

AGENDA

Board of Public Works Meeting
Tuesday, August 28, 2018 – 7:00 p.m.
Jackson Village Hall
N168W20733 Main Street
Jackson WI 53037

1. Call to Order and Roll Call.
2. Approval of Minutes for July 31, 2018 meeting.
3. Review of Water Application – 3040 Maple Road
4. Review of Proposed Sewer and Water System – Maplewood Farms
5. Review of ANR Pipeline Easement – Hickory Lane
6. Pay Request #2 – Ridgeway Drive Reconstruction Project
7. Discussion on New Salt Building and Yard Waste Drop-off Site
8. Director of Public Works Report.
9. Citizens/Village Staff to address the Board.
10. Adjourn.

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

DRAFT Minutes
Board of Public Works Meeting
Tuesday, July 31, 2018 –7:00 p.m.
Jackson Village Hall
N168W20733 Main Street

1. Call to Order and Roll Call.

Chair Olson called the meeting to order at 7:00 p.m.

Members present: Linda Granec, Brian Heckendorf, Gloria Teifke, Scott Thielmann, Chair Olson, Tr. Malcolm and Tr. Lippold.

Staff present: Brian Kober, John Walther and Jilline Dobratz.

2. Approval of Minutes for June 26, 2018, meeting.

Motion by Tr. Malcolm, second by Brian Heckendorf to approve the minutes of the June 26, 2018 Board of Public Works meeting.

Vote: 7 ayes, 0 nays. Motion carried.

3. Jackson Water Utility Rate Study Presentation – City Water LLC.

Brian Kober introduced Jasmine Carter and Mike Rau from City Water LLC. Jasmine gave a short presentation, summary and recommendation. She went over 10 years of PSC reports and compiled information to get to the historical rate of return, current and future. City Water is recommending a simplified rate increase of 3% over 4 years to reach the 5% rate of return, starting October 15, 2018 and each year after another 3% increase. Some benefits are; less customer impact, increased revenue over time and allows for creation of sinking funds to offset major expenses to start saving and planning ahead. Brian Kober said it is on the conservative basis but should be able to get there in four years, possibly three. Recommends looking at it every year to see what the rate of return is and adjust accordingly. Tr. Lippold inquired if this will be presented to the Village Board. Brian Kober said a report will be in the packet with all the findings and spreadsheets. In 2010, the rate increase was 23%. Further discussion on increases continued. Currently there is a 2% rate of return. The PSC requires every year to generate 5% more than what expenses are to have money set aside to do other projects. A simplified rate increase needs to be posted and published; Class 1 notice, no Public Hearing is required.

Motion by Chair Olson, second by Tr. Lippold to recommend the Village Board adopt the four-year recommended plan by City Water LLC.

Vote: 7 ayes, 0 nays. Motion carried.

4. Review of Change Order #1 – Ridgeway Drive Reconstruction Project.

Brian Kober reported during the preconstruction meeting in reviewing the plans, the sanitary sewer needed to be extended 60 feet if two laterals in the project limits were going to be replaced. It was missed in the original design.

Motion by Chair Olson, second by Linda Granec to recommend to Budget & Finance and Village Board approval of Change Order #1 – Ridgeway Drive Reconstruction Project in an amount not to exceed \$23,058.

Vote: 7 ayes, 0 nays. Motion carried.

5. Review of Pay Request #1 - Ridgeway Drive Reconstruction Project.

Brian Kober reviewed the pay request #1 for the Ridgeway Drive Reconstruction Project. All utility has been installed. Last Friday the Water Utility and the contractor started at Midnight to take down the water main and complete the final connection. It was up and operating by 3:00 a.m. Tomorrow the curb and sidewalk will start being ripped up. The gas company is replacing all the services on the main. Sidewalk will be in conflict with them. They will be done in 2 to 3 weeks.

Motion by Brian Heckendorf, second by Linda Granec to recommend to Budget & Finance and Village Board approval of Pay Request #1 from Vinton Construction Company for Ridgeway Drive Reconstruction Project in the amount not to exceed \$405,623.77.

Vote: 7 ayes, 0 nays. Motion carried.

6. Review of Proposal from Payne & Dolan Cedar Creek Road Project.

Brian Kober reviewed the proposal in the packet. The Town of Jackson is reconstructing Cedar Creek Road from County Trunk Highway P to the railroad tracks. The Village still wanted to put the 5' paved shoulder on the South side of the road. John Walther stated the Town is putting in a 23' road, pulverizing, and ditching from the railroad tracks to County Trunk Highway P.

Motion by Brian Heckendorf, second by Tr. Malcolm to recommend to Budget & Finance and Village Board approval of the proposal from Payne & Dolan Cedar Creek Road Project in an amount not to exceed \$61,379.00.

Vote: 7 ayes, 0 nays. Motion carried.

7. Future Staffing for Public Works – Discussion only.

Brian Kober explained Chair Olson wanted to start talking about staffing. They are getting a lot of phone calls and complaints saying that the staff is not working to its full potential. Currently have 12½ staff and surgeries have multiple people out. In a few years, half of the staff is planning to retire. Looking at Streets and Parks as two separate departments. The parks are growing and three subdivisions will be added in the next year. With a mature staff, vacation time sometime leaves one person in the Street Department during a work day. In the new building, there isn't a receptionist and a lot of times the building is empty with people working in the field. When the Utilities start taking payments a full-time Utility Clerk will be needed. Brian Kober stated they look at major tasks that they have and right now it is mowing. Use to hire two summer help employees, usually college students. They are hard to find and would like to weigh the cost of that to a full-time person. Chair Olson discussed the new building, mowing the parks, full-time staff, retirements, hiring out tree removal and what is the best use of resources and what is the best way to move forward. Discussion continued on removal of ash trees and grinding out stumps. It's approximately \$2,000 to take down one big ash tree, it's

in the budget. The plan is not to take them all down just trying to catch up. Once the emerald ash borer hits, within four years the tree disintegrates and dies. This fall the Public Works staff will be removing the old Hickory Park Playground equipment for new equipment. Water Utility, all the radio reads are in and has freed up time. One of the biggest things that is dealt with is bag pick up. The plan is to propose a drop-off site with card system in the budget. Having a bag yard waste and brush drop off would save work hours for street pick-up. Sink holes are increasing, the one at Village Hall will be fixed before the Election on August 14th. Scott Thielmann asked if overtime is in the budget for some of the priority things that need to be done. Brian Kober stated overtime is saved for plowing operation. Discussion continued on mowing, park rentals and equipment storage.

8. Director of Public Works report.

Brian Kober gave the report. Gloria Teifke asked if Laurel Springs has wild land that's not going to be turned into housing units. Brian Kober stated it is going to be ponds, they are building 3 to 4 ponds.

Motion by Linda Granec, second by Brian Heckendorf to place the Director of Public Works report on file.

Vote: 7 ayes, 0 nays. Motion carried.

9. Citizens/Village Staff to Address the Board.

Scott Thielmann inquired on the policy of gravel driveways in the Village. Brian Kober stated the approach needs to be concrete and gravel driveways are allowed per Village code.

10. Adjourn.

Motion by Scott Thielmann, second by Tr. Lippold to adjourn.

Vote: 7 ayes, 0 nays. Meeting was adjourned 7:56 at p.m.

Respectfully submitted,

Jilline Dobratz, *CMC/WCMC*
Village Clerk/Treasurer

Memo

To: Board of Public Works

From: Brian W. Kober, P. E., Director of Public Works

Subject: Town of Jackson Water Expansion Area – Water Service Request

Date: August 24, 2018

CC: Village Board

The Jackson Water Utility has received an application for a water service request located in the Town of Jackson Water Expansion Area. The water service request is for a new single family residence located on Maple Road.

After reviewing the design and the water demand of the request, the calculation of pressure available for uniform loss is 36.2 psi which meets the standard set by the PSC (Public Service Commission) and the DNR (Department of Natural Resources). The current water system in the area would not have to change in order to allow the connection.

The property would be required to pay the current connection fees along with a Village of Jackson Plumbing permit.

If you have any questions please let me know.

Brian W. Kober, P.E.

Jackson Water Utility
Application for Connection to Water System

Name of Property Owner: Josh and Allie Schulta
Phone Number: (262) 305-8843
Email: Aussprua@gmail.com

Description of Property: 7.4 acres of ag land
Address of Property: 3040 Maple Rd., Jackson, WI 53037
Tax Key Number: T7 073700D

Size of Property: 7.4 acres
Description of Use on Property: Currently ag. Proposed use to be residential

Water Usage (gallons per day): 34.5
Size of Water Service (Diameter in inches; Length in feet): 2" - 800 feet
Size of Valves on Lateral (inches): 2" / 3/4" water meter
Type of material of Lateral: 2" Polyethylene (Pex) Tubing ~~ASTM B756~~

**See Water Distribution Data Sheet Attached*

Submit Location Map (showing lateral, water main, road right of way, valve, and connection to use): CTS ASTM 2737 AWWA C901

Describe method for installation of lateral: _____

Time/Schedule of Installation: 2-5 years from Now (2020-2023)

Name of Contractor for installation: Joe Debelak Plumbing Phone #: _____

- Note: 1) A Village plumbing permit is required for the installation. Please contact the Village of Jackson Building Inspection Department at 262-677-9696.
2) Payment of all impact, connection, permit, and meter fees prior to installation.
3) An inspection is required, please call 262-677-9696 to schedule an appointment.

Signature of Applicant: _____ Date: _____

Jackson Water Utility Approval: _____ Date: _____

WATER DISTRIBUTION DATASHEET

Date: July 27, 2018

Name: Joe Debelak Plumbing

Project: AJ Gall

Street: W143 N938 Henry Stark Rd

Street: 3040 Maple Rd

City: Menomonee Falls, Wi 53051

City: Jackson WI

1. 21.8 Gallon per minute buiding demand, predominatly Flush Tank.
2. 53.0 Low pressure at the Main in the Street.
3. .0 psi loss from a .0 ft difference in elevation from Main in the Street to the Water Meter.
- 4a. 9.7 psi loss from a 800.0 ft 2" PE Tubing CTS ASTM 2737 AWWA C901 water service from the Main in the Street to the Water Meter. Pressure loss detemined using a C value of 150 , inside diameter of 1.624 and a velocity of 3.4 ft per sec.
- 4b. .0 No 2nd part water lateral.
5. 7.1 psi loss from a 3/4in Meter.
6. 36.2 psi of pressure available at the Water Meter. This value is entered in (B) below.

The (A) value listed below is determined by using the following formula, then rounding the result up.

$$A = \frac{B-(C+D+E)}{F} \times 100$$

- A. 2 Pressure available for uniform loss (psi/100 feet of pipe).
- B. 36.2 psi of pressure available at the Water Meter.
- C. 20.0 Pressure needed at the controlling fixture. shower valve 2nd floor
- D. 5.6 psi loss resulting from a 13.0 ft difference in elevation from the Water Meter to the controlling fixture.
- E. 10.0 psi pressure loss due to a ws serving the controlling fixture.
- F. 52.5 Ft Developed length from the 35.0 ft actual length of piping from the Water Meter to the controlling fixture.

