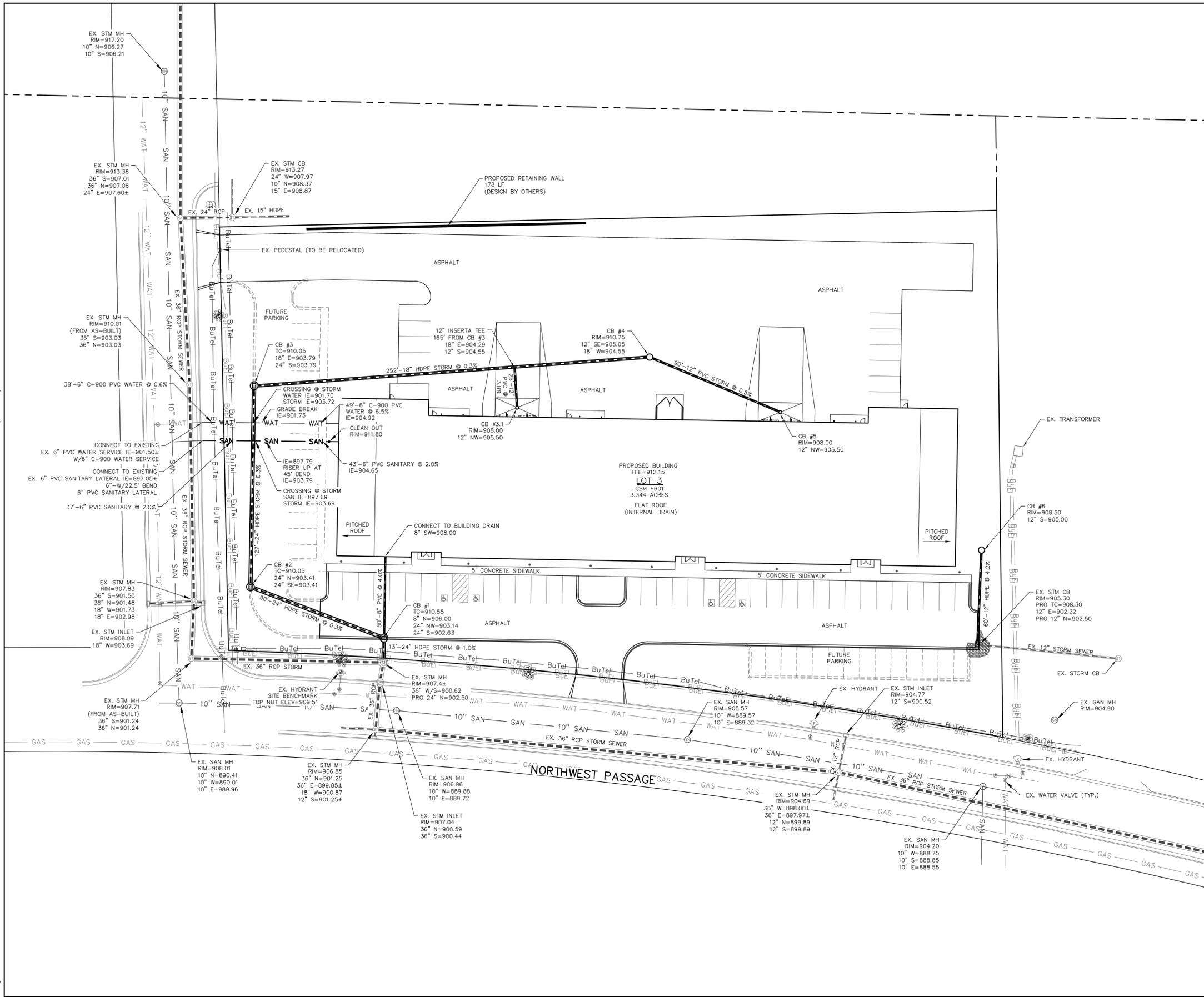


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 www.DiggersHotline.com

- LEGEND:**
- 906 --- EXISTING MINOR CONTOUR.
 - 905 --- EXISTING MAJOR CONTOUR.
 - 906 --- PROPOSED MINOR CONTOUR.
 - 905 --- PROPOSED MAJOR CONTOUR.
 - Ex=904.23 - EXISTING SPOT ELEVATION.
 - 907.23 - PROPOSED SPOT ELEVATION.
 - PROPOSED STORM SEWER.
 - EXISTING STORM SEWER.

DELANEY VI
 GRADING PLAN
 DATED: MAY 1, 2020

C-104



UTILITY NOTES:

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.

ALL UTILITY CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.

ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE VILLAGE OF JACKSON AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF ALL EXISTING UTILITIES PRIOR TO BUILDING CONSTRUCTION AND SHALL REPORT DISCREPANCIES PRIOR TO COMMENCING WORK TO THE ENGINEER OR BUILDING CONTRACTOR.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OR THE AREAS DISTURBED DURING CONSTRUCTION.

BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION.

GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.

SANITARY SEWER SHALL BE PVC ASTM D-3034, SDR 35 WITH INTEGRAL BELL TYPE ELASTOMERIC JOINTS MEETING THE REQUIREMENTS OF ASTM D-3212.

WATER MAIN SHALL BE AWWA C900 CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.

ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATERTIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.

ALL WORK WITHIN THE VILLAGE RIGHT-OF-WAY REQUIRES A PERMIT FROM THE VILLAGE OF JACKSON PUBLIC WORKS DEPARTMENT.

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 www.DiggersHotline.com

STORM SEWER CASTINGS:

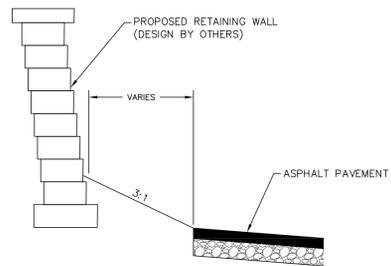
STRUCTURE	STRUCTURE DIAMETER	NEENAH CASTING OR EQUIVALENT
CATCH BASIN #1	5' DIA.	R-3067
CATCH BASIN #2	5' DIA.	R-2560
CATCH BASIN #3	5' DIA.	R-2560
CATCH BASIN #4	4' DIA.	R-2504
CATCH BASIN #3.1	3' DIA.	R-2504
CATCH BASIN #5	3' DIA.	R-2504
CATCH BASIN #6	4' DIA.	R-2560

DELANY VI
 UTILITY PLAN
 DATED: MAY 1, 2020

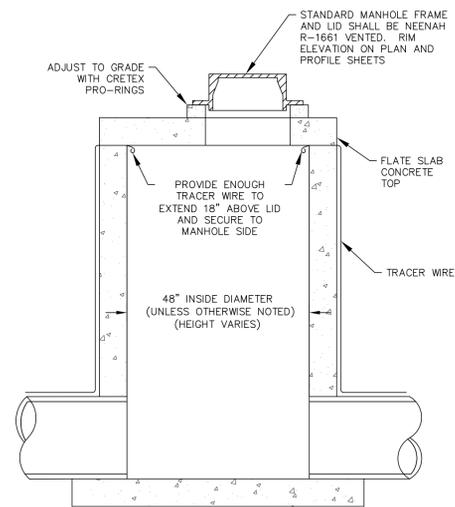
C-105

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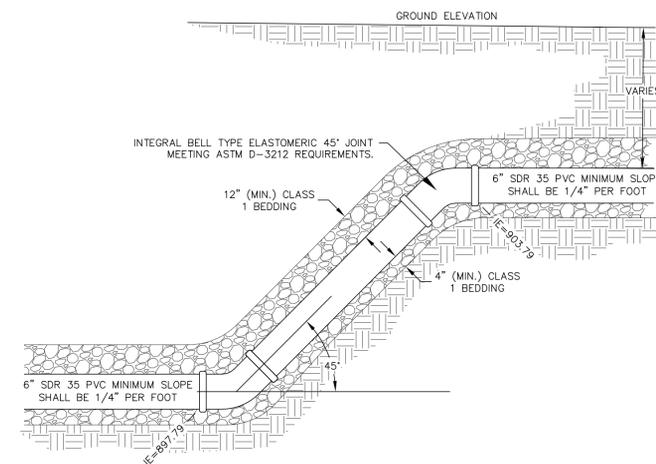
122 Wisconsin Street; West Bend, Wisconsin 53095
 Phone (262) 346-7800; www.quamengineering.com



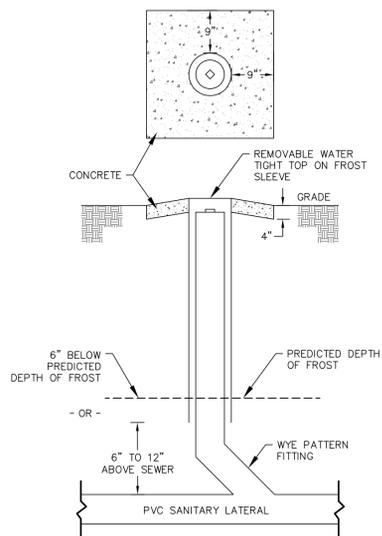
RETAINING WALL DETAIL



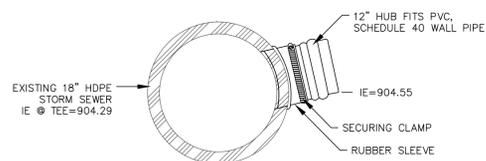
STORM MANHOLE DETAIL



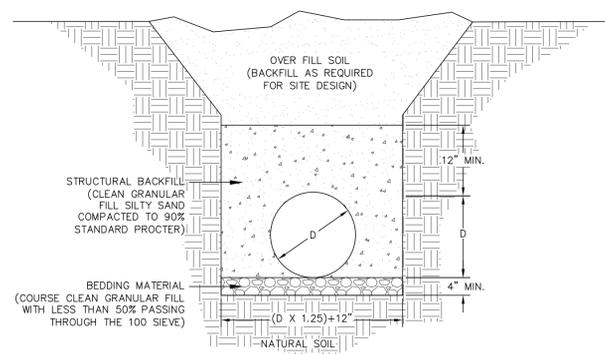
SANITARY LATERAL RISER DETAIL



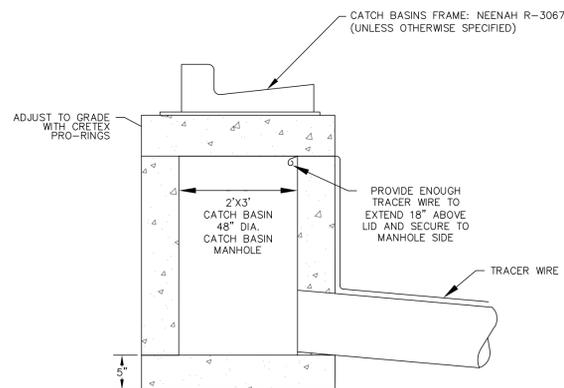
CLEAN OUT WITH FROST SLEEVE DETAIL



INSERTA TEE DETAIL



HDPE PIPE BEDDING DETAIL



INLET/CATCH BASIN DETAIL

DELANY VI
UTILITY DETAILS
DATED: APRIL 29, 2020

C-106

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LIGHT FIXTURE KEY				
TYPE	D1	D2	L	Q
SUPPLIER	LITHONIA LIGHTING	LITHONIA LIGHTING	LITHONIA LIGHTING	LITHONIA LIGHTING
DESCRIPTION	EXTERIOR D-SERIES LED WALL PACK	LIGHT BOLLARD	4" EXTERIOR CAN	ELA LT24 WALL MOUNTED REAROTE EMERGENCY LIGHTING
MODEL #	DSX11-LED-10C-5304 0K144MMVOLT-DOBXD	DSX1A-LED-16C-70A-40 K3YM-MVOLT-DOBXD	LDN4-WL	ELA - W - T-LT24
# OF LAMPS	N/A	N/A	1	N/A
LAMP TYPE	LED	LED	LED	LED
MOUNTING	WALL MOUNTED	GROUND MOUNTED	RECESSED	WALL MOUNTED
COMMENT			WET LISTED	

SITE NOTE LEGEND

- 01 DOCK LOCKS AT ALL DOCK DOORS
- 02 CATCH BASIN AND TRENCH DRAIN
- 03 6" CONCRETE APRON
- 04 CONCRETE STOOP
- 05 LIGHT BOLLARD (D2) ON CONCRETE BASE FLUSH TO GRADE
- 06 CONCRETE FILLED 6" STEEL BOLLARD W/ POLYCARBONATE COVER
- 07 PROPOSED MONUMENT SIGN, APPROVALS UNDER A SEPERATE SUBMITTAL. PROVIDE POWER
- 08 CANOPY
- 09 LED WALL PACK / FULL CUT-OFF FIXTURE (D1)
- 10 ROOF ACCESS LADDER
- 11 APPROXIMATE LOCATION OF WATER ENTRY TO BUILDING
- 12 APPROXIMATE LOCATION OF SANITARY ENTRY TO BUILDING
- 13 TRASH ENCLOSURE AND CONCRETE PAD
- 14 ACCESSIBLE PARKING SIGN
- 15 RECESSED CAN EMERGENCY EGRESS LIGHT FIXTURE (L)
- 16 WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE (Q)

SITE DATA:

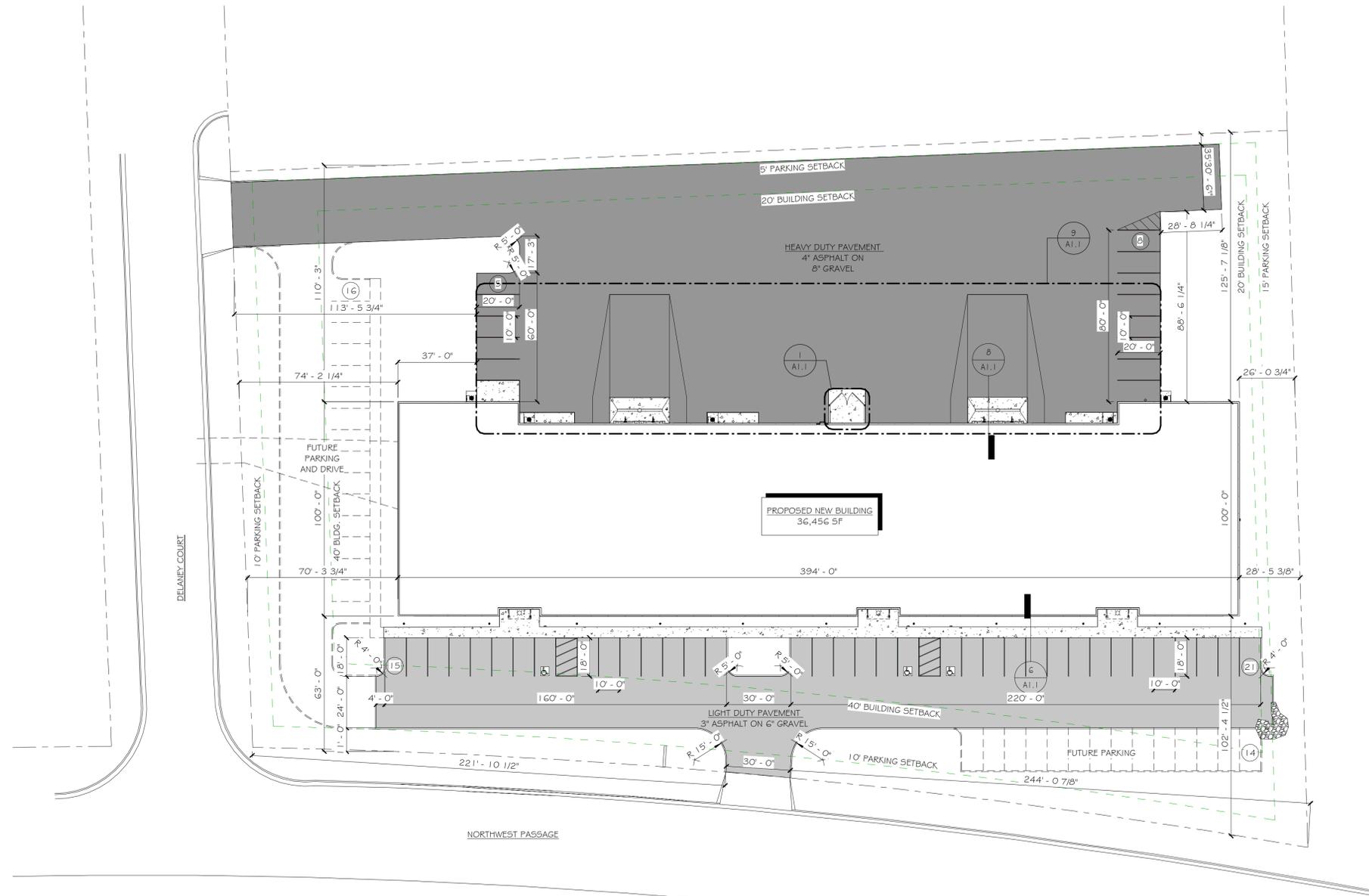
SITE AREA:	145,802 SF 3.47 ACRES
AREA OF PROPOSED BUILDING:	36,456 SF (25.0% OF SITE)
TOTAL HARD SURFACE AREA:	63,806 SF (43.2% OF SITE)
CONCRETE AREA:	3,948 SF
HEAVY DUTY PAVING:	41,335 SF
LIGHT DUTY PAVING:	17,658 SF
TOTAL GREEN SPACE AREA:	46,360 SF (31.8% OF SITE)
ZONING DISTRICT:	PUD
ALLOWABLE BUILDING HEIGHT:	50'-0"
BUILDING HEIGHT:	24'-0"
FRONT YARD SETBACK:	40'-0"
SIDE YARD SETBACK:	20'-0"
REAR YARD SETBACK:	20'-0"
TOTAL PARKING PROVIDED:	49 (INCL. H.C. STALLS)
HANDICAP PARKING REQUIRED:	2
FUTURE PARKING STALLS:	3
	30

SITE GENERAL NOTES:

1. PROPOSED BUILDING IS ONE STORY.
2. MAXIMUM % GRADE AT RIGHT-OF-WAY TO BE 8%.
3. DUMPSTER ENCLOSURE TO BE LOCATED AS SHOWN ON PLAN. EXACT SIZE OF DUMPSTER ENCLOSURE TO BE DETERMINED PER OWNER'S REQUIREMENTS.
4. SEE GRADING PLAN FOR ALL PROPOSED AND EXISTING CONTOURS AND STORM WATER DRAINAGE PATTERNS.
5. ALL ROOF TOP MECHANICAL UNITS TO BE PAINTED TO MATCH BUILDING.
6. SEE LANDSCAPE PLAN FOR ALL PLANTING LOCATIONS.
7. ALL EXTERIOR LIGHTING FIXTURES TO BE CUT-OFF TYPE.
8. ALL SITE UTILITIES TO BE VERIFIED W/ PROPER AGENCIES PRIOR TO CONSTRUCTION.
9. ALL APPROACHES & CULVERTS IN RIGHT-OF-WAY TO BE VERIFIED W/ VILLAGE OF JACKSON PRIOR TO CONSTRUCTION.