Maximun Allowable load for Copper Tube Type M, ASTM B88

| Nominal Size | 1/2 | 5/8 | 3/4 | 1 | 1 1/4 | 1 1/2 | 2 | 2 1/2 | 3 | 4 |
|-------------------------|------|-----|------|-------|-------|-------|-------|-------|-------|-------|
| Actual I. D. | .569 | 0 | .811 | 1.055 | 1.291 | 1.527 | 2.009 | 2.495 | 2.981 | 3.935 |
| Value of C | 150 | 150 | 150 | 150 | 150 | 150 | 150 | 150 | 150 | 150 |
| Velocity in ft per sec. | 8 | 8 | 8 | 8 | 8 | 8 | 8 | 8 | 8 | 8 |
| Maximum Gpm | 1.5 | 0 | 4.5 | 9 | 15.5 | 24 | 50 | 88 | 141 | 294 |
| Maximum FM WSFU | 0 | 0 | 0 | 0 | 5 | 8 | 48 | 184 | 493 | 1750 |
| Maximum FT WSFU | 1.5 | 0 | 5 | 11.5 | 22.5 | 40 | 128 | 315 | 588 | 1750 |

Fixture Listing

Date: July 27, 2018

Name: Joe Debelak Plumbing

Project: AJ Gall

Street: W143 N938 Henry Stark Rd

Street: 3040 Maple Rd

City: Menomonee Falls, Wi 53051

City: Jackson WI

Non Public Use Fixtures

| | | Hot | Cold | Total |
|---|---|------|-------|-------|
| 1 | Automatic Clothes Washer | 1.00 | 1.00 | 1.50 |
| 1 | Dishwashing Machine | 1.00 | .00 | 1.00 |
| 4 | Hose Bib, 1/2" diameter | .00 | 12.00 | 12.00 |
| 1 | Kitchen Sink | 1.00 | 1.00 | 1.50 |
| 1 | Laundry Tray, 1 or 2 compartment | 1.00 | 1.00 | 1.50 |
| 1 | Lavatory | .50 | .50 | 1.00 |
| 4 | Bathtub, lavatory and water closet - FT group | 8.00 | 14.00 | 16.00 |

| | | | |
|----------------------------------|-------|-------|-------|
| Total Water Supply Fixture Units | 12.50 | 29.50 | 34.50 |
|----------------------------------|-------|-------|-------|

21.8 Gallon per minute demand of the building. Predominantly Flush Tank
 1.0 Pressure available for uniform loss. For the table use - 2.0

Maximum Allowable load for Copper Tube Type M, ASTM B88

| Nominal Size | 1/2 | 5/8 | 3/4 | 1 | 1 1/4 | 1 1/2 | 2 | 2 1/2 | 3 | 4 |
|-------------------------|------|-----|------|-------|-------|-------|-------|-------|-------|-------|
| Actual I. D. | .569 | 0 | .811 | 1.055 | 1.291 | 1.527 | 2.009 | 2.495 | 2.981 | 3.935 |
| Value of C | 150 | 150 | 150 | 150 | 150 | 150 | 150 | 150 | 150 | 150 |
| Velocity in ft per sec. | 8 | 8 | 8 | 8 | 8 | 8 | 8 | 8 | 8 | 8 |
| Maximum Gpm | 1.5 | 0 | 4.5 | 9 | 15.5 | 24 | 50 | 88 | 141 | 294 |
| Maximum FM WSFU | 0 | 0 | 0 | 0 | 5 | 8 | 48 | 184 | 493 | 1750 |
| Maximum FT WSFU | 1.5 | 0 | 5 | 11.5 | 22.5 | 40 | 128 | 315 | 588 | 1750 |

GENERAL NOTES

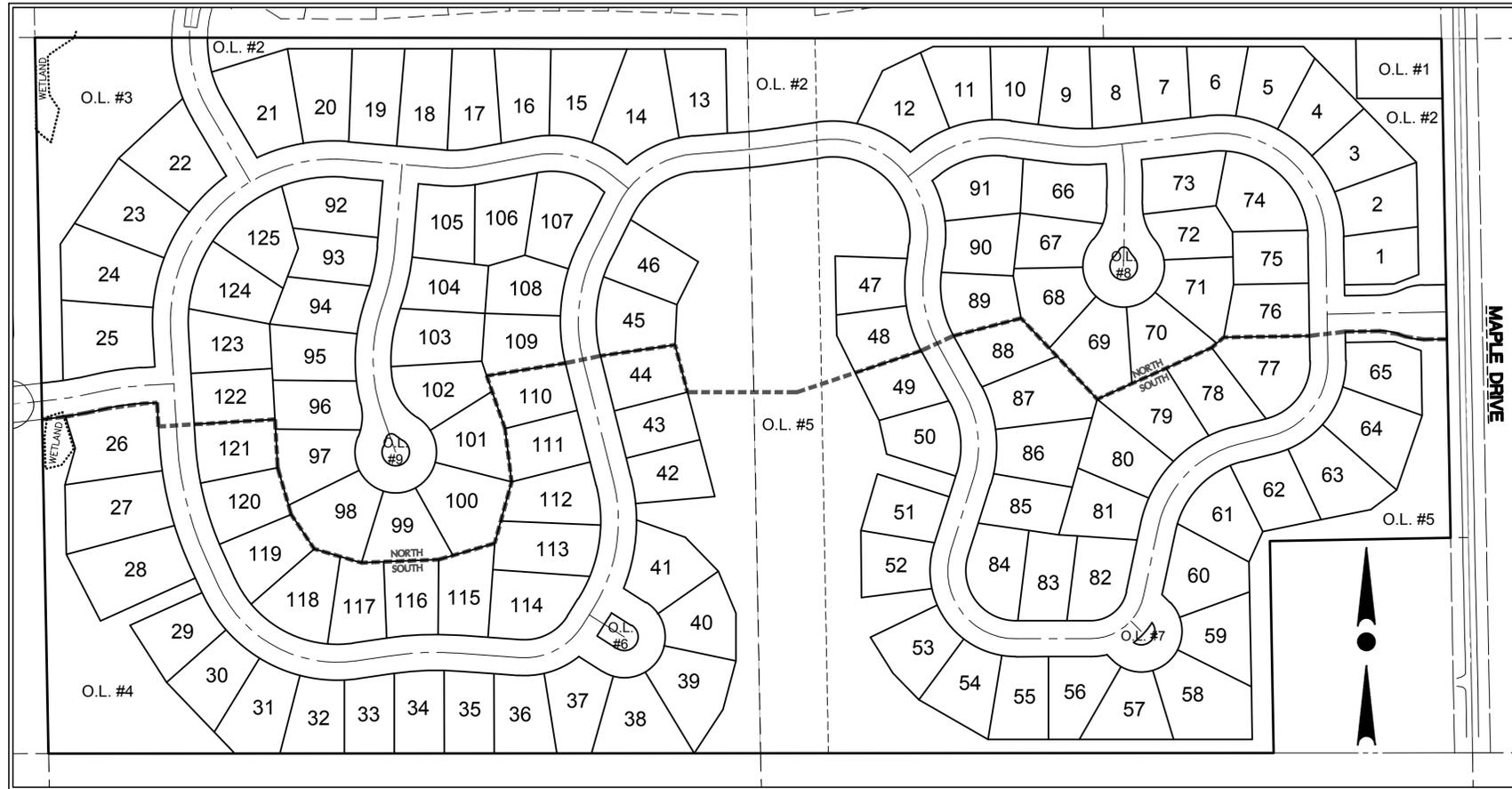
- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 -STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 -THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 -WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 -WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 -VILLAGE OF JACKSON STANDARDS & REQUIREMENTS FOR DEVELOPMENT, LATEST EDITION.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS AS REQUIRED BY MUNICIPAL ORDINANCE.
- NOTIFY ENGINEER IF DRAIN TILE ARE ENCOUNTERED DURING SITE CONSTRUCTION. RECONNECT ANY BROKEN OR DAMAGED DRAIN TILE DURING CONSTRUCTION.

MAPLEWOOD FARMS

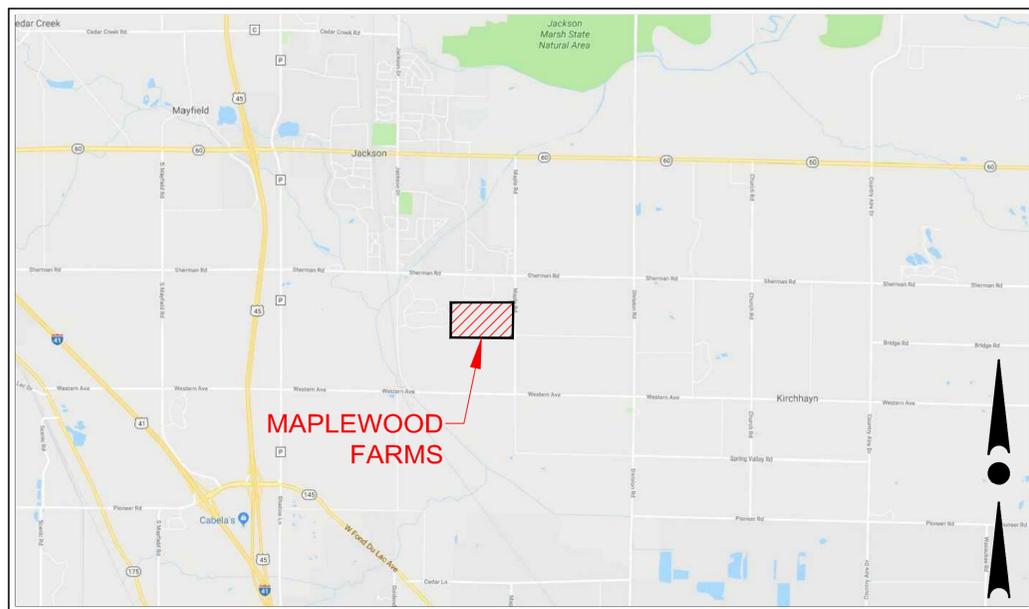
SINGLE FAMILY SUBDIVISION

PRELIMINARY SITE DEVELOPMENT PLANS

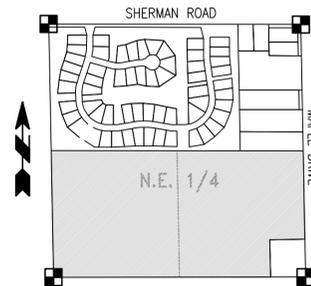
VILLAGE OF JACKSON, WISCONSIN



SITE PLAN
SCALE: 1" = 150'



LOCATION MAP
NOT TO SCALE



LOCALITY MAP:
N.E. 1/4, SEC. 29, T. 10 N., R. 20 E.
SCALE: 1"=2000'

DEVELOPER:
NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072
PHONE: (262) 542-9200
FAX: (262) 349-9324

ENGINEER / SURVEYOR:
TRIO ENGINEERING, LLC
12660 W. NORTH AVENUE, BLDG D
BROOKFIELD, WISCONSIN 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481

SHEET INDEX

| CIVIL | |
|-------------|---|
| T1 | COVER SHEET |
| C0.10 | PROPOSED SITE PLAN |
| C1.00 | OVERALL GRADING PLAN |
| C1.01-C1.04 | MASTER GRADING & DRAINAGE PLANS |
| C2.00 | SANITARY SEWER & WATER MAIN SYSTEM PLAN |
| C2.01-C2.04 | SANITARY & WATER MAIN PLAN AND PROFILES |
| C3.00 | CONSTRUCTION NOTES & DETAILS |