N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037
PHONE 262.677.9933
FAX 262.677.9934
info@design2construct.com



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'-0"



BUILDING DESIGN FOR:
DELANEY VI
NORTHWEST PASSAGE
JACKSON, WI 53037

SHEET TITLE
ARCHITECTURAL SITE PLAN

REVISIONS

PROJECT DATA	
DATE	06.15.2020
JOB NO.	20-00122
SET USE	PERMIT & BIDDING
DRAWN BY	DLH
SHEET NO.	

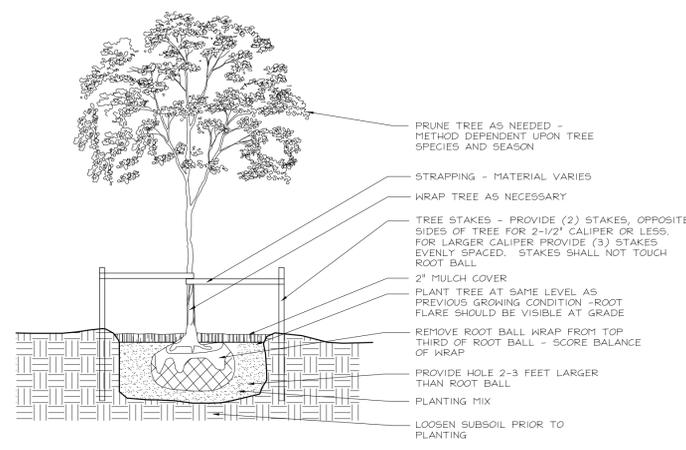
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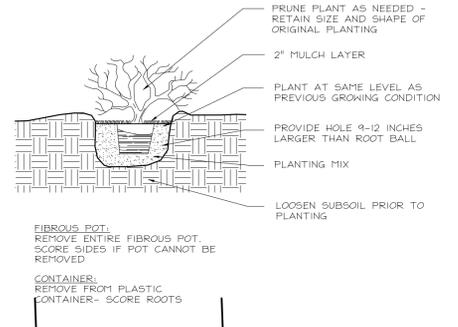
PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE		ROOTS
				MATURE	AT PLANTING	
D1	3	CRATAEGUS CRUSGALLI	HAWTHORN, THORNLESS COCKSPUR	15'	2-1/2" CAL.	B & B
D2	EXIST		STREET TREES	-	-	-
S1	36	COTONEASTER ACUTIFOLIA	COTONEASTER, PEKING HEDGE	4-8'	12-18" HIGH	POT
S2	10	EUONYMUS ALATA 'COMPACTUS'	DWARF BURNING BUSH	4-6'	24" HIGH	B&B
S3	23	RHUS AROMATICA 'GRO-LOW'	SUMAC, GRO-LOW FRAGRANT	2' HIGH 5' WIDE	12-18" HIGH	POT
S4	400 SF		BLACKEYED SUSAN	---	18" O.C.	---
G1	28		KARL FOERSTER GRASSES	3-5'	12-18" HIGH	POT
E1	2	PICEA ABIES	NORWAY SPRUCE	40-60'	8" HIGH	B & B
E2	4	CORNUS SERICEA	CARDINAL DOGWOOD	8-10'	24" HIGH	POT
E3	4	THUJA OCCIDENTALIS NIGRA	DARK GREEN ARBORVITAE	20-30'	3" HIGH	B & B

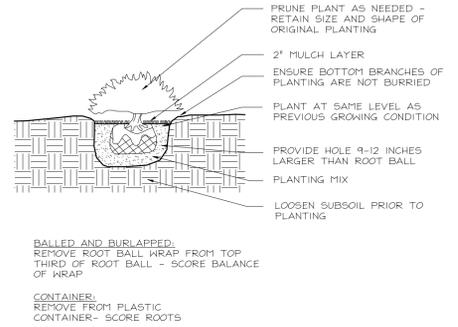
NEW PLANTS ARE TO BE OF REASONABLE GROWTH ALL PLANTINGS TO BE IN MULCH BED w/ EDGING
TREES TO HAVE 2-1/2" (MIN.) CALIPER.



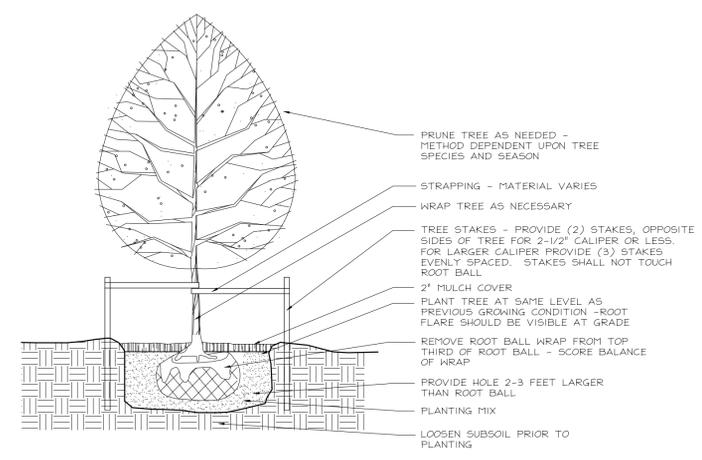
4 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



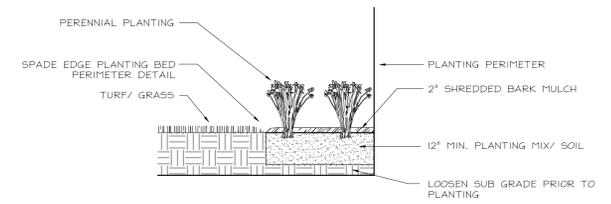
5 CONIFEROUS SHRUB PLANTING DETAIL
SCALE: NTS



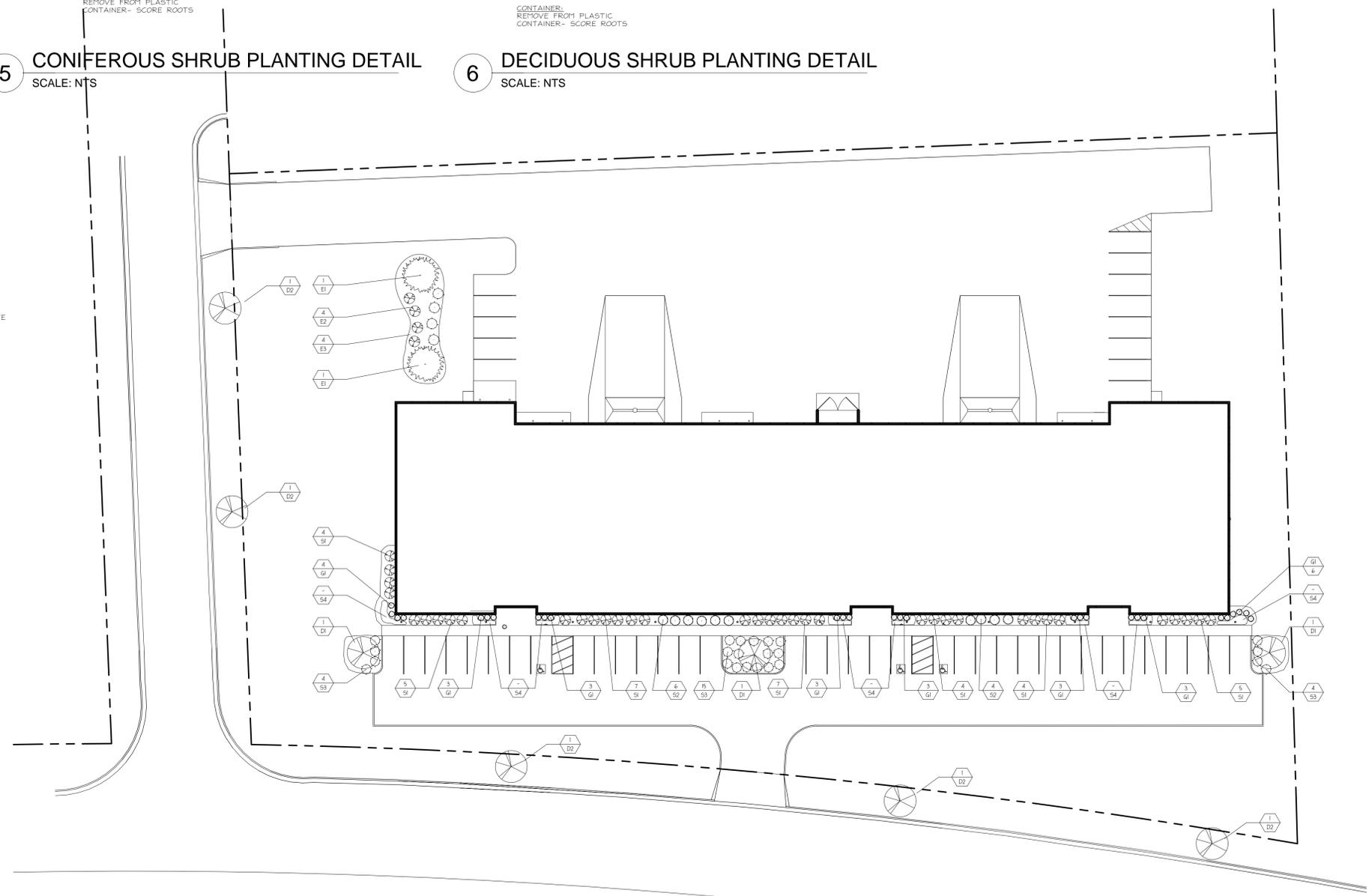
6 DECIDUOUS SHRUB PLANTING DETAIL
SCALE: NTS



3 CONIFEROUS TREE PLANTING DETAIL
SCALE: NTS



2 PERENNIAL BED PLANTING DETAIL
SCALE: NTS



1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

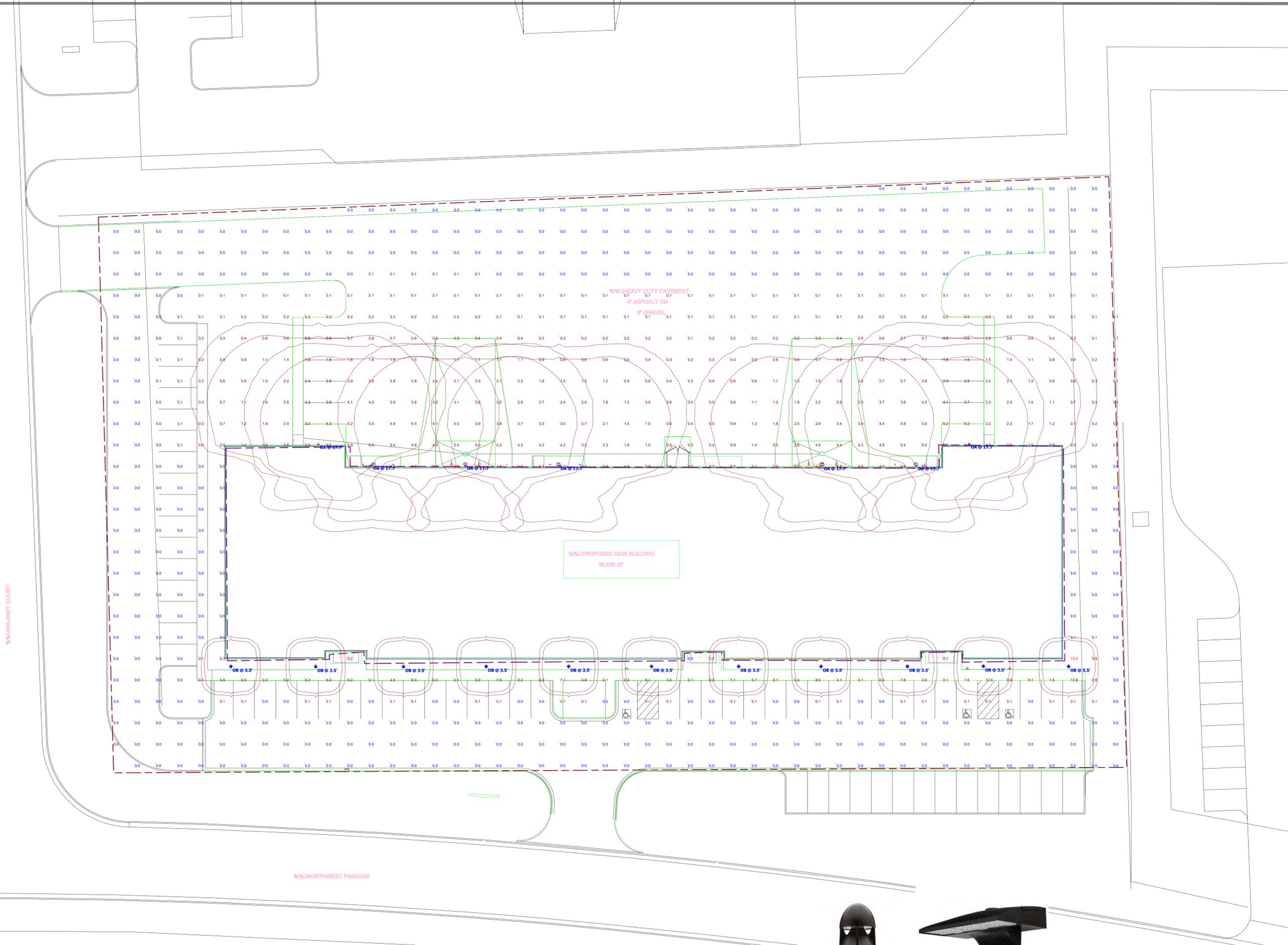
BUILDING DESIGN FOR:
DELANEY VI
NORTHWEST PASSAGE
JACKSON, WI 53037

SHEET TITLE
LANDSCAPE PLAN

REVISIONS

PROJECT DATA
DATE: 06.15.2020
JOB NO.: 20-00122
SET USE: PERMIT & BIDDING
FILE NAME: C3-A1.2
DRAWN BY: MH
SHEET NO.:

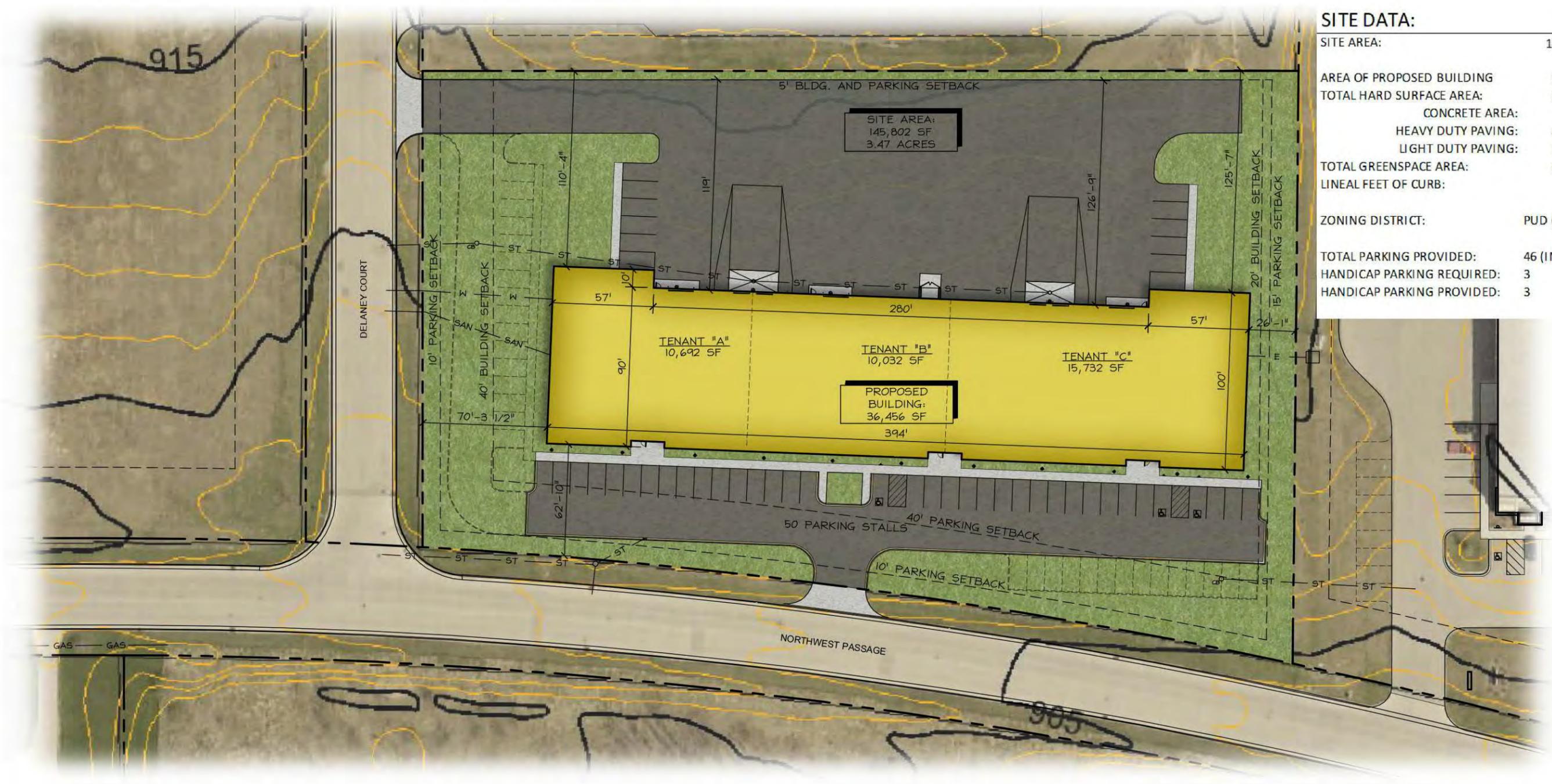
A1.2



Plan View
Scale - 1" = 20ft



Designer	
Date	4/13/2020
Scale	Not to Scale
Drawing No.	
Summary	

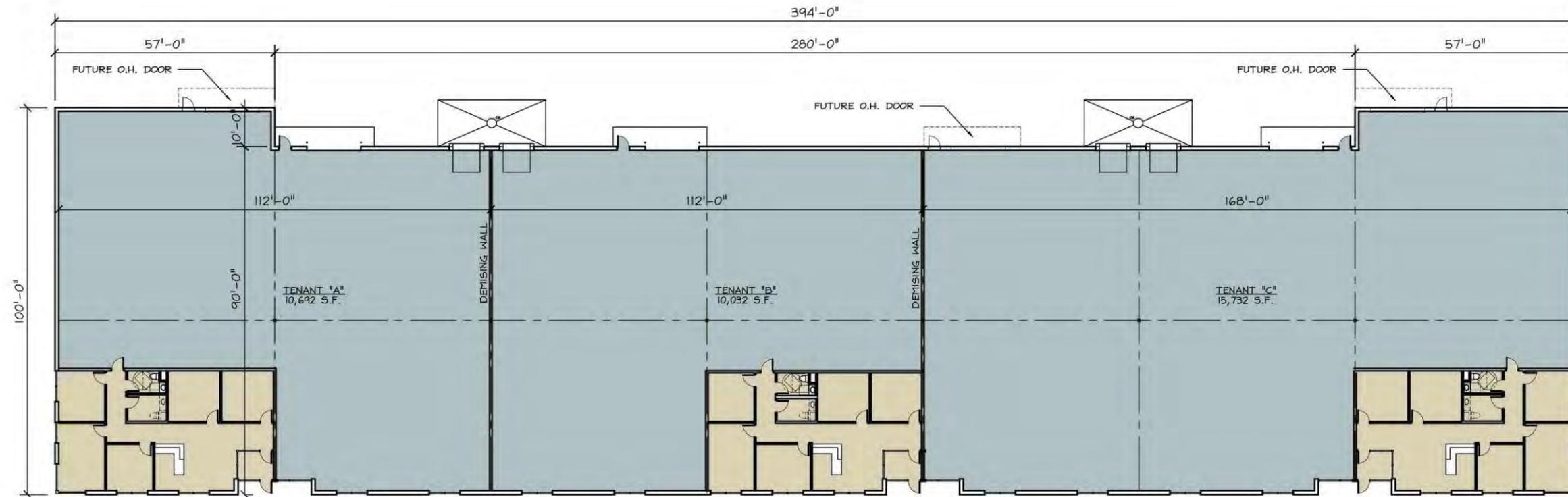


SITE DATA:

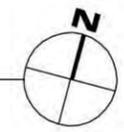
SITE AREA:	145,802 S.F. 3.47 ACRES
AREA OF PROPOSED BUILDING	36,456 S.F. (25% OF SITE)
TOTAL HARD SURFACE AREA:	62,588 S.F. (51% OF SITE)
CONCRETE AREA:	3,630 S.F.
HEAVY DUTY PAVING:	41,469 S.F.
LIGHT DUTY PAVING:	17,489 S.F.
TOTAL GREENSPACE AREA:	34,380 S.F. (24% OF SITE)
LINEAL FEET OF CURB:	427 L.F.
ZONING DISTRICT:	PUD (IND)
TOTAL PARKING PROVIDED:	46 (INCL. H.C. STALLS)
HANDICAP PARKING REQUIRED:	3
HANDICAP PARKING PROVIDED:	3

1 SITE PLAN CONCEPT
SCALE: 1" = 60'-0"



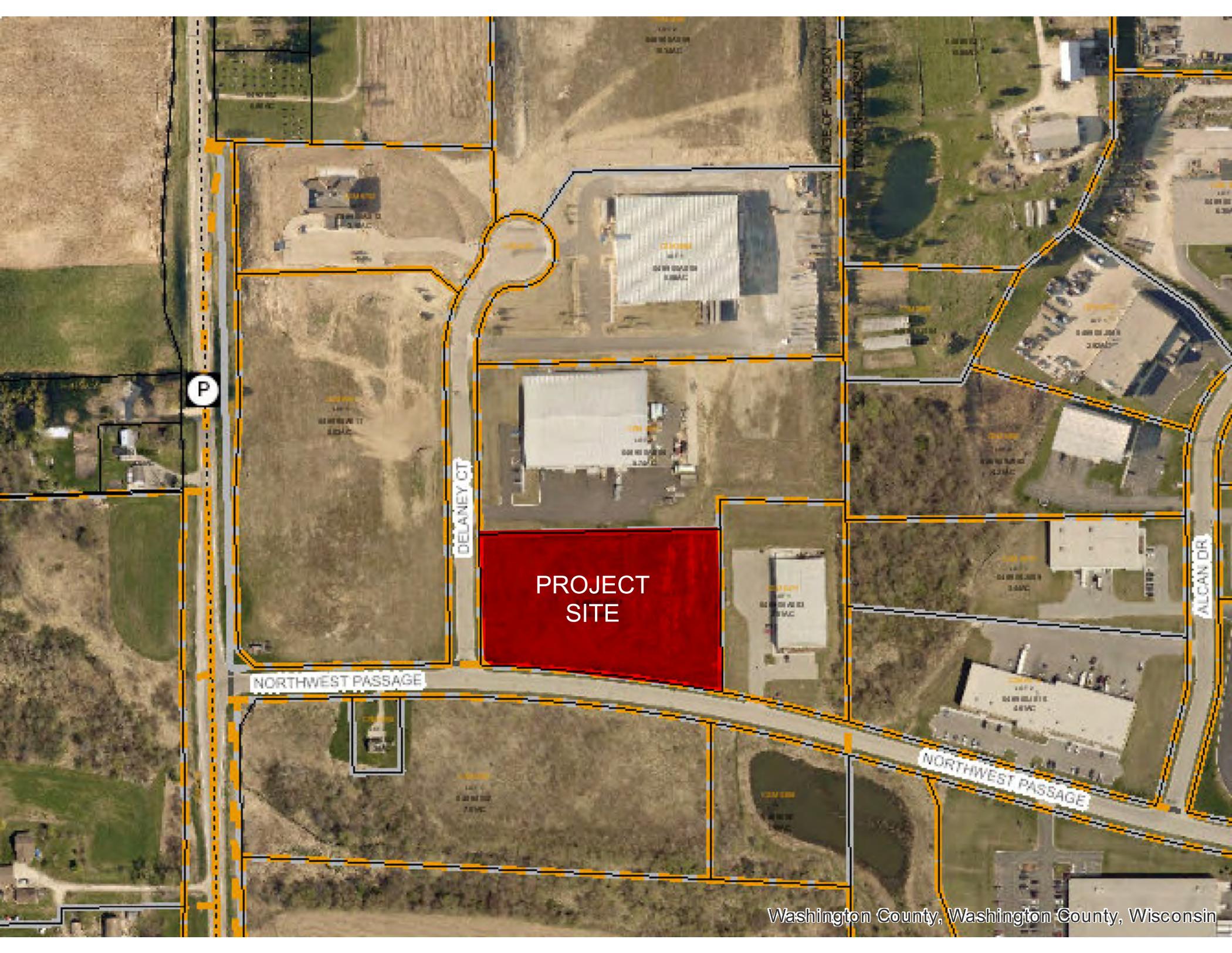


1 FLOOR PLAN
SCALE: 1/32" = 1'-0"









PROJECT
SITE

P

DELANEY CT

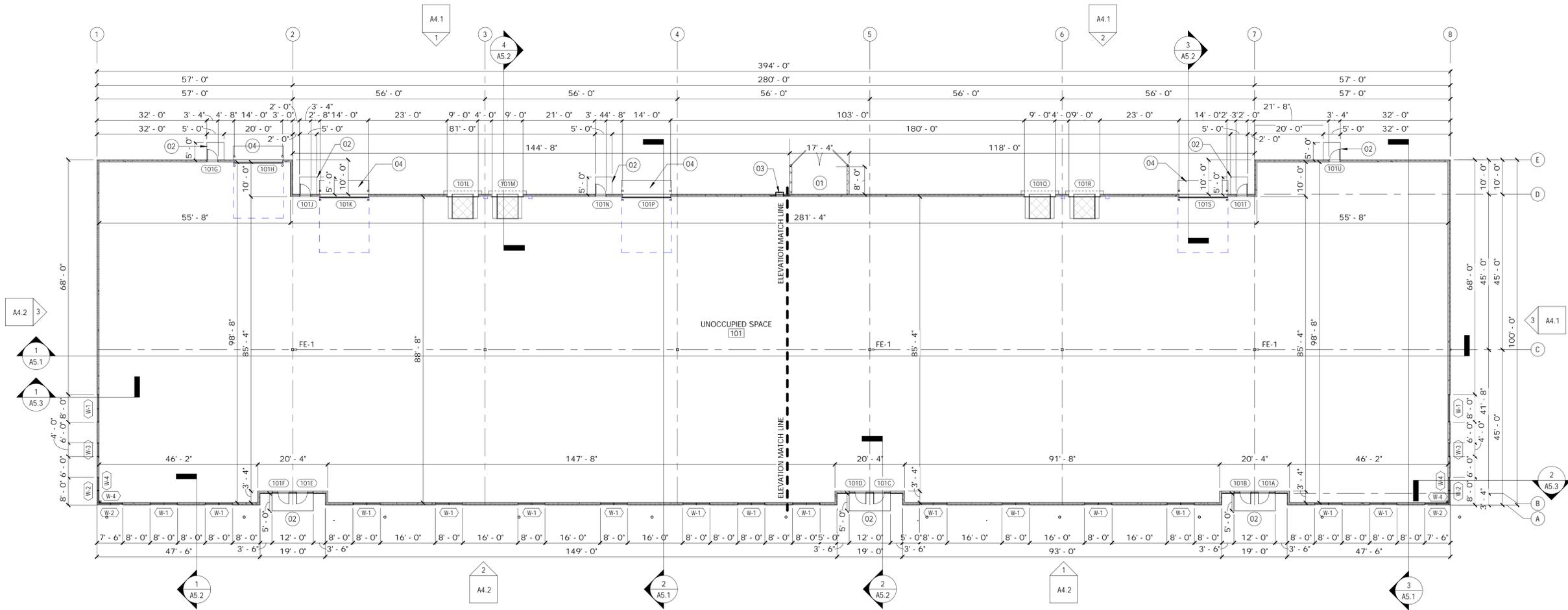
NORTHWEST PASSAGE

NORTHWEST PASSAGE

ALCAN DIR

CONSTRUCTION NOTE LEGEND (X)

- 01 TRASH ENCLOSURE
- 02 CONCRETE STOOP
- 03 ROOF ACCESS LADDER WITH PERSONAL FALL ARREST SYSTEM
- 04 CONCRETE APRON



1 FIRST FLOOR PLAN - OVERALL
 SCALE: 1/16" = 1'-0"

SHEET TITLE
FIRST FLOOR PLAN - OVERALL

REVISIONS

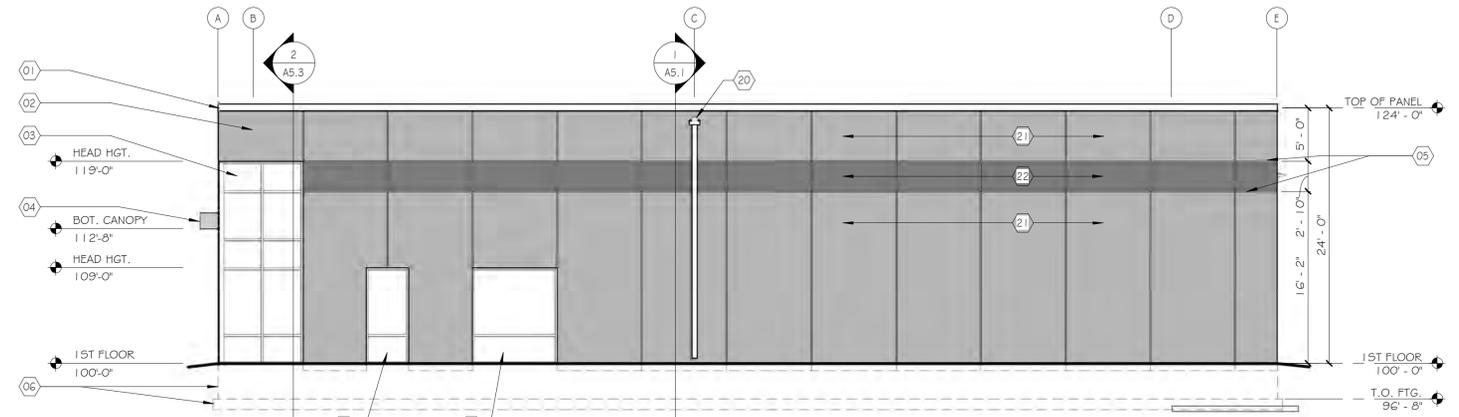
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JOB NO.	20-00122
SET USE	PERMIT & BIDDING
DRAWN BY	DLH
SHEET NO.	A2.1