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

TRIO
CIVIL ENGINEERING

12660 W. NORTH AVE.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuudelko@trioeng.com

PROJECT:
MAPLEWOOD FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF JACKSON, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|-------------------|
| 08/03/2018 | PRELIM CIVL PLANS |

DATE:
AUGUST 3, 2018

JOB NUMBER:
16016

DESCRIPTION:
COVER SHEET

SHEET

T1

H:\C900\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD FARMS_COVER & DETAILS.DWG



12660 W. NORTH AVE.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuudelko@trioeng.com

PROJECT:
MAPLEWOOD FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF JACKSON, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

DATE:
AUGUST 3, 2018

JOB NUMBER:
16016

DESCRIPTION:
PROPOSED
SITE PLAN

SHEET

CO.10



UNPLATTED LANDS
CENTER, SEC. 29-10-20
WIS. STATE PLANE COORD. SYSTEM - SOUTH ZONE
CONC. MON. W/ BRASS CAP
N 479,997.75
E 2,491,878.65

UNPLATTED LANDS

S. LINE, N.E. 1/4, SEC. 29-10-20 (N89°57'58"E 2626.71)

UNPLATTED LANDS

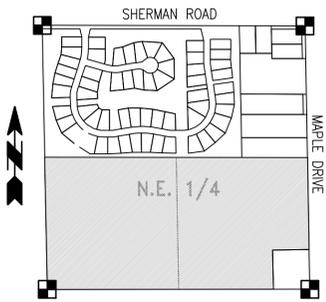
E. 1/4 CORNER, SEC. 29-10-20
WIS. STATE PLANE COORD. SYSTEM - SOUTH ZONE
CONC. MON. W/ BRASS CAP
N 479,999.30
E 2,494,595.07

Development Summary
- Proposed Zoning: R-1 (PUD)
- 66' wide public streets with rural road section (5' wide paved shoulder for pedestrian lane)
- Abundant open space

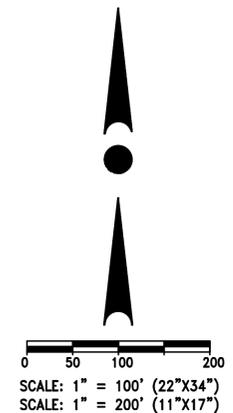
Lot Characteristics:
- Lot Area: 12,500 s.f. (minimum) 15,000 s.f. (Northwest perimeter) 20,000 s.f. (West perimeter)
- Minimum Lot Width = 90' (typical)
- Setbacks:
Front = 30'
Side = 10-15' (25' total)
Rear = 25'

- Total Lots = 125 North = 65 lots Future South = 60 lots
- Total Area = 76 acres (N=38.95 acres)
- Common Open Space = 14.8 acres (19%)
- Density = 1.64 lots/acre
- Minimum Lot Size = 12,500 s.f. min.
- Overall Average Lot Size = 15,779 s.f.
- West Lots = 20,000 s.f. minimum (Lots 38-41 & 106-108: 21,982 s.f. average)
- Northwest Lots = 15,000 s.f. minimum (Lots 29-37: 18,603 s.f. average)
- Total Road Length = 8,510 l.f. (68 lf/lot)
North = 4,700 l.f. (72.3 lf/lot)
South = 3,810 l.f. (63.5 lf/lot)

EASEMENT LEGEND:
(A) - 20' WIDE (UNLESS OTHERWISE NOTED) PUBLIC DRAINAGE EASEMENT
(B) - 10' WIDE PUBLIC PEDESTRIAN EASEMENT



LOCALITY MAP:
N.E. 1/4, SEC. 29, T. 10 N., R. 20 E.
SCALE: 1"=2000'



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION OF THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

H:\C9000\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD FARMS_GRADING_PLANS.DWG



12660 W. NORTH AVE.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuudelko@trioeng.com

PROJECT:
MAPLEWOOD FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF JACKSON, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

DATE:
AUGUST 3, 2018

JOB NUMBER:
16016

DESCRIPTION:
OVERALL
GRADING &
DRAINAGE PLAN

SHEET

C1.00



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

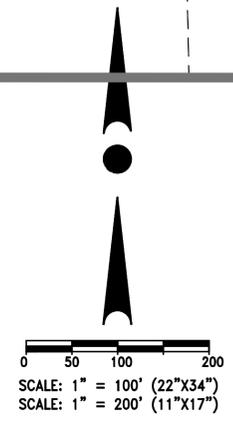
8' BASEMENTS (TYPICAL)
PROPOSED CONCEPTUAL BUILDING PAD

FG 100.0 — FINISHED YARD GRADE
EXP 96.0 — EXPOSURE ELEV.
BSMT 92.0 — BASEMENT ELEV.

TYPICAL HOME ELEVATIONS
NOT TO SCALE

LEGEND:

| | |
|---------|-------------------------|
| --- | EXISTING CONTOUR |
| --- | PROPOSED CONTOUR |
| x 999.9 | PROPOSED SPOT ELEVATION |
| ← | PROPOSED FLOW ARROW |
| --- | PROPOSED YARD GRADE |
| --- | PROPOSED EXPOSURE GRADE |



H:\C9000\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD FARMS_GRADING_PLANS.DWG

LEGEND:

- - 905 - - EXISTING CONTOUR
- - 905 - - PROPOSED CONTOUR
- x 999.9 - - PROPOSED SPOT ELEVATION
- ← - - PROPOSED FLOW ARROW
- FG 900.0 - - PROPOSED YARD GRADE
- EXP 895.0 - - PROPOSED EXPOSURE GRADE

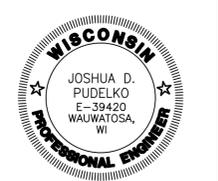
WET POND 2
 BOTTOM=880.20
 N.W.L.=885.20
 TOP OF BERM=890.50
 10' WIDE SPILLWAY=889.30

0 25 50 100
 SCALE: 1" = 50' (22"x34")
 SCALE: 1" = 100' (11"x17")

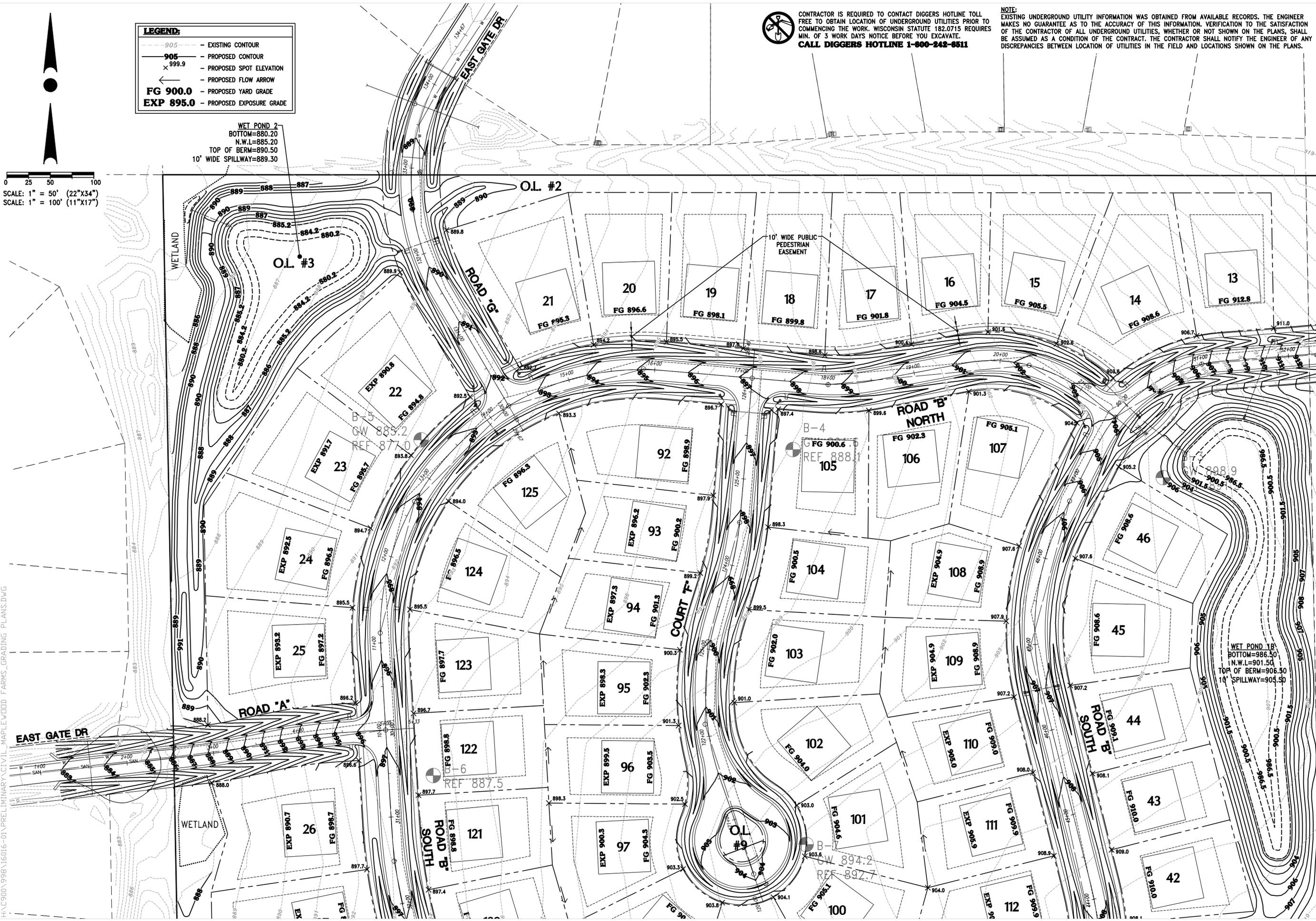


CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



12660 W. NORTH AVE.
 BROOKFIELD, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: jpuudelko@trioeng.com



HX:\C9000\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD_FARMS_GRADING_PLANS.DWG

PROJECT:
MAPLEWOOD FARMS
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
 BY: NEUMANN DEVELOPMENTS, INC.
 N27W24025 PAUL COURT, SUITE 100
 PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