A2.1

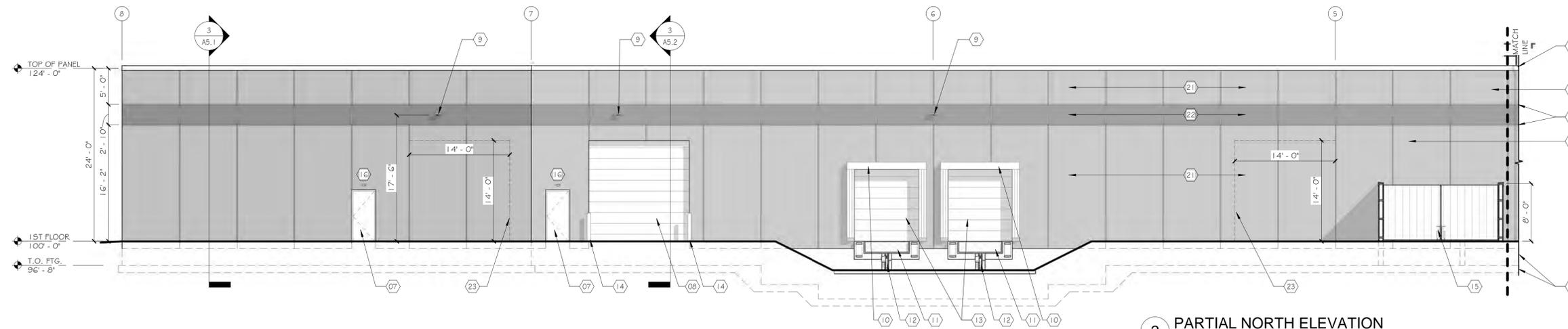
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ELEVATION NOTE LEGEND XX

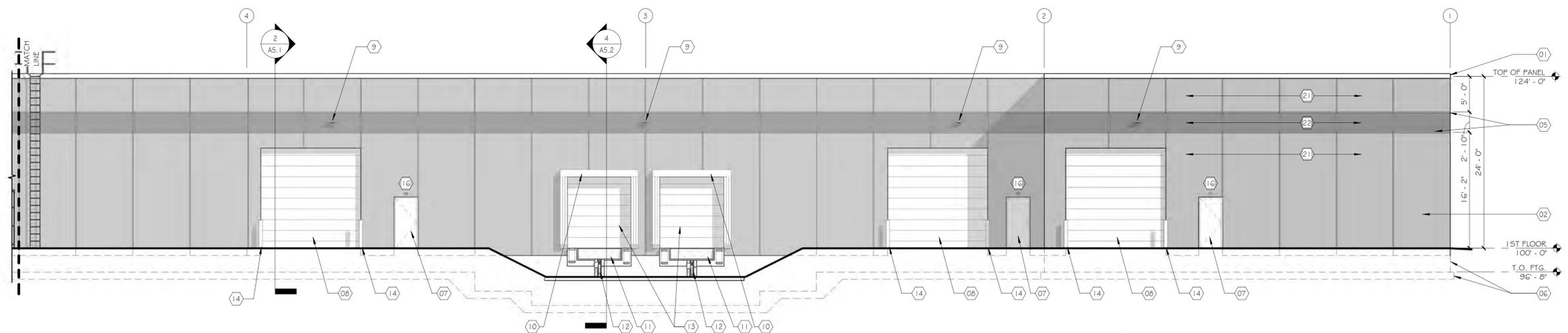
- 01 PREFINISHED METAL COPING
- 02 PRECAST CONCRETE WALL PANEL
- 03 PREFINISHED, THERMALLY BROKEN ALUMINUM FRAME W/ TINTED, INSULATED GLASS
- 04 PREFINISHED METAL FASCIA
- 05 V-GROOVE REVEAL
- 06 FOUNDATION WALL AND FOOTING
- 07 INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED (U=0.4)
- 08 14' x 14' PREFINISHED STEEL INSULATED OVERHEAD DOOR (U=0.15)
- 09 LED WALL PACK / FULL CUT-OFF FIXTURE
- 10 DOCK SEAL
- 11 MECHANICAL DOCK LEVELER
- 12 DOCK LOCK
- 13 9' x 10' PREFINISHED STEEL INSULATED OVERHEAD DOOR (U=0.15)
- 14 4' HIGH PIPE BOLLARD WITH YELLOW POLYCARBONATE COVER
- 15 TRASH ENCLOSURE GATE
- 16 EMERGENCY EXIT LIGHT
- 17 CANOPY TIE BACK RODS
- 18 PREFINISHED, THERMALLY BROKEN ALUMINUM STOREFRONT W/ TINTED, INSULATED GLASS
- 19 ROOF ACCESS LADDER WITH PERSONAL FALL ARREST SYSTEM
- 20 THRU WALL SCUPPER WITH DOWNSPOUT
- 21 PAINTED PRECAST COLOR 'A'
- 22 PAINTED PRECAST COLOR 'B'
- 23 FUTURE OVERHEAD DOOR, 14' X 14' - SEE STRUCTURAL
- XX



3 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



1 PARTIAL NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING DESIGN FOR:
DELANEY VI
 NORTHWEST PASSAGE
 JACKSON, WI 53037

SHEET TITLE
 NORTH & EAST ELEVATIONS

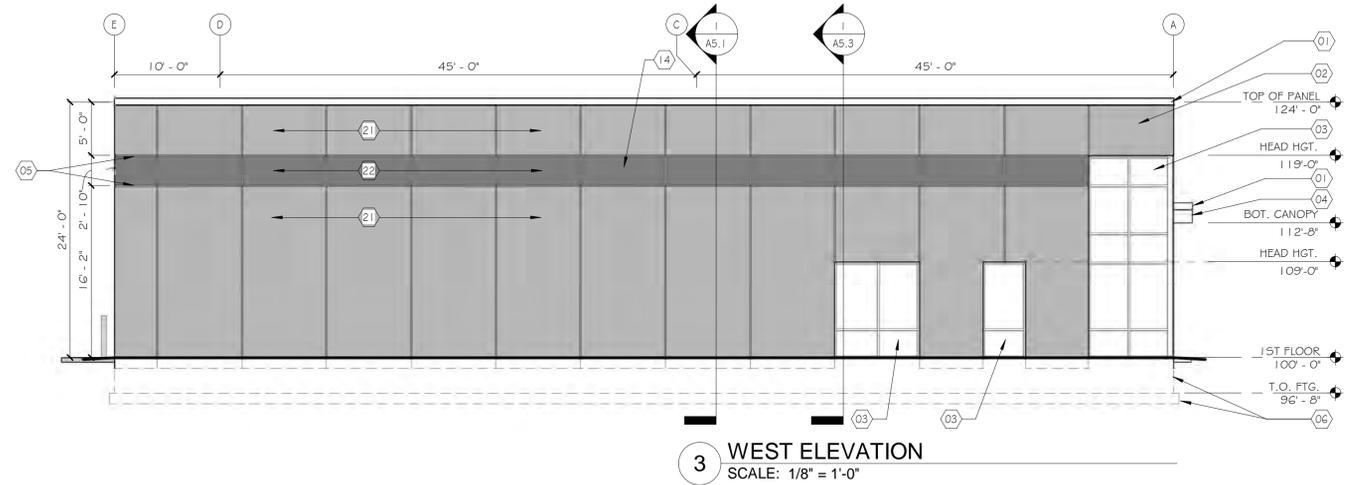
REVISIONS

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DATE	06.15.2020
JOB NO.	20-00122
SET USE	PERMIT & BIDDING
DRAWN BY	DLH
SHEET NO.	

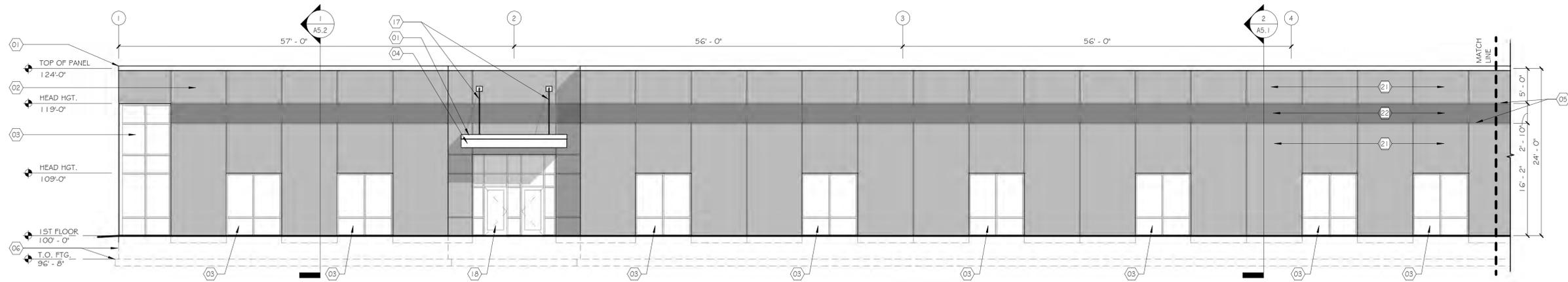
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ELEVATION NOTE LEGEND (XX)

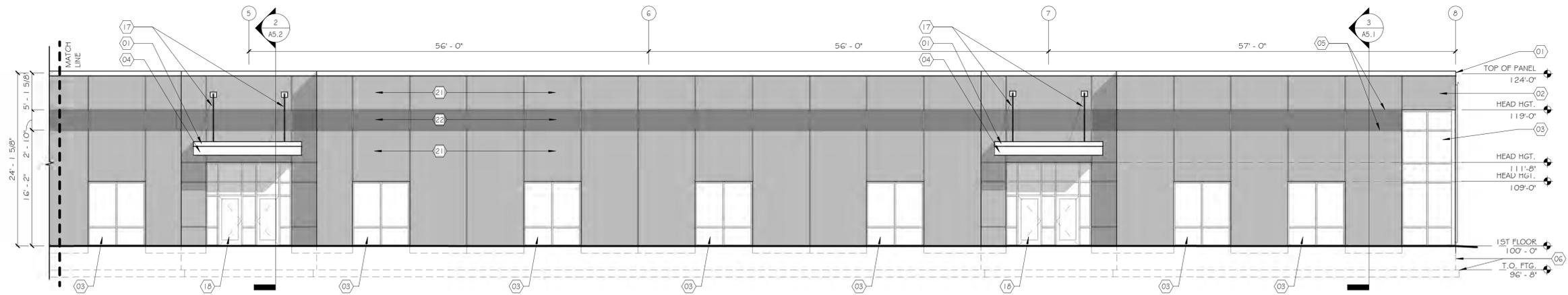
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- XX



3 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



1 PARTIAL SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING DESIGN FOR:
DELANEY VI
 NORTHWEST PASSAGE
 JACKSON, WI 53037

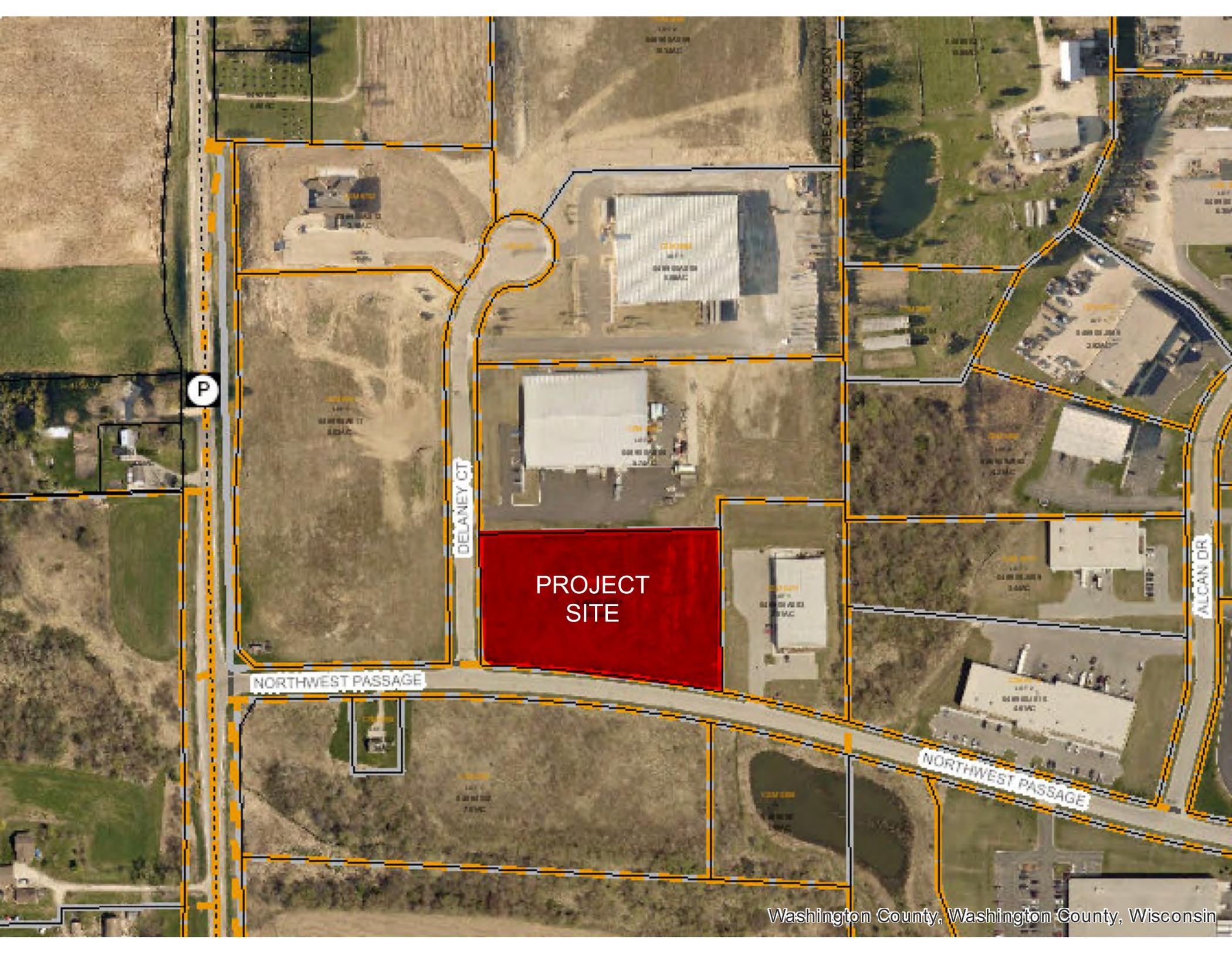
SHEET TITLE
 SOUTH & WEST ELEVATIONS

REVISIONS

PROJECT DATA	
DATE	06.15.2020
JOB NO.	20-00122
SET USE	PERMIT & BIDDING
DRAWN BY	DLH
SHEET NO.	