DATE:
 AUGUST 3, 2018

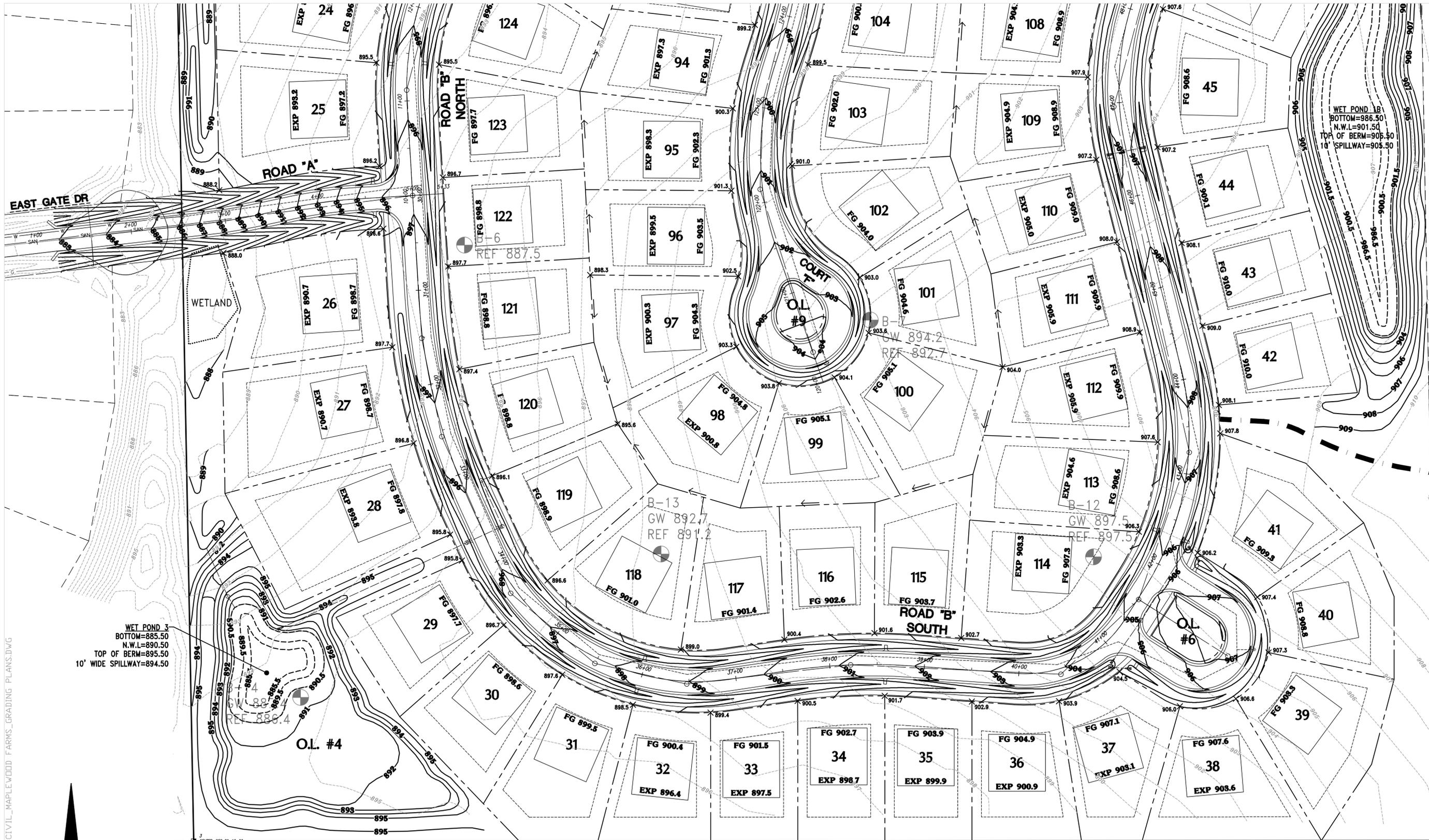
JOB NUMBER:
 16016

DESCRIPTION:
 GRADING &
 DRAINAGE PLAN
 NORTH

SHEET

C1.01

WET POND 1B
 BOTTOM=986.50
 N.W.L.=901.50
 TOP OF BERM=906.30
 10' SPILLWAY=904.50



WET POND 3
 BOTTOM=885.50
 N.W.L.=890.50
 TOP OF BERM=895.50
 10' WIDE SPILLWAY=894.50

WET POND 1B
 BOTTOM=986.50
 N.W.L.=901.50
 TOP OF BERM=905.50
 10' SPILLWAY=905.50

LEGEND:

- 905 - EXISTING CONTOUR
- 905 - PROPOSED CONTOUR
- x 999.9 - PROPOSED SPOT ELEVATION
- PROPOSED FLOW ARROW
- FG 900.0 - PROPOSED YARD GRADE
- EXP 895.0 - PROPOSED EXPOSURE GRADE

0 25 50 100
 SCALE: 1" = 50' (22"x34")
 SCALE: 1" = 100' (11"x17")



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
 EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



TRIO
 CIVIL ENGINEERING
 12660 W. NORTH AVE.
 BROOKFIELD, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: jpuudelko@trioeng.com

PROJECT:
MAPLEWOOD FARMS
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
 BY: NEUMANN DEVELOPMENTS, INC.
 N27W24025 PAUL COURT, SUITE 100
 PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

DATE:
 AUGUST 3, 2018

JOB NUMBER:
 16016

DESCRIPTION:
 GRADING &
 DRAINAGE PLAN
 NORTH

SHEET

C1.02

H:\C9000\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD FARMS_GRADING PLANS.DWG



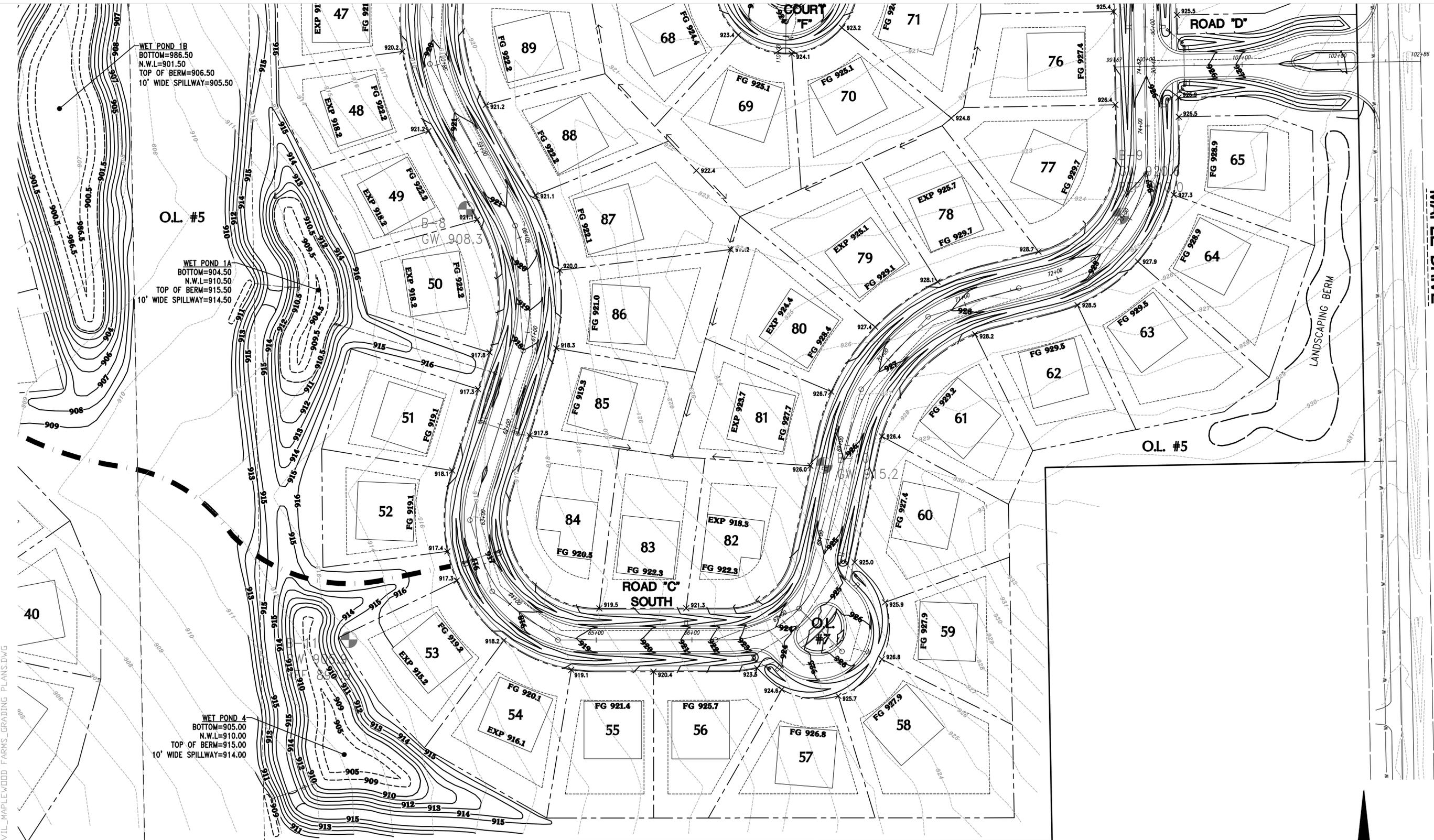
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:

- - - 905 - - - EXISTING CONTOUR
- - - 905 - - - PROPOSED CONTOUR
- x 999.9 - - - PROPOSED SPOT ELEVATION
- ← - - - PROPOSED FLOW ARROW
- FG 900.0 - - - PROPOSED YARD GRADE
- EXP 895.0 - - - PROPOSED EXPOSURE GRADE



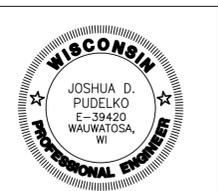


H:\C9000\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD_FARMS_GRADING_PLANS.DWG



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

MAPLE DRIVE



12660 W. NORTH AVE.
 BROOKFIELD, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: jpuudelko@trioeng.com

PROJECT:
MAPLEWOOD FARMS
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
 BY: NEUMANN DEVELOPMENTS, INC.
 N27W24025 PAUL COURT, SUITE 100
 PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