A4.2

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PROJECT
SITE

P

DELANEY CT

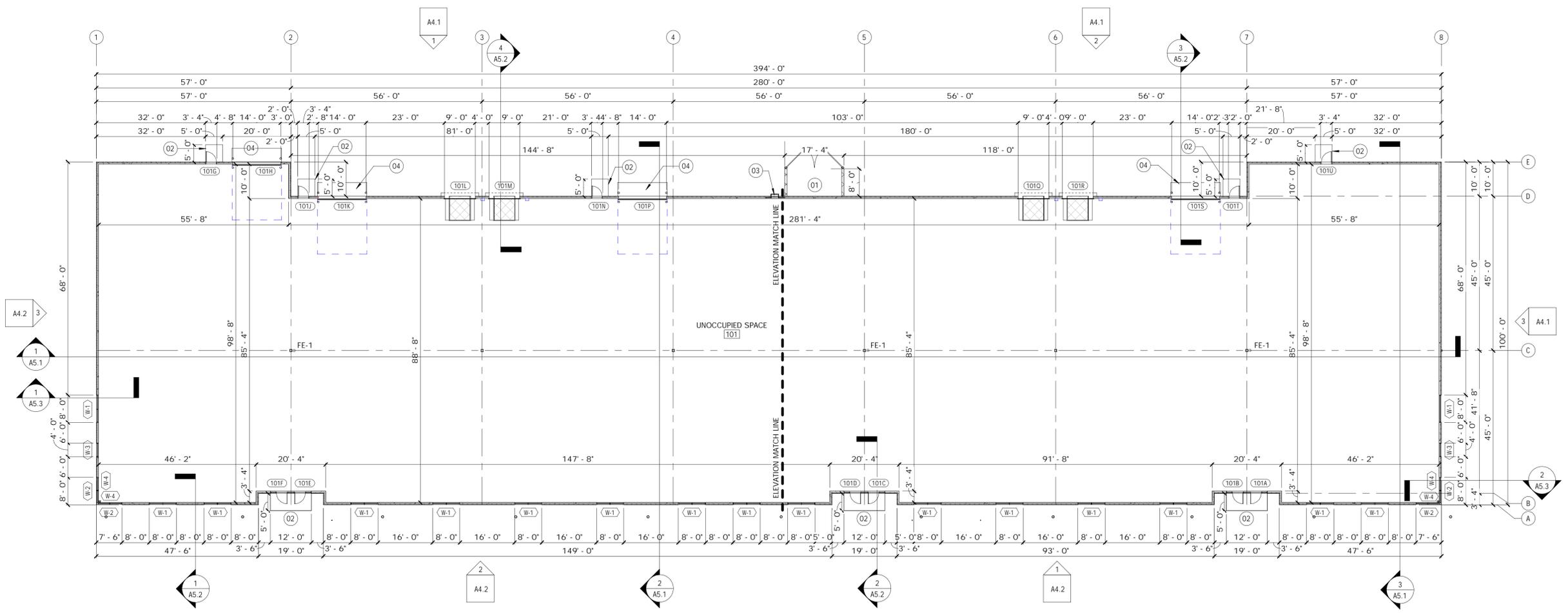
NORTHWEST PASSAGE

NORTHWEST PASSAGE

ALCAN DIR

CONSTRUCTION NOTE LEGEND (X)

- 01 TRASH ENCLOSURE
- 02 CONCRETE STOOP
- 03 ROOF ACCESS LADDER WITH PERSONAL FALL ARREST SYSTEM
- 04 CONCRETE APRON



1 FIRST FLOOR PLAN - OVERALL
 SCALE: 1/16" = 1'-0"

SHEET TITLE
FIRST FLOOR PLAN - OVERALL

REVISIONS

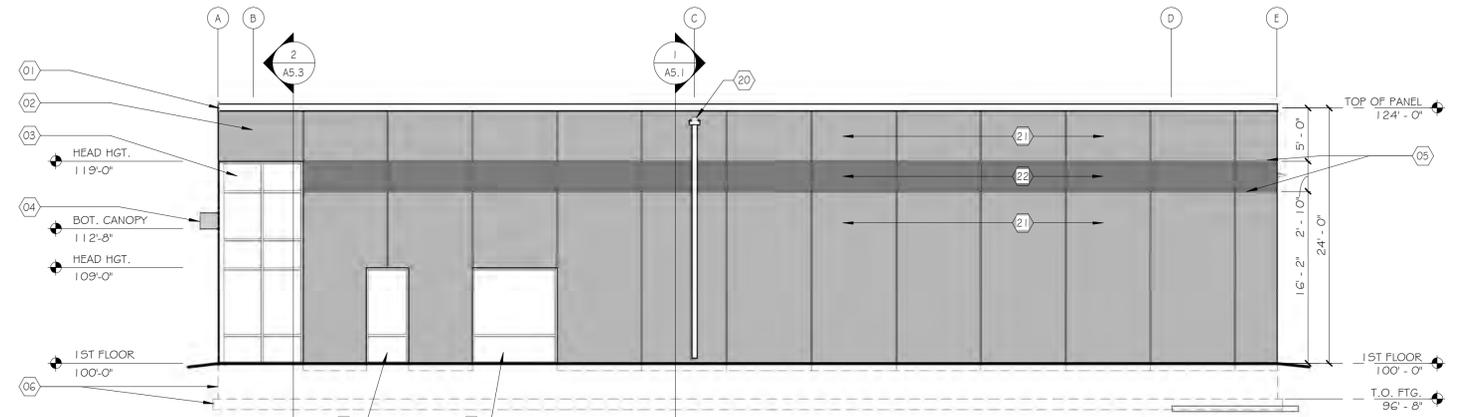
PROJECT DATA
DATE: 06.15.2020
JOB NO.: 20-00122
SET USE: PERMIT & BIDDING
DRAWN BY: DLH
SHEET NO.:

A2.1

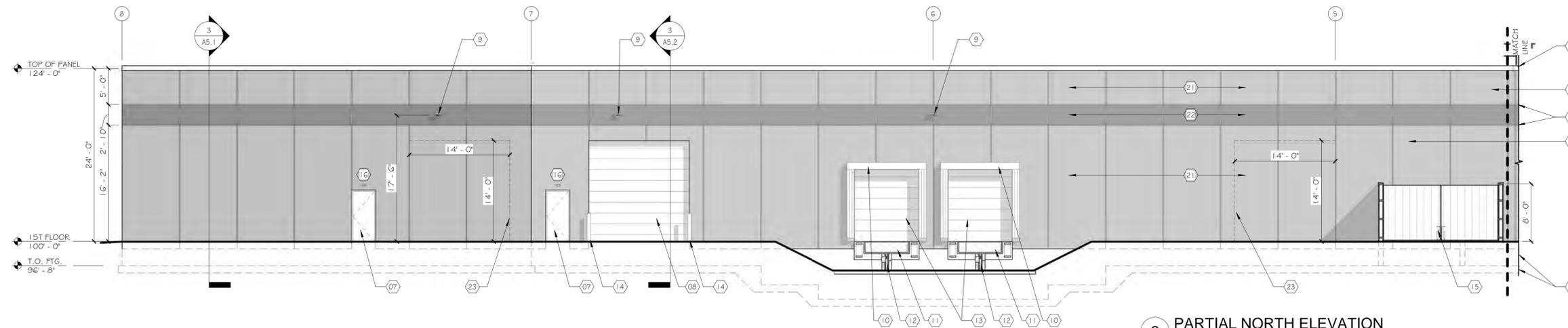
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ELEVATION NOTE LEGEND XX

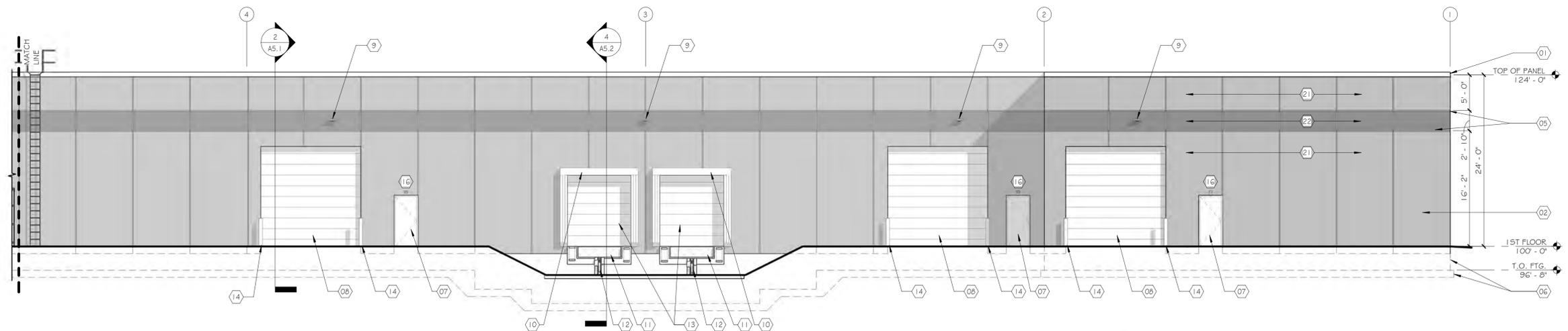
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- XX



3 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



1 PARTIAL NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING DESIGN FOR:
DELANEY VI
 NORTHWEST PASSAGE
 JACKSON, WI 53037

SHEET TITLE
 NORTH & EAST ELEVATIONS

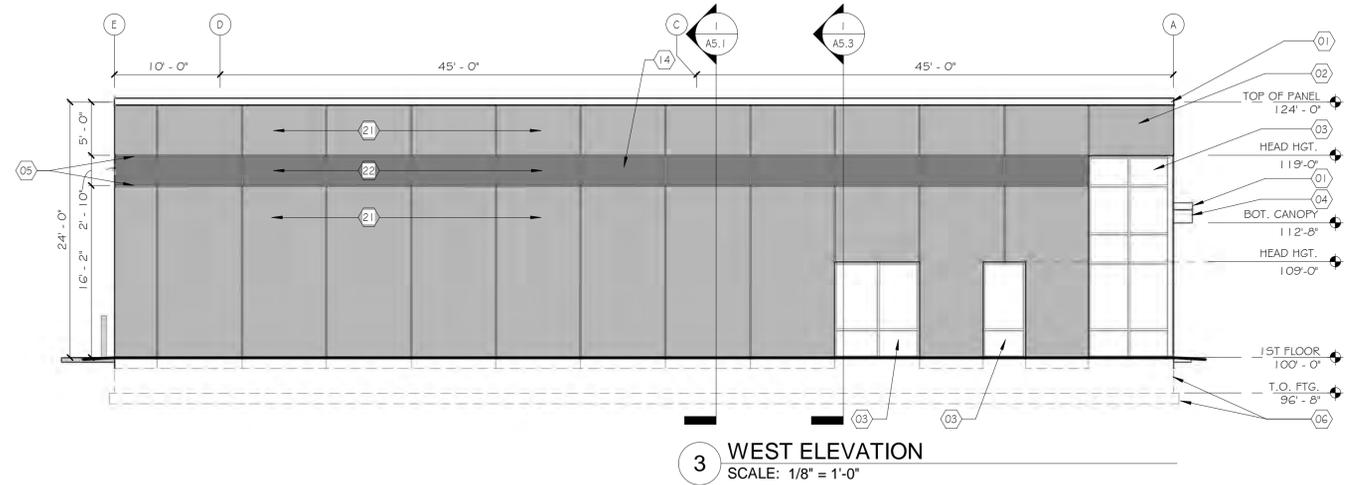
REVISIONS

PROJECT DATA	
DATE	06.15.2020
JOB NO.	20-00122
SET USE	PERMIT & BIDDING
DRAWN BY	DLH
SHEET NO.	

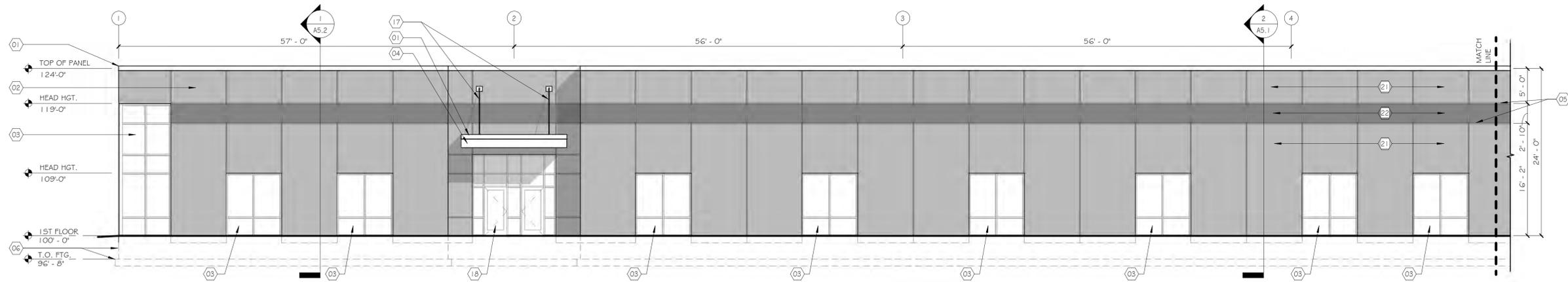
A4.1

ELEVATION NOTE LEGEND (XX)

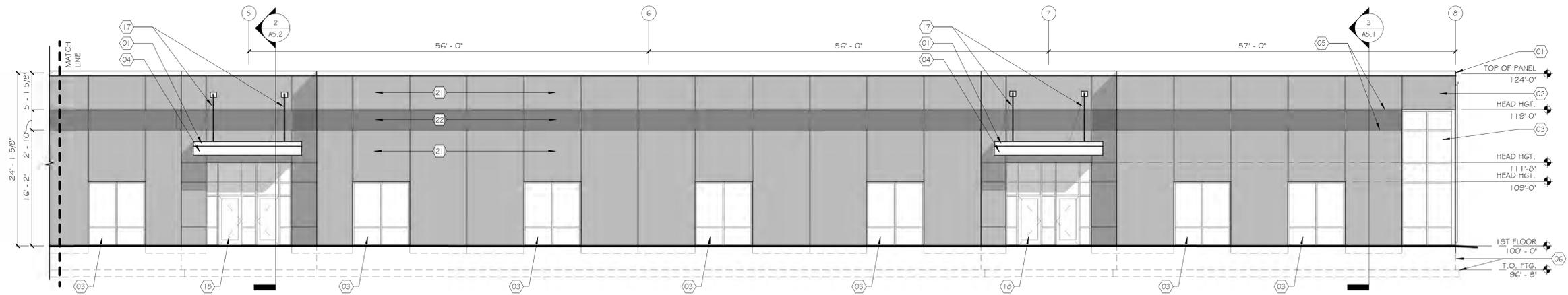
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3 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



1 PARTIAL SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

BUILDING DESIGN FOR:
DELANEY VI
 NORTHWEST PASSAGE
 JACKSON, WI 53037

SHEET TITLE
 SOUTH & WEST ELEVATIONS

REVISIONS

NO.	DESCRIPTION

PROJECT DATA

DATE	06.15.2020
JOB NO.	20-00122
SET USE	PERMIT & BIDDING
DRAWN BY	DLH
SHEET NO.	

A4.2

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VILLAGE OF JACKSON PLAN COMMISSION APPLICATION - SUBMITTAL GUIDE

(Meetings are held the fourth Thursday of the month. Applications are DUE the 1st Friday of the month for that month's meeting.)

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u> <i>Refer to number items in shaded column →</i>	<u>TYPE OF INFORMATION DESCRIBED</u> <i>(See reverse side for further instructions)</i>	<u>Paper or Digital Copy Required</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (<i>all pages</i>)	Both
			2) Describe the intended use and operation	Both
CONDITIONAL USE			3) Address labels of adjacent owners to be notified (200' / 500')	Both
- Full Review	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	4) Property owner acknowledgement of the request	Both
- *Special Use (to existing CU)	\$50	1,2,4,5,6,7,13	5) Impact Statement	Both
			6) Location Map	Both
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	7) Development Plan / Site Plan	Both
- *Special Use (to existing PUD)	\$50	1,2,3,4,5,6,7,13 (14-22 upon request)	8) Preliminary Plat	Both
			9) Final Plat	Both
REZONING	\$200	1,2,3,4,6,9 or 10 (500' for rezoning) 200' for Cond. Use or PUD Site Plan)	10) Certified Survey Map	Both
			11) Annexation Petition	Both
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	12) Annexation Map	Both
			13) Sketch Plan	Both
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	14) Landscape and Buffer Plan	Both
EXTRA TERRITORIAL PLAT/CSM	\$150	1,2,6,9 / 10		
EXTRA TERRITORIAL PLAT OUTSIDE SANITARY SRVC. AREA	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure	
			15) Grading / Drainage Plan	Both (24x36)
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sanitary Sewer / Storm Sewer Plans	Both (24x36)
			17) Street / Right of Way cross sections	Both (24x36)
FINAL PLAT / Final Plat Reappl.	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	Both (24x36)
			19) Proposed colors / materials	Both
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement	Both
			21) Annexation Agreement (<i>includes pre-annex agreements</i>)	Both
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) Other -	Both
VARIANCE / APPEAL	\$150	1,2,3,4,6,7		
MAILING LABELS	\$25	For all property addresses within 200 feet For all properties within 500' if rezoning ONLY	Must submit additional fee if not providing labels	Both

*SPECIAL USE PERMITS are applicable to EXISTING Conditional Use Permits and Planned Unit Developments. The granting of a Special Use Permit shall not change the character of the principal use or conflict with the purpose and intent of the original Conditional Use or Planned Use Development approval. Special Use Permits shall be reviewed for impact on neighboring uses in addition to the neighborhood. Compatibility is a primary consideration.

Examples of special uses include: New or expanded tenant uses including occupancies, minor changes to building facades, minor lighting changes, paint schemes, certain accessory structures, sign replacements of equal or lesser size or other uses or modifications as determined by the Village.

Applications shall be submitted NO LATER than 4:00 PM on the 1st Friday of the month to be considered at that month's meeting. In some cases, additional copies of a submittal may be required. Only COMPLETE applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month at which a public hearing may be held. A decision on the request could be made at that time.

EXPLANATION OF TYPES OF INFORMATION REQUIRED *(From front page of application form)*

1. **Application Form:** *You MUST SUBMIT both HARD (paper) and DIGITAL (USB Drive) copies of your application.*
2. **Letter of Intent:** What you are requesting in your own words? *(Be brief)*
3. **Mailing/Address Labels:** It is your responsibility to provide the Village with addresses labels of ALL adjacent property owners within a 200-foot radius of the subject property. If mailed notification is required for your application, an incorrect address may cause a delay. *(Additional \$25 is required if Village provides address labels.)*
4. **Proof of Property Ownership:** A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. **Impact Statement:** In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. General hours of operation.
 - B. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc).
 - C. Vehicle trip generation (trips per day per unit x number of units).
 - D. Estimated numbers of vehicles and/or equipment, materials, to be parked and/or stored on site.
 - E. Proposed sign(s) advertising business, directional signage, dwelling unit rental, etc.
 - F. Proposed dates of construction and completion.
 - G. Anticipated user profiles (for residential developments).
 - H. Annual water consumption estimate (100% occupancy and build-out).
 - I. Annual sewage generation estimate (100% occupancy and build-out).
6. **Location Map:** An aerial map indicating where the site is located within the Village.
7. **Development Plan:** Show entire proposal on the site. Include edge of pavement and/or back of the curb line, sidewalks (existing and proposed), structure footprint(s), driveways, parking areas, fencing, refuse enclosures, locations of accessory uses, and overall dimensions of structures and setbacks, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. **Plat Map:** Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. **Certified Survey Map:** A recordable document showing the legal and mapped description of the land division.
11. **Annexation Petition/Attachment Request:** Shows owner is supporting the annexation.
12. **Annexation Map:** A recordable map having the legal and mapped description of the parcel to be annexed.
13. **Sketch Plan:** An informal drawing depicting the proposal for discussion purposes.
14. **Landscape Plan:** Show location, size, type, botanical name & common name of proposed trees & shrubs. Also details surface treatments. Show walls, fence location and style, buffers/screening and similar details.
15. **Grading/Drainage Plan:** Show original & proposed grades & runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (Storm sewer system, ditches, culverts, etc.)
16. **Water/Sewer/Storm Sewer Plans:** Show size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer system with gradient profiles and invert elevations; shows the proposed storm drainage system as in #15 above.
17. **Street Crossing Sections:** Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. **Erosion Control Plan:** A map of existing site conditions on a scale of at least 1-inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. **Proposed Building Colors and Materials:** Submit samples of exterior colors and materials.
20. **Improvement Agreement:** An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. **Annexation Agreement.**

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS

Village of Jackson
PLAN COMMISSION APPLICATION

Application/Permit #: _____ - _____

PROPERTY INFORMATION

- COMMERCIAL INDUSTRIAL RESIDENTIAL OTHER _____
- CONDITIONAL USE PLANNED UNIT DEVELOPMENT CERTIFIED SURVEY MAP
- New New CONCEPT PLAN
- Special Use Special Use OTHER _____
- (For existing CU ONLY)* *(For existing PUD ONLY)*

Property Address: SW corner of Alcan Drive and Alcan Court Unit: _____ Jackson, WI

Parcel #: 048900P Lot Size: 67,518 sq. ft. Building Area: 10,000 sq. ft.

Current Zoning: B-1 B-2 M-1 M-2 I-1 PUD Other _____ Floodplain

APPLICANT INFORMATION

Name(s): Doug Forton - Design 2 Construct

Mailing Address: N173W21010 Northwest Passage Jackson State WI Zip 53037

Office: (262-677-9933) Cell: (_____) Fax: (262-677-9934)

Email: dforton@design2construct.com

BUSINESS INFORMATION *(If New Business)*

Legal Business Name: Snow Studs

D/B/A: _____ FEIN #: _____ - _____

Mailing Address: 4580 Church Drive West Bend State WI Zip 53095

Office: (888) 234-9822 Cell: (_____) Fax: (_____) _____

Email: dave@snowstuds.com

Website: snowstuds.com

PROPERTY OWNER INFORMATION

Name(s): Dave Pichler

Address: 4580 Church Drive West Bend WI State 53095 Zip

Office: (888) 234-9822 Cell: (_____) Fax: (_____) _____

Email: dave@snowstuds.com

ARCHITECT / ENGINEER / CONTRACTOR INFORMATION *(Circle One)*

Firm Name: Design 2 Construct

Primary Contact: Doug Forton

Address: N173W21010 Northwest Passage Jackson WI State 53037 Zip

Office: (262-677-9933) Cell: (_____) Fax: (262-677-9934)

Email: dforton@design2construct.com

Please provide as much detailed information as possible. (Add additional pages if needed.)

Briefly explain what you are requesting to be reviewed and/or approved: Please refer to the attached narrative

Provide a brief overview of proposed use(s) of entire property and/or lease space: Please refer to the attached narrative

Hours of Operation: The business will operate between 7am and 4pm Monday thru Friday with the potential for occational Saturday hours

Provide a brief overview of proposed daily on-site operations: Fabrication and sales of traction products for snowmobiles

Describe any potential environmental impacts from the proposed use including but not limited to exterior storage, noise, smoke, dust, odors, hazardous materials, vibration, horns, speakers, vehicles and equipment operation and exterior generators, HVAC, or other stationary mechanical equipment, etc.: None

Describe all businesses, properties and other entities located adjacent to the proposed use: _____
All adjacent properties are developed with similar Commercial / Industrial uses

Proposed, development, on-site improvements or other construction/remodeling activities: _____
Please refer to the attached documents

Proposed grading and/or stormwater management plan: _____
This site will utilize the existing regional stormwater management pond

Proposed landscape plan/improvements including driveways, sidewalks, vegetative plantings, etc.: _____
Please refer to the attached documents

Proposed on-site security measures including site lighting: Minimal building lighting using full cut off fixtures

Life Safety Systems – Existing or Proposed (Includes fire hydrants, fire suppression & fire alarm systems): _____
The proposed building will not utilize fire suppression or fire alarm systems

Projected traffic circulation and impacts: Other than the vehicle trips from 6 employees the business will see
Traffic from general deliveries, UPS or Fed Ex, once per day and on average 1-2 semi-truck deliveries per week.

Setbacks from rights-of-way and property lines and height limitations: _____
Proposed street setback of 40'-0" , side setback of 20'-0"

Status of State/Federal License(s) or Certificate(s) required for operation: None

Does this project require other Jurisdictional Approvals from other Governmental or Regulatory entities?

No Yes If yes, explain: _____

Describe any proposed signage including type and location: _____
A proposed monument sign on Alcan drive and building signage will be submitted to the plan commission
for review at a later date

Exterior Building Materials (type, color, etc.): The buildnig will be a mixture of painted masonry and
pre-finished insulated metal panel, aluminum storefront, windows and hollow metal doors
Please refer to the attached rendering for additional clarification of the proposed materials.

Site Specific Features/Constraints: None

Parking (Total No. of spaces plus number of dedicated handicapped parking and type): _____
15 total parking stalls with 1 required ADA stall

Proposed screening/buffering from adjacent properties: None

Proposed provisions for refuse and recycling collection/storage: Recycling and Refuse is handled within the building

Projected Sewer/Wastewater Usage: TBD gal/year

Projected Water Usage: TBD gal/year

ACKNOWLEDGEMENT & SIGNATURES

I/We hereby certify that I/We have reviewed the above Village of Jackson Plan Commission application and requirements, and hereby certify that the above information, attachments, and exhibits are complete, true and correct. I/We further understand that any missing or incomplete information may result in a delay of the review of this application. The Village reserves the right to request additional information as deemed necessary.

Applicant Name (Print): _____
Doug Forton

Applicant Signature: _____
Doug Forton

Co-Applicant Name (Print): _____

CO-Applicant Signature: _____

Date of Application: _____
05.01.2020

You MUST sign and date this Application!

SUBMIT TO: Village of Jackson – Village Hall (*Checks shall be made payable to Village of Jackson*)
N168 W20733 Main Street
PO BOX 637
Jackson, WI 53037

QUESTIONS?

Village Clerk: For all **general questions** related to completing form or questions related to Village meetings.
Phone: (262) 677-9001 x11
Email: jilline.dobratz@villageofjackson.com

Building Inspector: For questions concerning **building codes, zoning, or technical questions.**
Phone: (262) 677-9696
Email: collin.johnson@villageofjackson.com

TERMS OF THIS PERMIT

1. This permit shall become effective upon Village approval and where required, the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. This approval is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of this permit shall be in strict conformity to the approved building, site, and operational plans which were filed in connection with the application for this approval (as attached and/or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

VILLAGE APPROVAL:

TEMPORARY Expiration Date: _____, 20____

Plan Commission Approval: Meeting Date: _____, 20____

Village Board Approval: Meeting Date: _____, 20____

In-House Approval (O-T-C): Date: _____, 20____

Approved by: John Walther, Village Administrator

Conditions and Duration of Approval:

Depending on the request, approvals shall generally be continual or temporary in nature. ALL approvals are subject to the Conditions of Approval outlined below. All conditional or special uses/approvals shall, upon complaint, be subject to review, amendment, or revocation by the Village. Where temporary approvals are issued, such approvals shall be subject to the time limitations specified.

Conditions of Approval: _____

APPLICATION DENIED: Date: _____, 20____

Staff Initials: _____

Reason for Denial: _____

<p>FOR OFFICE USE ONLY Acct. #: 100-00-45730-000-00</p> <p>Date Received: _____</p> <p>Amount: _____</p> <p>Payment Type: CH / CC / CA</p> <p>Check/Receipt #: _____</p> <p>Received By: _____</p>

VILLAGE OF JACKSON

N168W20733 MAIN ST.
P O BOX 637
JACKSON, WI 53037-0147

Receipt Nbr: 230438
Date: 5/04/2020
Check

RECEIVED FROM DESIGN 2 CONSTRUCT \$150.00

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	Account Nbr: 100-00-45730-000-000 PLANNING / ZONING FEES CUP APPLICATION / SNOW STUDS /CK #108250	150.00

TOTAL RECEIVED 150.00

Receipt Memo: CUP APPLICATION / SNOW STUDS /CK #108250



Planning Commission
Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

May 01, 2020

Re: Project Narrative:

Introduction:

Attached to this project narrative you will find the graphical information regarding the proposed business development located on the southwest corner of Alcan Court and Alcan Drive.

Existing Site:

The existing site is approximately 1.55 acres and is currently vacant. The site frontage is along Alcan Drive on the north and west, Existing Commercially zoned lots on the south and east. The parcel can only be accessed from Alcan Court

New Site:

This proposal is to utilize the existing vacant site for a development that will provide a new Office / Industrial building for Snow Studs. Access for the site will be in the southwest corner of the property. The parking for the site will be provided along the west and north side of the site. Site lighting will be accomplished utilizing two full cut off wall packs on the south and north side of the building to provide lighting for the loading docks and service entrances. Two recessed light fixtures will be installed in the main entry canopy.

New Building:

The proposed site submitted for your review will be used to construct a new 10,000 s.f. office / industrial building with the potential for a future 12,800 sf building addition. The building primary facades face north and west along Alcan Drive. The building materials are proposed as painted masonry and pre-finished insulated metal wall panel. The metal wall panel will be finished with two distinct colors. Clear anodized aluminum window frames with tinted glass for all fenestration. A decorative canopy is provided at the main entrances.

Building signage is not addressed in this submittal. All building signage will be submitted to the Plan Commission at a later date for approval. A monument sign is proposed at the site access point on Alcan Drive. This sign will be submitted to the Plan Commission for approval at a later date.

N173 W21010

Northwest Passage Way

Jackson, WI 53037



Tel: 262.677-9933

Fax: 262.677.9934

Storm water management for this site will be accomplished utilizing the existing regional pond system located in the industrial park.

Plan of Operation:

There will be up to 6 employees working at this business Monday thru Friday 7am to 4pm. There is a potential for the occasional Saturday work day as well. The business fabricates, stocks, sells and ships products associated with traction devices for snowmobiles.

Impact Statement:

The impacts of this development upon the Village of Jackson utilities, water consumption, sewage generation are not able to be quantified at this point. Traffic will entail 6 employees and delivers from general companies such as UPS once per day and on average 1-2 semi-truck deliveries per week.

We do not believe this new development will negatively impact or be a nuisance to the surrounding neighborhood. This involves the development of an existing site zoned for commercial development and is consistent with the nature of the surrounding neighborhood which is currently a mix of commercial development. The traffic patterns in the neighborhood are already established and will not be affected by the new development.

If you have any questions or concerns regarding this proposed development please feel free to contact my office.

Sincerely,
Mark Hertzfeldt

A handwritten signature in black ink, appearing to read 'Mark Hertzfeldt', enclosed within a faint, light-colored oval border.

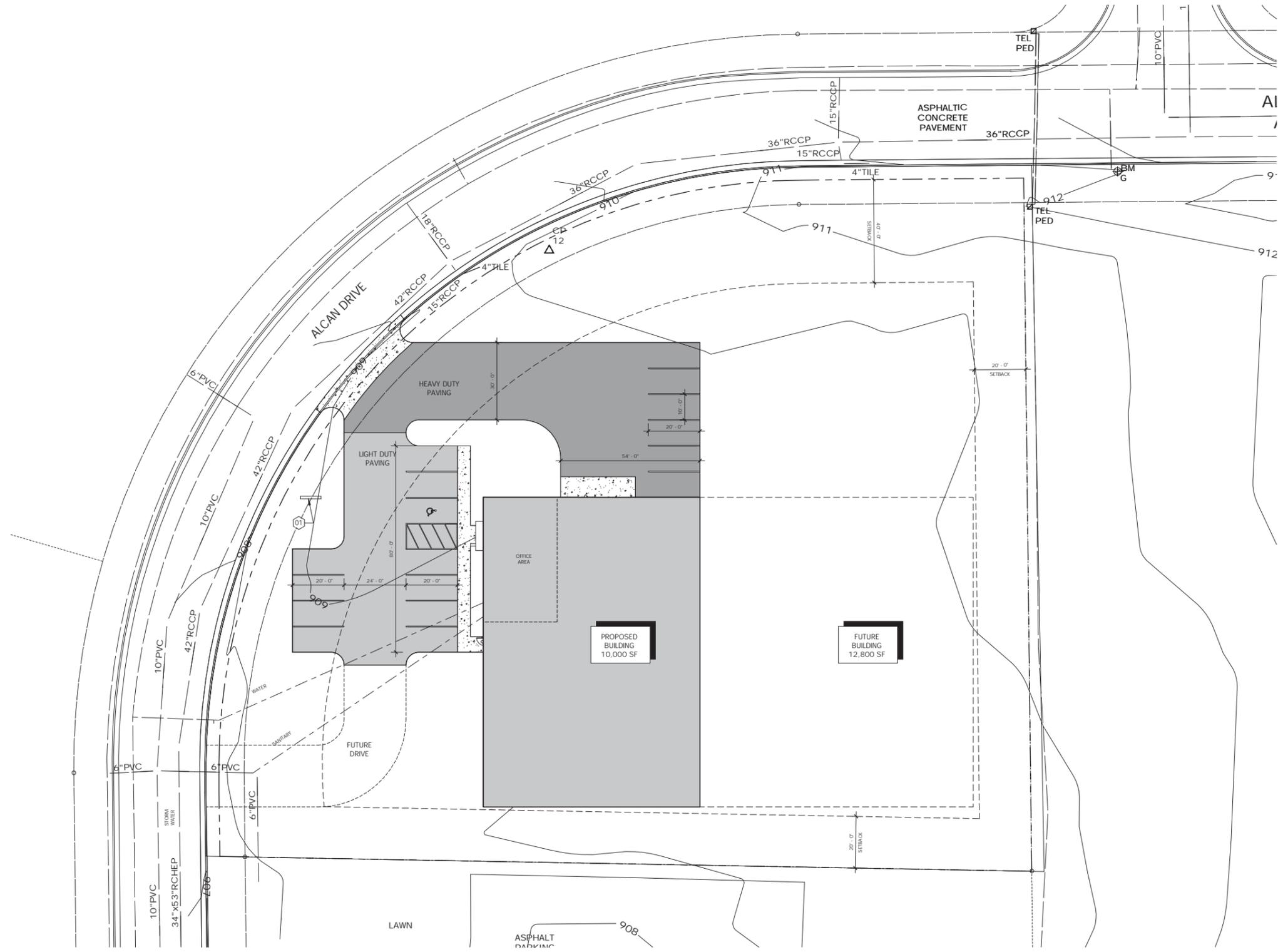
Design 2 Construct

SITE NOTE LEGEND

01 MONUMENT SIGN BY OWNER, PROVIDE POWER



N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037
PHONE 262.677.9933
FAX 262.677.9934
info@design2construct.com



SITE DATA:

SITE AREA:	67,518 SF 1.55 ACRES
AREA OF PROPOSED BUILDING:	10,000 SF
AREA OF FUTURE BUILDING:	12,800 SF
TOTAL BUILDING FOOTPRINT:	22,800 SF
TOTAL HARD SURFACE AREA:	10,969 SF (16% OF SITE)
CONCRETE AREA:	696 SF
HEAVY DUTY PAVING:	5,689 SF
LIGHT DUTY PAVING:	4,604 SF
TOTAL GREEN SPACE AREA:	46,549 SF (72% OF SITE)
ZONING DISTRICT:	PUD
ALLOWABLE BUILDING HEIGHT:	50'-0"
BUILDING HEIGHT:	26'-0"
FRONT YARD SETBACK:	40'-0"
SIDE YARD SETBACK:	20'-0"
REAR YARD SETBACK:	20'-0"
TOTAL PARKING PROVIDED:	17 (INCL. H.C. STALLS)
HANDICAP PARKING REQUIRED:	1
HANDICAP PARKING PROVIDED:	1
FUTURE PARKING STALLS:	0

BUILDING DESIGN FOR:
SNOW STUDS
ALCAN DRIVE
JACKSON, WI 53037

SHEET TITLE
ARCHITECTURAL SITE PLAN

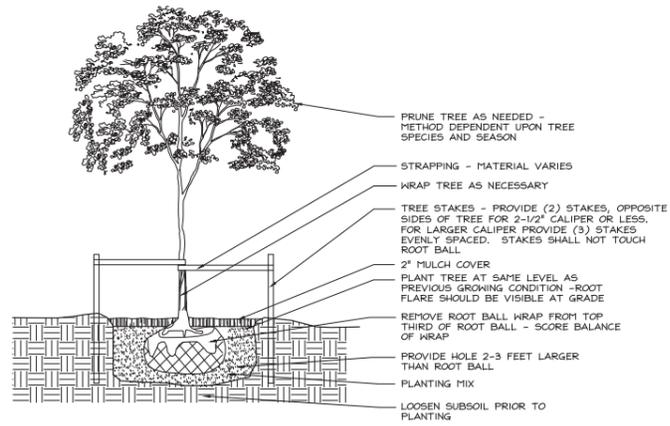
REVISIONS

PROJECT DATA	
DATE	04.30.2020
JOB NO.	20-00116
SET USE	PRELIMINARY
DRAWN BY	SPS
SHEET NO.	