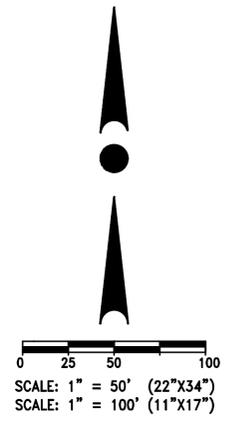
DATE:
 AUGUST 3, 2018

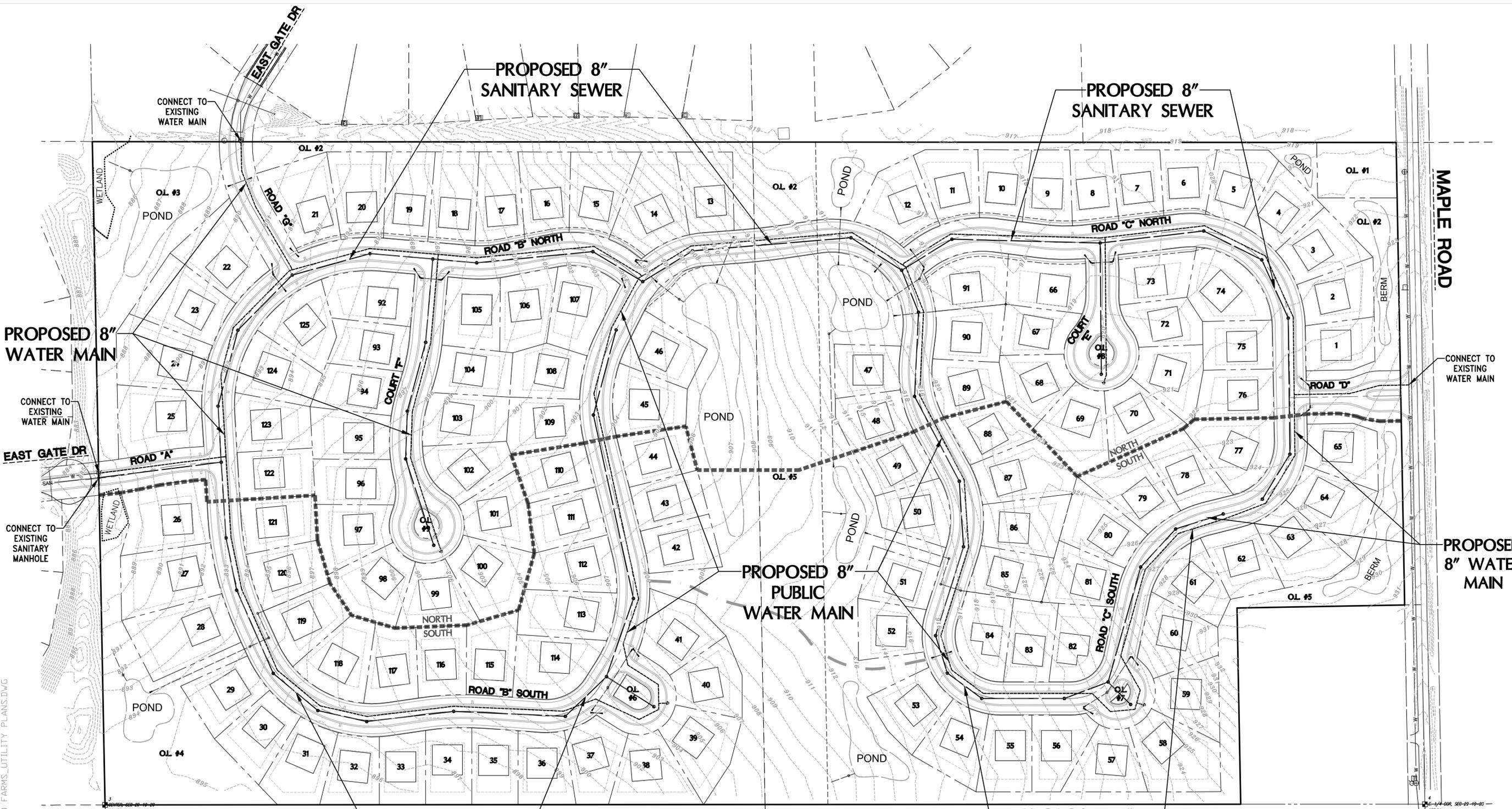
JOB NUMBER:
 16016

DESCRIPTION:
 GRADING &
 DRAINAGE PLAN
 NORTH

SHEET

C1.04





CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
 EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

NOTE:
 ALL MATERIALS SHALL BE APPROVED BY THE VILLAGE OF JACKSON PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.

LATERAL NOTES
 EXISTING LATERALS
 • ALL EXISTING SANITARY SEWER LATERALS TO NOT BE UTILIZED SHALL BE CAPPED AND ABANDONED AS DIRECTED BY THE VILLAGE ENGINEER.
 NEW LATERALS
 • ALL NEW LATERAL CONNECTIONS TO THE EXISTING SANITARY SEWER MAIN SHALL BE FLEXIBLE TAP SADDLES MANUFACTURED BY FERROCO AND ALL WYES SHALL BE BEDDED ON GRANULAR MATERIAL.

MANHOLE AND VALVE NOTE
 • ALL MANHOLES AND VALVES TO BE SET TO BINDER GRADE. MANHOLES TO BE SET TO FINAL GRADE WITH CAST IRON ADJUSTING RINGS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT TIME OF SURFACE COURSE PAVING.

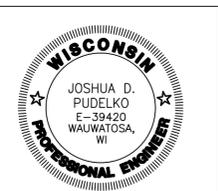
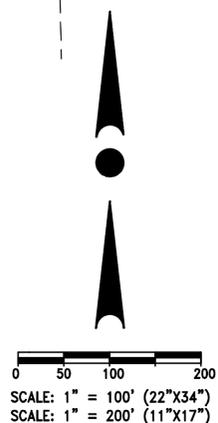
BACKFILL NOTES
 TRENCH BACKFILL
 • SPOIL BACKFILL MAY BE USED FOR UTILITY TRENCHES CONTINGENT ON TESTING AND APPROVAL BY THE VILLAGE OF SUMMIT. ALL SPOIL BACKFILL TO BE USED MUST MEET THE STATE OF WISCONSIN SPECIFICATIONS FOR UTILITY BACKFILL.

SANITARY SEWER NOTES
 SANITARY SEWER
 • ALL 8", 12" AND 15" PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSSWC).
 • ALL SANITARY MANHOLES SHALL BE 48" DIA. WITH A NENAH R-1661 FRAME AND SELF-SEALING LID (NON LOCKING TYPE) WITH NO VENT HOLES AND MEET THE REQUIREMENTS SET FORTH IN SSSWC.
 • SDR-35 PVC PIPE SHALL BE USED FOR SANITARY SEWERS LESS THAN 16 FEET DEEP. C-900 PVC PRESSURE PIPE SHALL BE USED FOR SANITARY SEWERS DEEPER THAN 16 FEET.
 • ALL SANITARY SEWER LATERALS FOR SINGLE FAMILY LOTS SHALL BE 6" DIA. SDR-35 PVC & MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034.
 • SANITARY CASTINGS SHALL BE SEALED WITH AN EXTERNAL BOOT AS SHOWN IN THE DETAILS.

TRACER WIRE NOTE
 • CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER COMB 82.36(1)(V). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

LEGEND:

| | |
|-----|----------------------------|
| 905 | EXISTING CONTOUR |
| SAN | EXISTING SANITARY SEWER |
| W | EXISTING WATER MAIN |
| ST | EXISTING STORM SEWER |
| --- | PROPOSED SANITARY SEWER |
| ○ | PROPOSED SANITARY MANHOLE |
| --- | PROPOSED WATER MAIN |
| ⊕ | PROPOSED HYDRANT |
| ⊙ | PROPOSED WATER VALVE |
| --- | PROPOSED STORM SEWER |
| ○ | PROPOSED STORM MANHOLE |
| □ | PROPOSED STORM INLET |
| △ | PROPOSED STORM END SECTION |



PROJECT:
MAPLEWOOD FARMS
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
 BY: NEUMANN DEVELOPMENTS, INC.
 N27W24025 PAUL COURT, SUITE 100
 PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

DATE:
 AUGUST 3, 2018

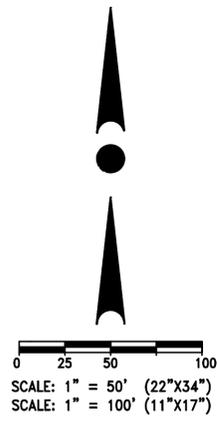
JOB NUMBER:
 16016

DESCRIPTION:
 OVERALL
 UTILITY SYSTEM
 PLAN

SHEET

C2.00

H:\C900\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD FARMS_UTILITY PLANS.DWG



LEGEND:

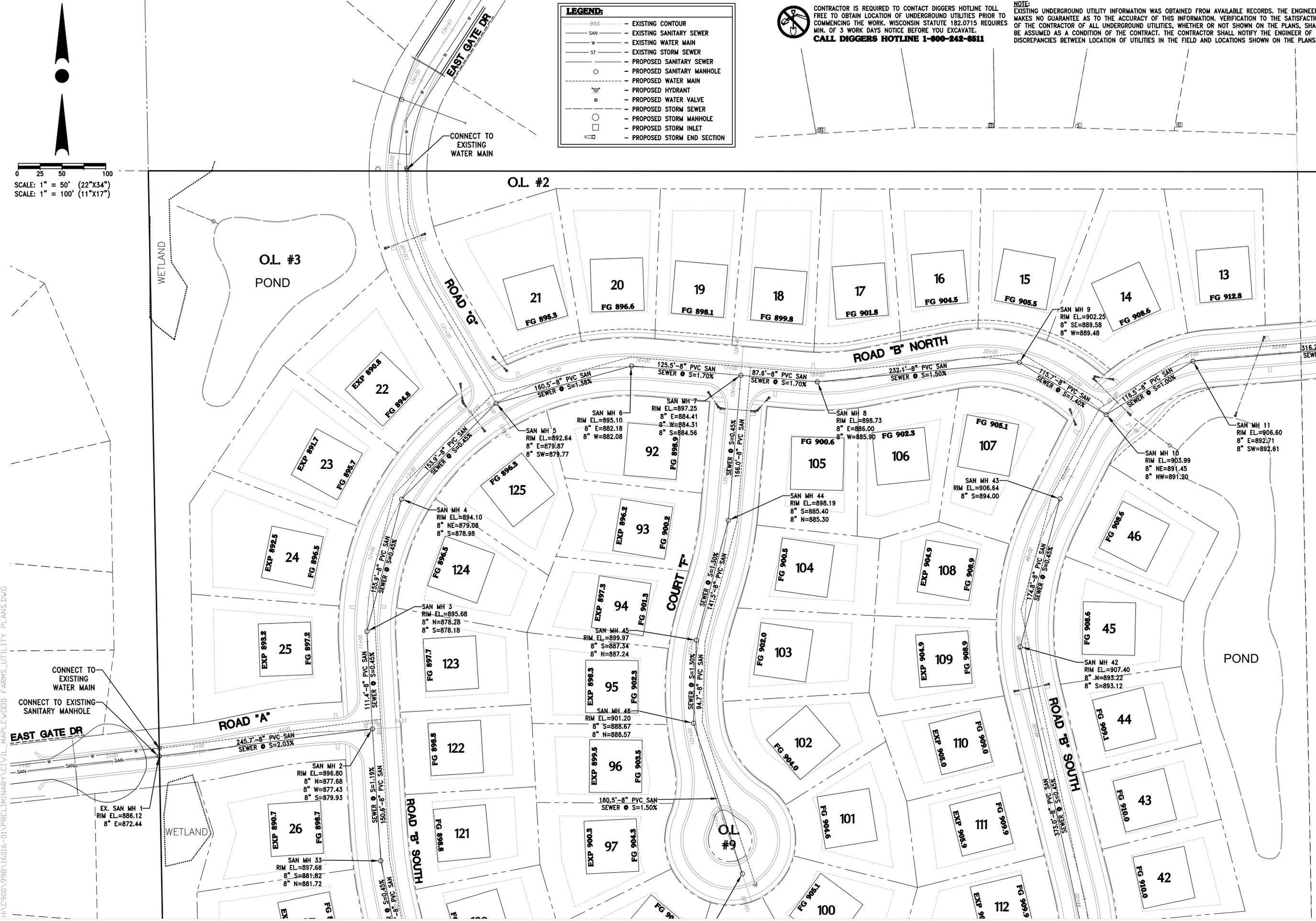
| | |
|-----|----------------------------|
| --- | EXISTING CONTOUR |
| --- | EXISTING SANITARY SEWER |
| --- | EXISTING WATER MAIN |
| --- | EXISTING STORM SEWER |
| --- | PROPOSED SANITARY SEWER |
| ○ | PROPOSED SANITARY MANHOLE |
| --- | PROPOSED WATER MAIN |
| --- | PROPOSED HYDRANT |
| ○ | PROPOSED WATER VALVE |
| --- | PROPOSED STORM SEWER |
| ○ | PROPOSED STORM MANHOLE |
| --- | PROPOSED STORM INLET |
| --- | PROPOSED STORM END SECTION |