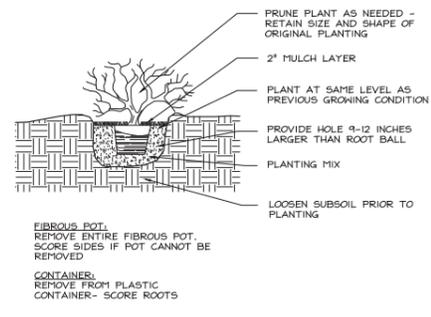
A1.0

1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

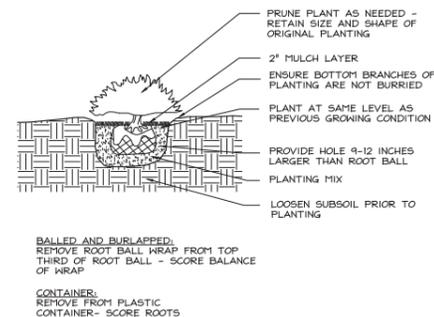
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4 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



5 CONIFEROUS SHRUB PLANTING DETAIL
SCALE: NTS

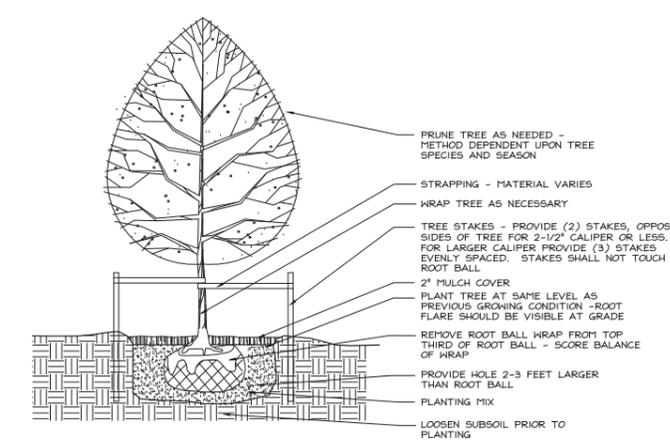


6 DECIDUOUS SHRUB PLANTING DETAIL
SCALE: NTS

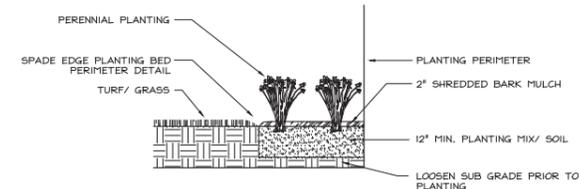
PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE		ROOTS
				MATURE	AT PLANTING	
D1	4	ACER PLATANOIDES	NORWAY MAPLE, EMERALD LUSTRE	50-60'	2-1/2" CAL	B & B
D2	2	CRATAEGUS CRUGGALLI	RAWTHORN THORNLESS COCKSPUR	1E	2-1/2" CAL	B & B
E1	1	PICEA ABIES	NORWAY SPRUCE	40-60'	6" HIGH	B & B
E2	6	DOXNUS BERICEA	CARDINAL DOGWOOD	8-10'	24" HIGH	POT
G1	20		KARL FODERSTER GRASSES	3-5'	12-18" HIGH	POT
S1	100-150		BLACKEYED SUSAN		18" D.C.	
S2		SPIRAEA JAPONICA	GOLDCOUND SPIREA	12'	30" HIGH	POT
S3		HEMEROCALLIS	DAYLILLY STELLA D'ORO		24" HIGH	

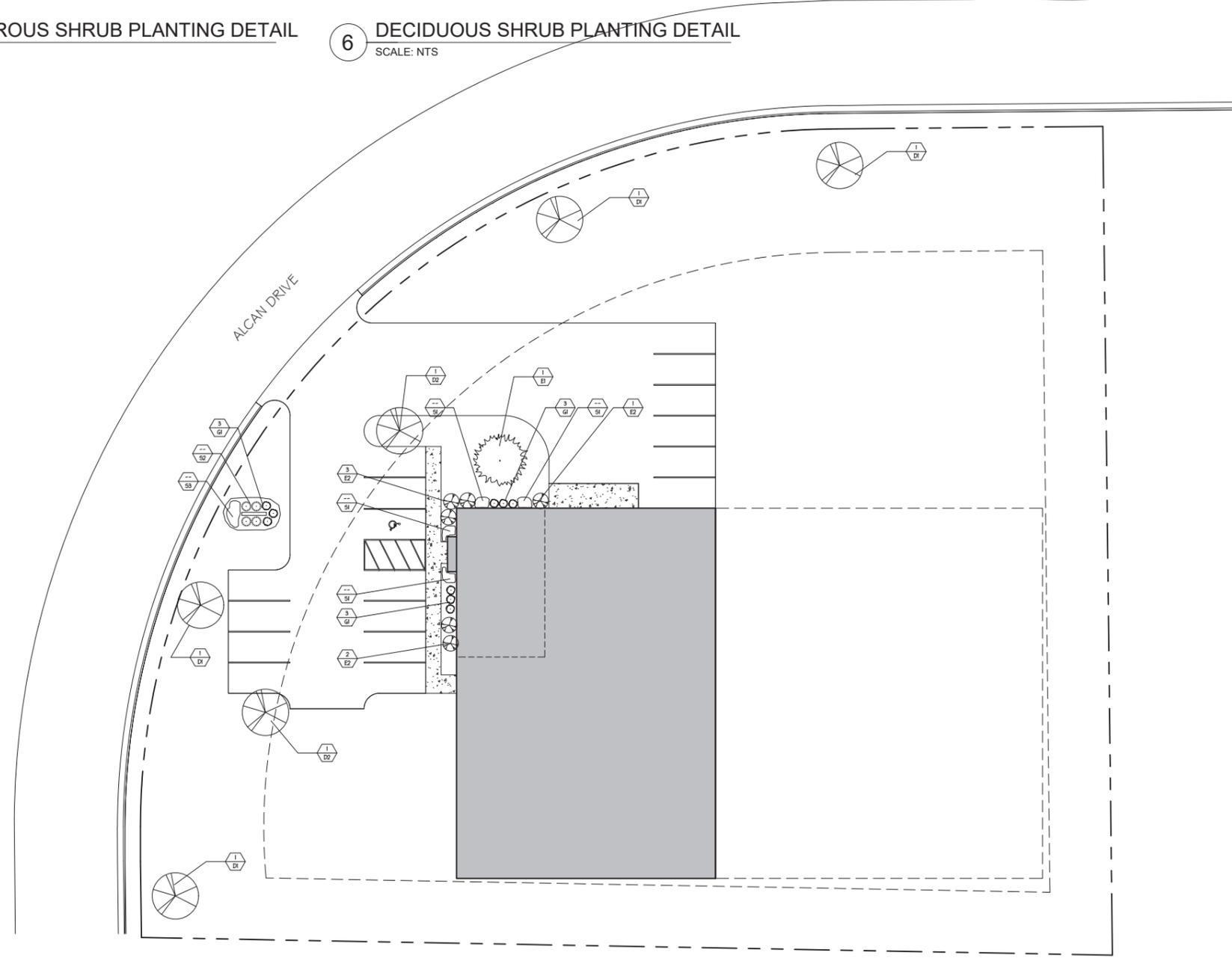
NEW PLANTS ARE TO BE OF REASONABLE GROWTH
TREES TO HAVE 2-1/2" (MIN.) CALIPER



3 CONIFEROUS TREE PLANTING DETAIL
SCALE: NTS



2 PERENNIAL BED PLANTING DETAIL
SCALE: NTS



1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

DESIGN
2
CONSTRUCT
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:
SNOW STUDS
*
ALCAN DRIVE
JACKSON, WI 53037

SHEET TITLE
LANDSCAPE PLAN

REVISIONS

PROJECT DATA

DATE: 04.30.2020

JOB NO.: 20-00116

SET USE: PLAN COMMISSION

FILE NAME: C2-A1.1

DRAWN BY: MH

SHEET NO.:

A1.1

CONSTRUCTION NOTES:

CONSTRUCTION NOTE LEGEND

01 CONSTRUCTION NOTE 01

GENERAL:

ALL GYPSUM WALLBOARD IS TO BE 5/8" THICK (UNLESS NOTED OTHERWISE), IN LONGEST LENGTHS AVAILABLE. SCREW ATTACHED TO STUDS OR FURRING. ALL METAL STUDS AND FURRING ARE TO BE 25 GAUGE (MIN.), AND SPACED 24" O.C. (MAX.). PROVIDE METAL CORNER BEADS AND USG NO. 200B METAL TRIMS AT ALL EXPOSED WALLBOARD EDGES. TAPE AND FINISH ALL JOINTS, EVEN IF NOT EXPOSED TO VIEW. PROVIDE MOISTURE-RESISTANT GYPSUM WALLBOARD AT ALL WET AREAS (LUNCH ROOM, TOILET ROOMS, ETC.), AND IN STORAGE ROOM B19.

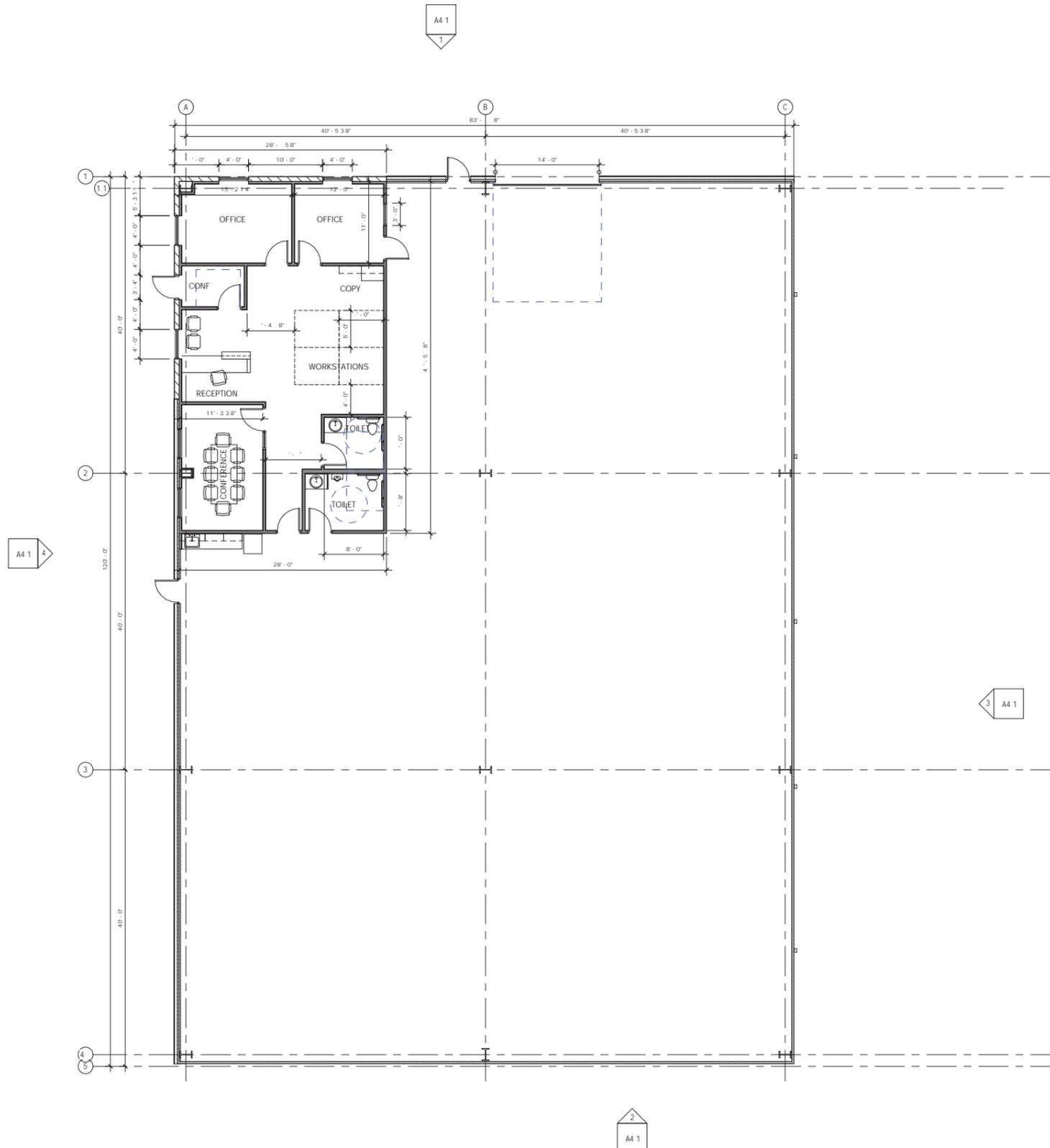
ALL SINGLE-FACED PARTITIONS ARE TO EXTEND TO 4" (MIN.) ABOVE THE ADJACENT CEILING LINE. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE, OR TIE BACK TO MASONRY WALLS.

ALL COMPONENTS OF DOUBLE-FACED PARTITIONS ARE TO EXTEND TO PRECAST CONCRETE PLANK ABOVE CEILING, UNLESS NOTED OTHERWISE. ALL PENETRATIONS IN SUCH PARTITIONS SHALL BE INSULATED OR CAULKED SO AS TO MINIMIZE SOUND TRANSMISSION.

ALL PARTIAL HEIGHT PARTITIONS ARE TO EXTEND TO HEIGHT (INDICATED IN INCHES) ADJACENT TO CONSTRUCTION NOTE. HEIGHT INDICATED IS TO TOP OF WOOD CAP (AT BASEMENT) OR TOP OF GWB (AT FIRST FLOOR).

ALL DOUBLE-FACED PARTITIONS (FULL OR PARTIAL HEIGHT) ARE TO BE INSULATED WITH FULL THICKNESS SOUND INSULATION BATTIS. SOUND INSULATION IS TO EXTEND TO FULL HEIGHT OF WALL.

ALL DOUBLE STUD PARTITIONS ARE TO HAVE 5/8" GYPSUM WALLBOARD GUSSETS (8" WIDE) SCREW ATTACHED TO ROWS OF STUDS AT 4'-0" O.C. (MAX. VERTICALLY) FOR PARTITION STABILITY.