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8811

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



12660 W. NORTH AVE.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuudelko@trioeng.com



PROJECT:
MAPLEWOOD FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF JACKSON, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

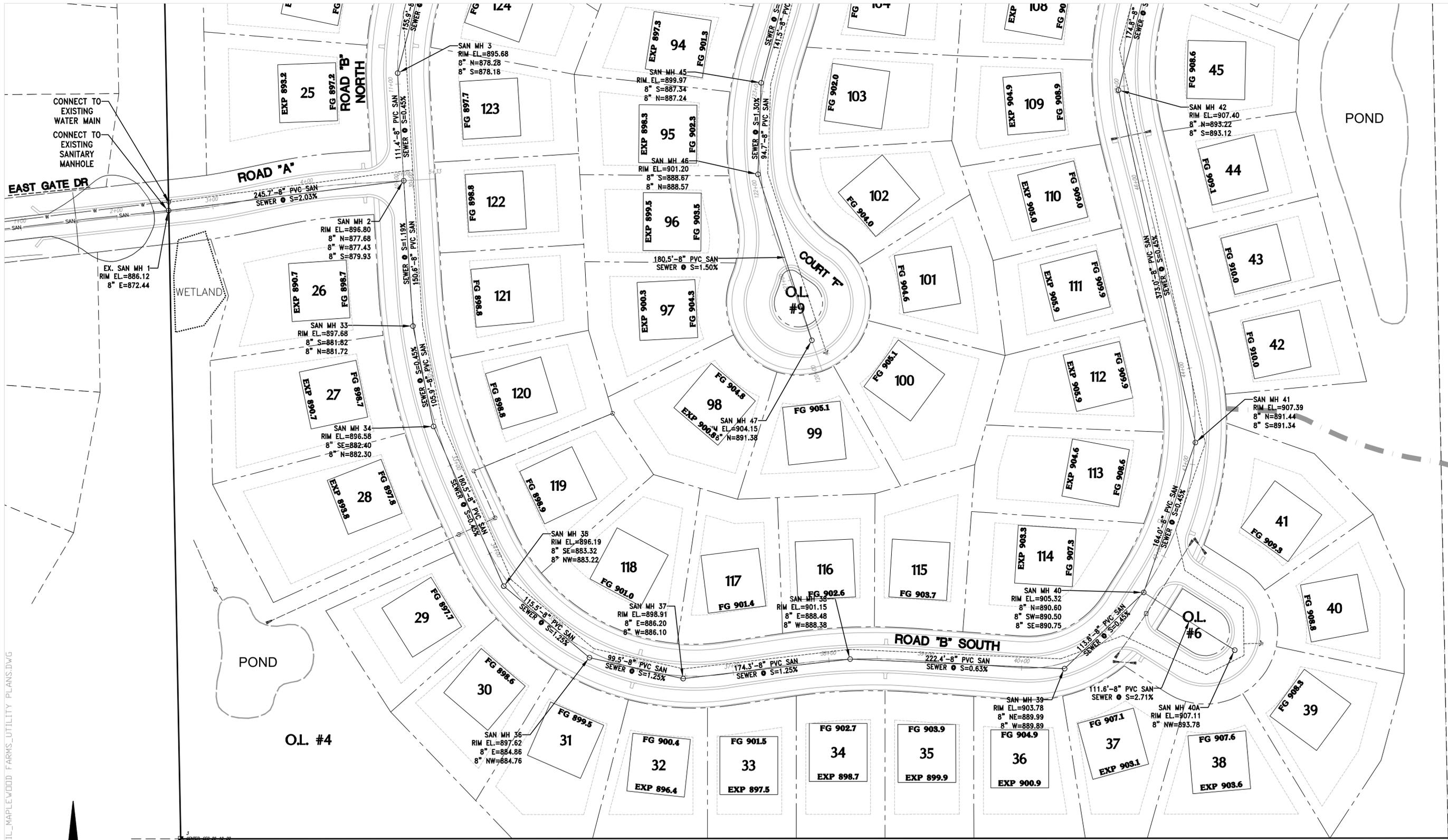
DATE:
AUGUST 3, 2018

JOB NUMBER:
16016

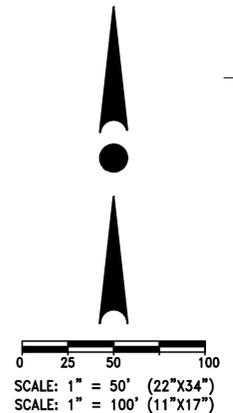
DESCRIPTION:
UTILITY PLAN:
NORTHWEST

SHEET
C2.01

H:\C9000\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD FARMS_UTILTY_PLANS.DWG



H:\C9000\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD_FARMS_UTILITY_PLANS.DWG



LEGEND:

| | |
|-----|----------------------------|
| 905 | EXISTING CONTOUR |
| SAN | EXISTING SANITARY SEWER |
| W | EXISTING WATER MAIN |
| ST | EXISTING STORM SEWER |
| --- | PROPOSED SANITARY SEWER |
| ○ | PROPOSED SANITARY MANHOLE |
| --- | PROPOSED WATER MAIN |
| ○ | PROPOSED HYDRANT |
| ○ | PROPOSED WATER VALVE |
| --- | PROPOSED STORM SEWER |
| --- | PROPOSED STORM MANHOLE |
| --- | PROPOSED STORM INLET |
| --- | PROPOSED STORM END SECTION |



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



12660 W. NORTH AVE.
 BROOKFIELD, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: jpuudelko@trioeng.com

PROJECT:
MAPLEWOOD FARMS
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
 BY: NEUMANN DEVELOPMENTS, INC.
 N27W24025 PAUL COURT, SUITE 100
 PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

DATE:
 AUGUST 3, 2018

JOB NUMBER:
 16016

DESCRIPTION:
 UTILITY PLAN:
 SOUTHWEST

SHEET

C2.02

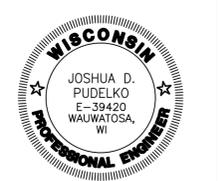
H:\C9000\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD_FARMS_UTILITY_PLANS.DWG

| LEGEND: | |
|-------------|----------------------------|
| --- 905 --- | EXISTING CONTOUR |
| --- | EXISTING SANITARY SEWER |
| --- | EXISTING WATER MAIN |
| --- | EXISTING STORM SEWER |
| --- | PROPOSED SANITARY SEWER |
| ○ | PROPOSED SANITARY MANHOLE |
| --- | PROPOSED WATER MAIN |
| ○ | PROPOSED HYDRANT |
| ○ | PROPOSED WATER VALVE |
| --- | PROPOSED STORM SEWER |
| --- | PROPOSED STORM MANHOLE |
| --- | PROPOSED STORM INLET |
| --- | PROPOSED STORM END SECTION |



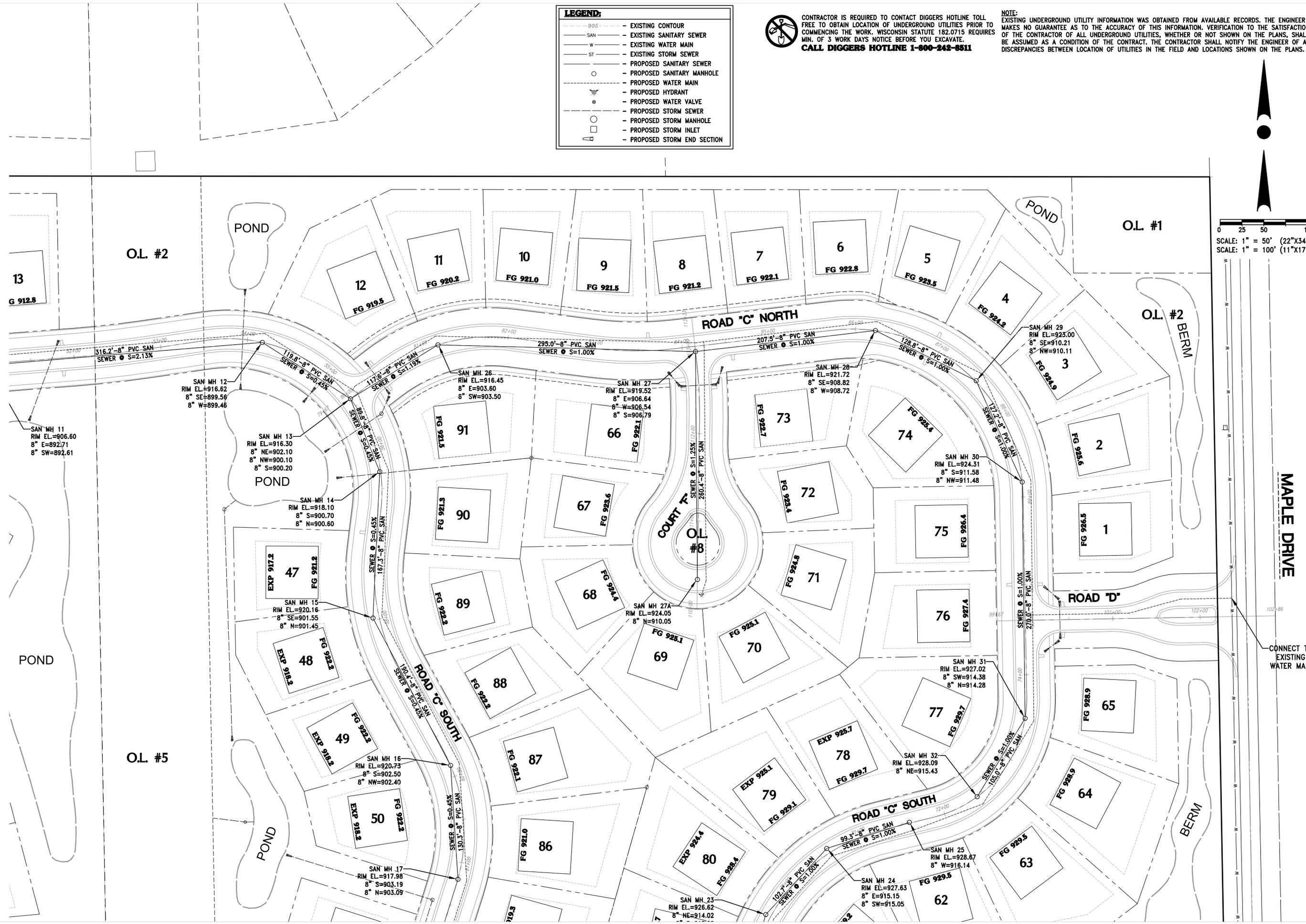
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-243-8511

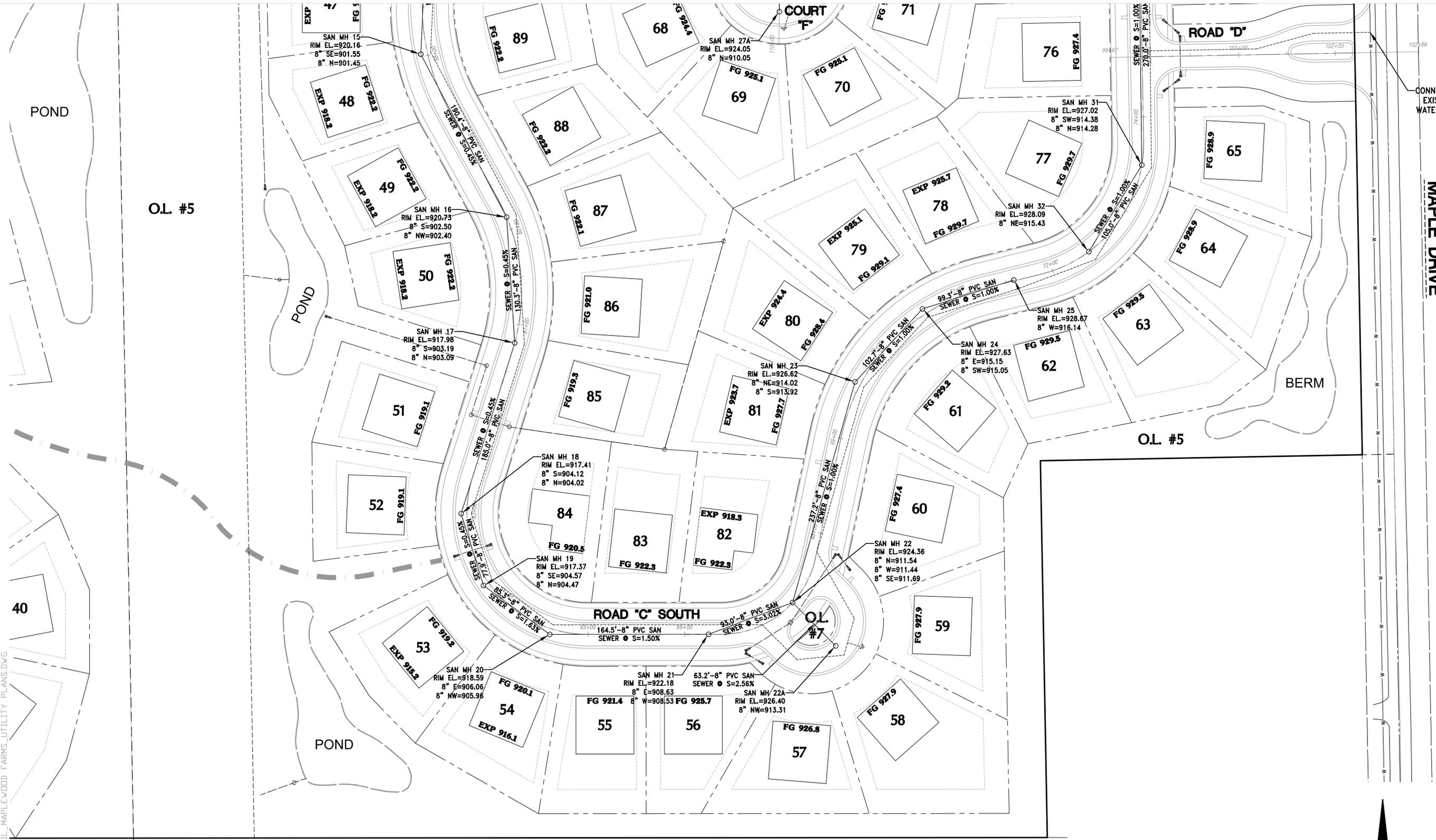
NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



12660 W. NORTH AVE.
 BROOKFIELD, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: jpuudelko@trioeng.com

0 25 50 100
 SCALE: 1" = 50' (22"x34")
 SCALE: 1" = 100' (11"x17")





OL #5

ROAD 'C' SOUTH

ROAD 'D'

COURT 'F'

MAPLE DRIVE

CONNECT TO EXISTING WATER MAIN

H:\C900\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD_FARMS_UTILITY_PLANS.DWG

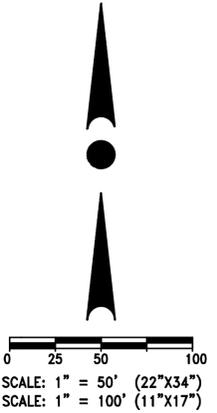


CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:

| | |
|--|----------------------------|
| | EXISTING CONTOUR |
| | EXISTING SANITARY SEWER |
| | EXISTING WATER MAIN |
| | EXISTING STORM SEWER |
| | PROPOSED SANITARY SEWER |
| | PROPOSED SANITARY MANHOLE |
| | PROPOSED WATER MAIN |
| | PROPOSED HYDRANT |
| | PROPOSED WATER VALVE |
| | PROPOSED STORM SEWER |
| | PROPOSED STORM MANHOLE |
| | PROPOSED STORM INLET |
| | PROPOSED STORM END SECTION |



TRIO
LAND SURVEYING
CIVIL ENGINEERING

12660 W. NORTH AVE.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuudelko@trioeng.com

PROJECT:
MAPLEWOOD FARMS
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF JACKSON, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

DATE:
AUGUST 3, 2018

JOB NUMBER:
16016

DESCRIPTION:
UTILITY PLAN:
SOUTHEAST

SHEET

C2.04



PROJECT:
MAPLEWOOD FARMS
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
 BY: NEUMANN DEVELOPMENTS, INC.
 N27W24025 PAUL COURT, SUITE 100
 PEWAUKEE, WI 53072

REVISION HISTORY

| DATE | DESCRIPTION |
|------------|--------------------|
| 08/03/2018 | PRELIM CIVIL PLANS |

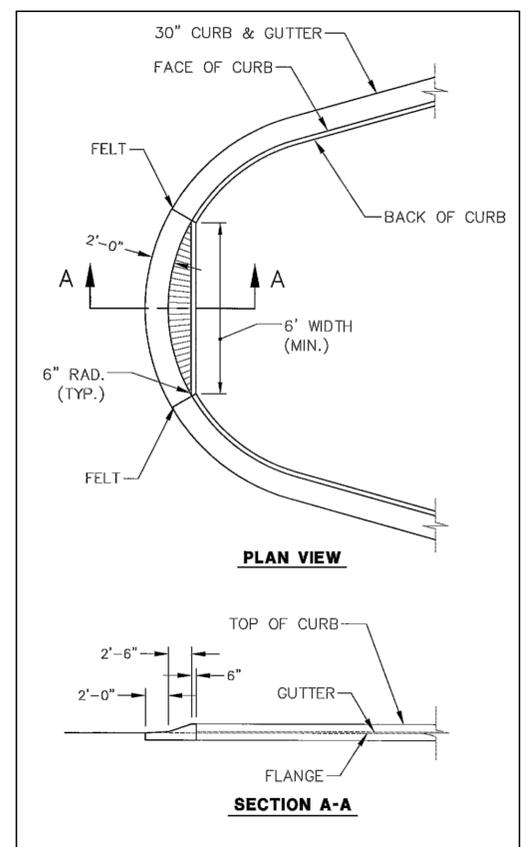
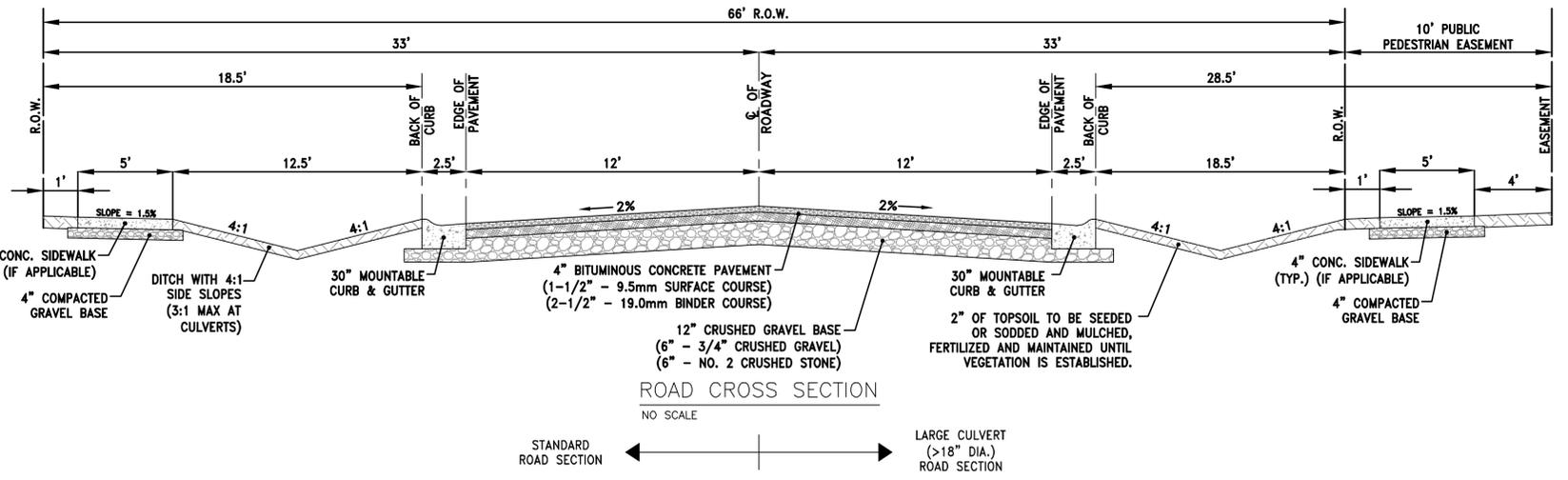
DATE:
 AUGUST 3, 2018