1 1ST FLOOR PLAN - OVERALL
SCALE: 1/8" = 1'-0"



N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037
PHONE 262.677.9933
FAX 262.677.9934
info@design2construct.com

BUILDING DESIGN FOR:
SNOW STUDS
ALCAN DRIVE
JACKSON, WI 53037

SHEET TITLE
FIRST FLOOR PLAN - OVERALL

REVISIONS

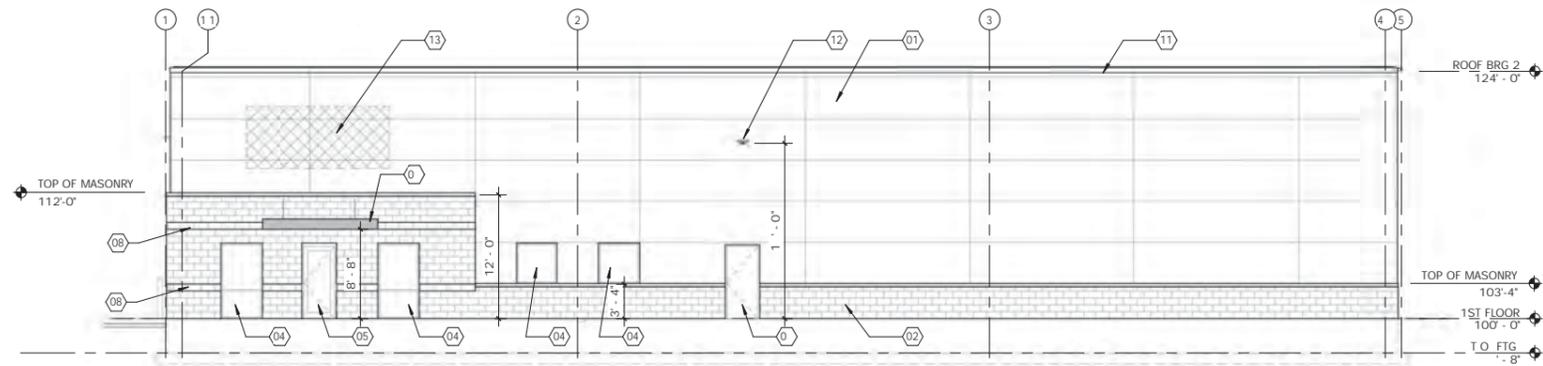
PROJECT DATA	
DATE	04.30.2020
JOB NO.	20-00116
SET USE	PRELIMINARY
DRAWN BY	SPS
SHEET NO.	

A2.1

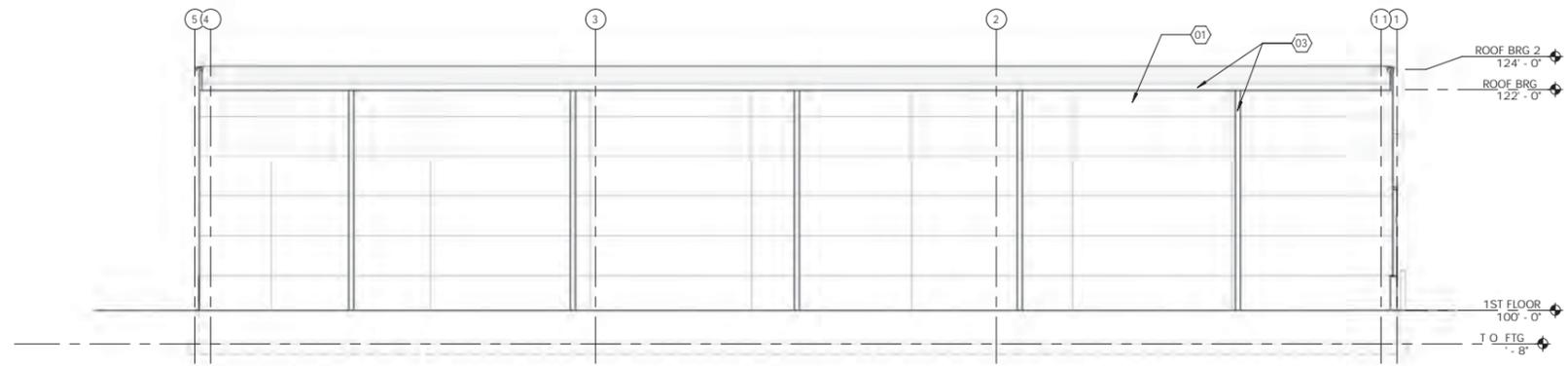
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ELEVATION NOTE LEGEND

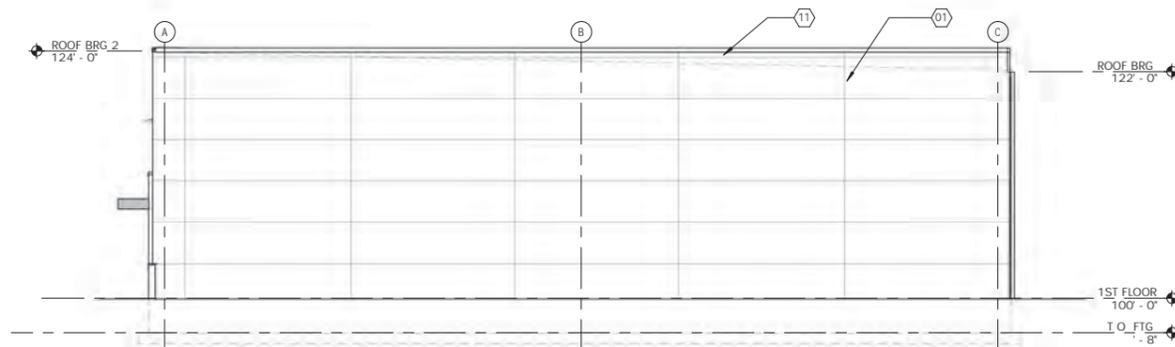
- 01 PREFINISHED INSULATED METAL PANEL
- 02 PAINTED CONCRETE BLOCK
- 03 PREFINISHED METAL GUTTER AND DOWNSPOUT
- 04 PREFINISHED ALUMINUM WINDOW - DOUBLE THERMAL BREAK
- 05 PREFINISHED ALUMINUM ENTRY DOOR - WITH INSULATED GLASS
- 06 METAL CANOPY, WITH TWO (2) RECESSED CAN DOWNLIGHTS
- 07 INSULATED HOLLOW METAL DOOR, PAINTED
- 08 1/2" REVEAL WITH ACCENT PAINT COLOR
- 09 INSULATED OVERHEAD DOOR WITH INSULATED VISION GLASS
- 10 CONCRETE FILLED STEEL BOLLARD WITH POLYCARBANATE COVER
- 11 PREFINISHED METAL TRIM
- 12 FULL CUT OFF LED WALL PACK LIGHT FIXTURE
- 13 BUILDING SIGNAGE - BY OWNER, PROVIDE POWER



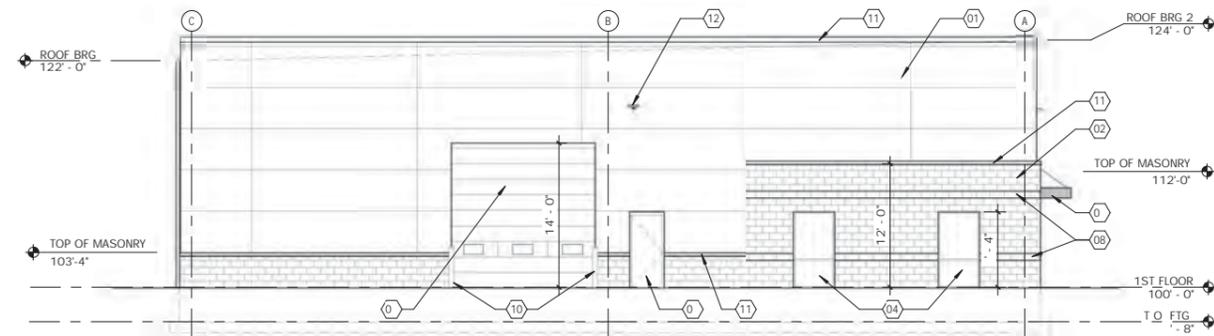
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SHEET TITLE

EXTERIOR ELEVATIONS

REVISIONS

PROJECT DATA

DATE	04.30.2020
JOB NO.	20-00116
SET USE	PRELIMINARY
DRAWN BY	SPS
SHEET NO.	

A4.1





PROJECT SITE

1.58AC

ALCAN CT

ALCAN DR

ALCAN DR

LOT 1
048900K
1.65AC

LOT 1
048900Q001
4.02AC

LOT 3
048900R
1.57AC

LOT 2
048900Q002
1.22AC

LOT 4
048900S
5.31AC

STAFF REVIEW COMMENTS
Plan Commission Meeting – May 28, 2020

1. Planned Unit Development Amendment – JYM Investments LLC / Joseph Merkel – Storage Units and Maintenance Building – Stonebrook Drive

Building Inspection

- WI-DNR Wetland fill permit was issued April 24, 2020.
- There are no impacts to the regulated floodplain.
- Water and sewer impact fees are applicable to the office/garage building.
- Separation distance between all buildings is sufficient.
- A minimum of one accessible storage unit is required.
- Office and accessible storage unit shall have at least one designated ADA accessible parking space.
- Recommend prohibiting exterior storage and/or parking of vehicles, recreational vehicles, trailers, etc.
- Recommend limiting use of storage facilities by tenants of Sherman Heights Apartments only.
- Recommend use of garage/office building by JJ Merkel Contractors, Inc. and/or Sherman Heights only.
- Any proposed signage may require separate permitting.

Public Works/Engineering

- **How will the “Use of storage facilities by tenants of Sherman Heights apartments only” be enforced?** Recommend a deed restriction to be recorded with the property.

Police Department

- Agree with the recommendations from Building Inspection (use by tenants only, no exterior storage, etc.)
- Recommend sufficient lighting on buildings.

Fire Department

- Distance between building and access looks great.
- Extinguisher within 75 feet of each other.

Administrative/Planning

- No additional comments.

STAFF REVIEW COMMENTS
Plan Commission Meeting – May 28, 2020

2. Planned Unit Development Amendment – Kettle Marine / Brett Cottrell – Marine Dealership – W220N6712 County Road P

Building Inspection

- Use approval and proposed signage approval are both part of this consideration.
- Use includes interior showroom and office/sales space, rear repair area, and warehouse and exterior storage.
- A Temporary Occupancy has been granted effective 2/28/20. Original expiration date was 4/12/20. (Note: This was extended due to the COVID-19 pandemic and delays in State plan submittal/review.)
- Tenant is also utilizing an adjacent fenced area to store boat trailers and similar equipment. Recommend limiting exterior storage to that associated with Kettle Marine only. This would eliminate the potential use of the area for secured storage potentially available to the public.
- Showroom & Office areas are not in compliance with code requirements relating to fire area. Owner must submit state approved plans indicating how they will comply with the code requirements concerning fire area limitations or provide an acceptable alternative solution.
- Tenant is also using the rear warehouse area. This area was NOT included in the original scope or occupancy application submitted to the Village. Significant work has been done in this area including the installation of unit heaters, installation of a crane unit without engineering, and the installation of spray foam insulation also not included in the original scope of work. The insulation remains exposed and is a significant fire hazard. Permits for this work have not been obtained to date.
- Proposed exterior wall signage is limited to a maximum area of 300 sq. ft. by per Ordinance Section 48-301(2). The proposed signage has a total area of 233 sq. ft. and is compliant with Village Ordinance. However, the current proposal does not include potential future use of the existing pole/ground sign. This would require a separate submittal and approval.
- UPDATE: The State plan review has been placed on **HOLD** effective 5/7/20 and has requested information re-submittal regarding 13 separate plan deficiencies.

Public Works/Engineering

- Recommend the property owner request sewer and water from the Village, so plans can be started on how to serve the area.

Police Department

- No comments.

STAFF REVIEW COMMENTS
Plan Commission Meeting – May 28, 2020

Fire Department

- Being there has not been approved plans for the remodel, I am asking for denial of the application. The plans are not meeting sprinkler or fire wall requirements.
- If they are going to have a repair shop, it will need to be under 5,000 S.F. which is not included in the drawings. Over 5000 S.F. will require sprinklers.
- Fire extinguisher needed every 75ft.

Administrative/Planning

- No additional comments.

3. Planned Unit Development – Liberty Self-Storage – Self-Storage Facility – Lot 2, Alcan Court

Building Inspection

- Updated Civil plans show installation of a single fire hydrant with access to a private hydrant adjacent to the SW corner of the parcel.
- ADA parking appears to be compliant with code requirements. General parking appears to be adequate for assumed use.
- Buildings are limited to a maximum area of 12,000 sq. ft. each.

Public Works/Engineering

- Storm water will be discharged to the region pond in the industrial park, although, the proposal should address the increase of impervious area on the site, and how the surface water will discharge into the storm sewer system to meet Article III. Post-Construction Stormwater Management in the Village Code. The Village has allowed asphalt in the setback areas, although, the design did not infringe in proper storm water management. Some of the impervious areas may have to be reduced in order to meet the storm water management ordinance.
- A stormwater management plan per Village Code Section 35-64 shall be submitted for review.

Police Department

- No comments.

Fire Department

- Will require approved Fire Hydrant locations. We have met and have agreed on location. New drawing will be needed to show where they are located.

STAFF REVIEW COMMENTS
Plan Commission Meeting – May 28, 2020

- 25 ft required at each end of the buildings for turning radius of fire apparatus.
- Plans should be put in place for snow removal. Hydrants must be kept clear at all times.

Administrative/Planning

- No additional comments.

4. Planned Unit Development – Design 2 Construct / James Blise – Spec Office / Industrial Building – Southeast Corner of Delaney Court & Northwest Passage

Building Inspection

- Proposal includes construction of a 36,500 sq. ft. spec-office/industrial building for up to four tenants on a 3.4-acre site zoned PUD (Industrial) and located in the Business Park. The current renderings indicate just three tenant spaces.
- The parcel abuts Custom Logistics, a shipping, receiving warehousing, assembly and distribution facility and Lumber Sales to the north. Reinke & Schomann, a custom metals manufacturer abuts the property to the east.
- All future tenants may be required to submit PUD Amendment applications for review and approval by the Village. Generally, the proposed use is consistent with surrounding uses.
- Recommend a personnel access door be included in the refuse enclosure.
- Architecturally, the building is consistent with the surrounding structures.
- Site landscaping is typical.

Public Works/Engineering

- Storm water will be discharged to the region pond in the industrial park, although, the proposal should address the increase of impervious area on the site, and how the surface water will discharge into the storm sewer system to meet Article III. Post-Construction Stormwater Management in the Village Code. A stormwater management plan per Village Code Section 35-64 shall be submitted for review.
- A sampling manhole on the sanitary sewer lateral will be required. The location of the manhole shall be in the street right of way near the property line. Maintenance of the manhole is the responsibility of the property owner.

Police Department

- No comments.

Fire Department

- State approved fire suppression and fire alarm plans required
- Fire suppression and fire alarm systems required.
- Knox box required with approved location by fire department.

STAFF REVIEW COMMENTS
Plan Commission Meeting – May 28, 2020

- Hydrant location is good.

Administrative/Planning

- No additional comments

5. Planned Unit Development – Snow Studs – Office / Industrial Building – Southwest Corner of Alcan Drive & Alcan Court

Building Inspection

- Proposal includes construction of a 10,000 sq. ft. industrial building on a vacant 1.55-acre site. The proposed tenant single tenant currently operates in another leased space within the Village. There is potential for a future building expansion of an additional 12,800 sq. ft. for a total building area of 22,800 sq. ft.
- The parcel abuts ABC Supply, a building materials supplier to the east and Preferred Hardwoods, a custom moulding and lumber supplier, operates to the south. The proposed use is consistent with surrounding uses.
- Architecturally, the building is consistent with the surrounding structures.
- There is no reference to an outside refuse storage area or enclosure. Developer should address this need and include a door for personnel access to the enclosure area.
- Site landscaping is typical.

Public Works/Engineering

- Storm water will be discharged to the region pond in the industrial park, although, the proposal should address the increase of impervious area on the site, and how the surface water will discharge into the storm sewer system to meet Article III. Post-Construction Stormwater Management in the Village Code. A stormwater management plan per Village Code Section 35-64 shall be submitted for review.
- A sampling manhole on the sanitary sewer lateral will be required. The location of the manhole shall be in the street right of way near the property line. Maintenance of the manhole is the responsibility of the property owner.
- There was not a utility plan in the plan set for review. Please submit a utility plan including the water, sanitary, and storm sewer layouts and connections.

Police Department

- No comments.

STAFF REVIEW COMMENTS
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Fire Department

- Fire alarm system preferred due to no sprinkler system.
 - *Building Insp. Note: IBC 907.2.4 does not require the installation of a fire alarm system where Group F-Factory buildings are less than two stories in height or where occupant load exceeds 500. It should be noted that commercial building codes are uniform in WI and while the desire for a F/A system is understandable, it cannot be mandated at this time.*
- Although building is under 12,000 ft, plans show an expansion of 12,000 feet to existing 10,000 sq. ft building. This would require sprinkler system or complete fire wall with automatic drop-down door and fire doors.
 - *Building Insp. Note: IBC 903.2.4 requires installation of a fire suppression system where the fire area exceeds 12,000 sq. ft. While the initial building size would not mandate installation, accommodations should be made during the initial construction phase to accommodate any future fire sprinkler requirement.*
- Knox box required with approved location by fire department.

Administrative/Planning

- No additional comments