JOB NUMBER:
 16016

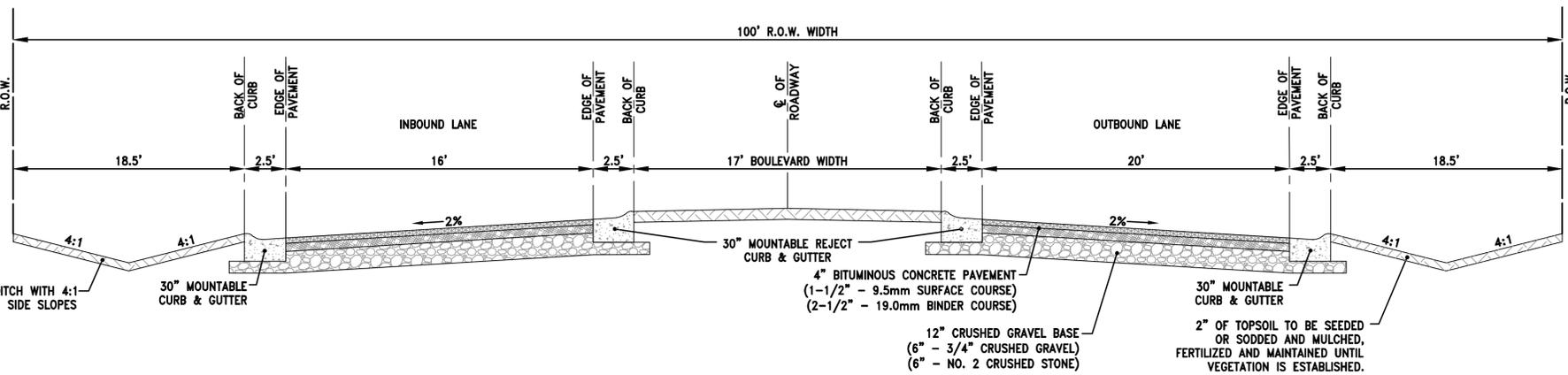
DESCRIPTION:
 CONSTRUCTION
 NOTES &
 DETAILS

SHEET

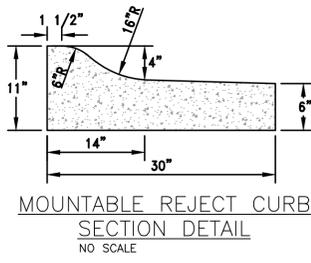
C3.00



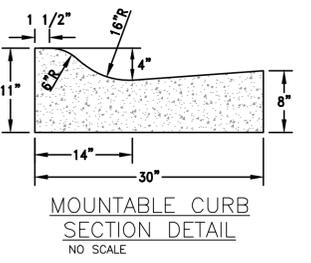
CUL DE SAC ISLAND NOSE DETAIL
 NO SCALE



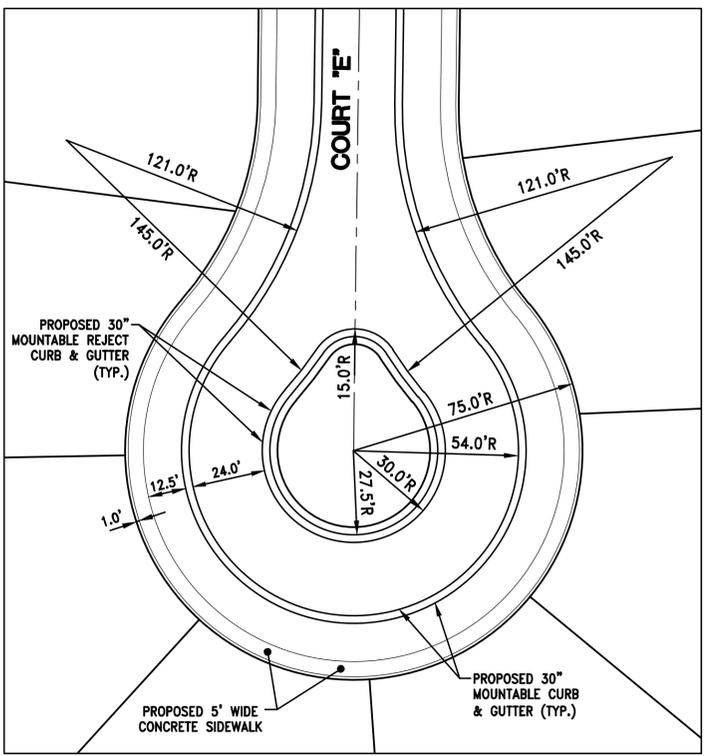
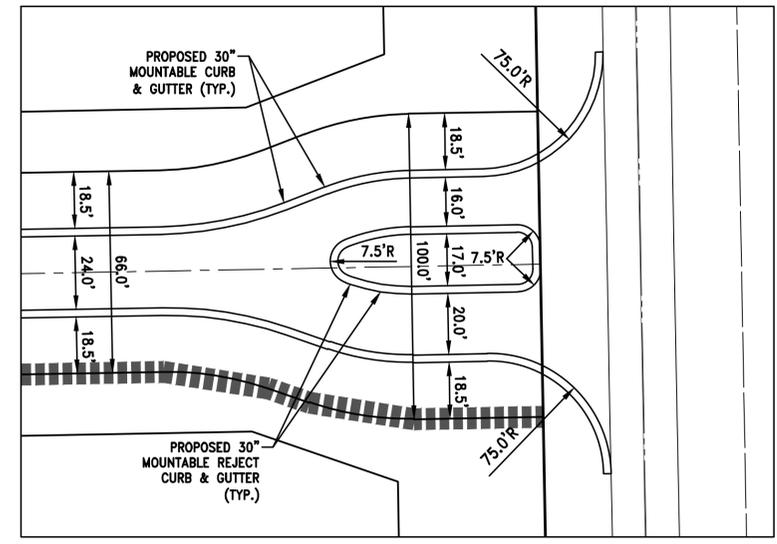
BOULEVARD ROAD CROSS SECTION
 NO SCALE



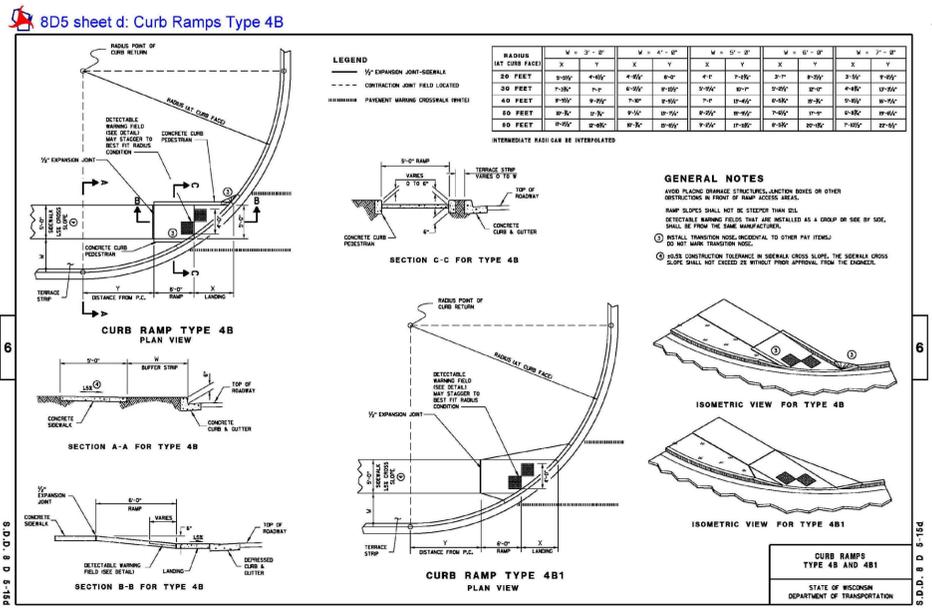
MOUNTABLE REJECT CURB
 SECTION DETAIL
 NO SCALE



MOUNTABLE CURB
 SECTION DETAIL
 NO SCALE



SCALE: 1" = 30' (22"x34")
 SCALE: 1" = 60' (11"x17")



SIDEWALK CURB RAMP TYPE 4B1 DETAIL
 NO SCALE

H:\C900\998\16016-01\PRELIMINARY\CIVIL_MAPLEWOOD FARMS_COVER & DETAILS.DWG

PLAT OF SURVEY

BEING THAT PART OF PINEHURST ADDITION NO. 7 DEDICATED TO THE PUBLIC FOR PARK LANDS, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 10 NORTH, RANGE 20 EAST, VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

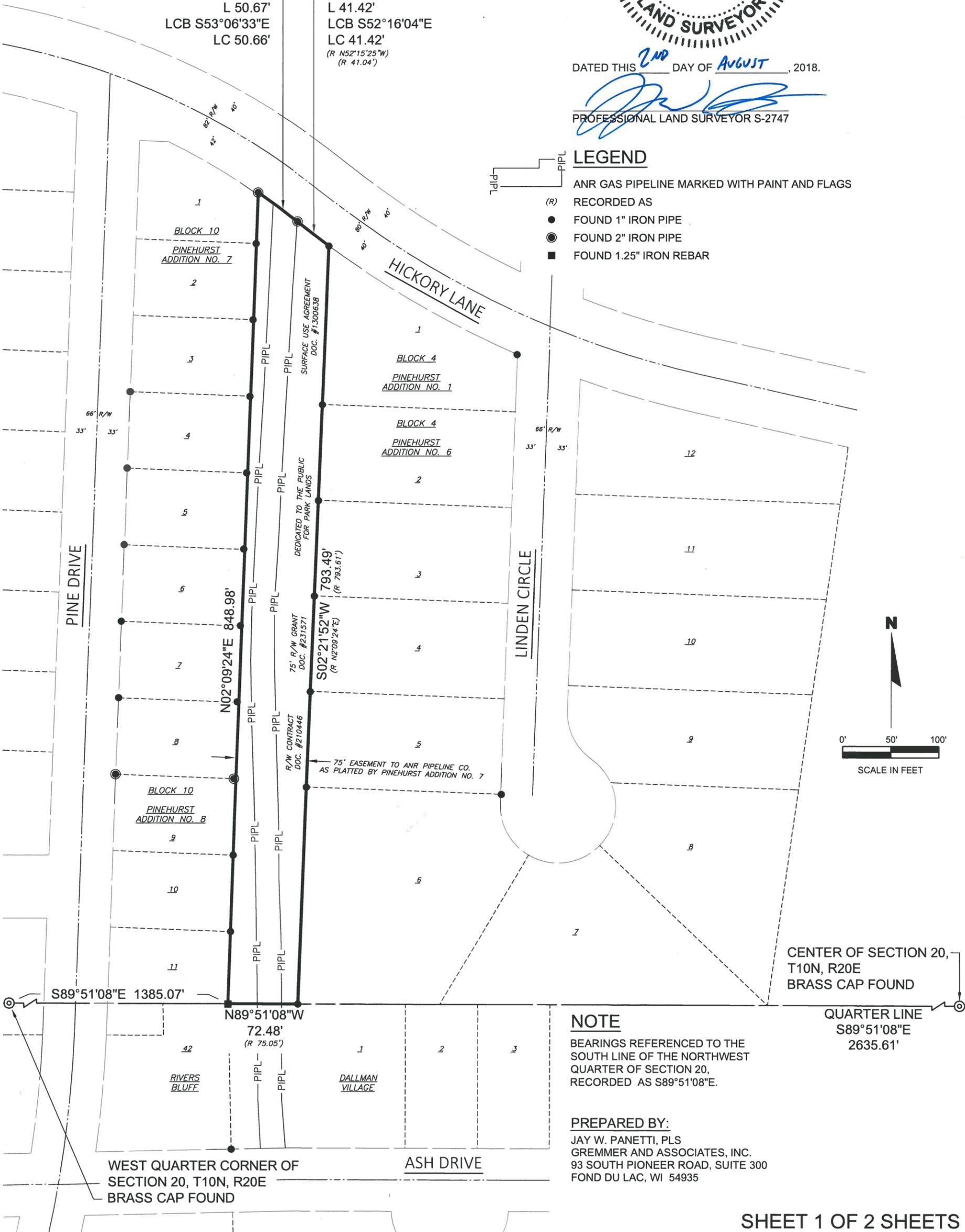


DATED THIS 2ND DAY OF AUGUST, 2018.

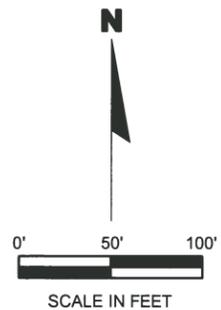
Jay W. Panetti
PROFESSIONAL LAND SURVEYOR S-2747

CURVE 1
R 720.00'
L 50.67'
LCB S53°06'33"E
LC 50.66'

CURVE 2
R 1010.29'
L 41.42'
LCB S52°16'04"E
LC 41.42'
(R N52°15'25"W)
(R 41.04')



- LEGEND**
- PIPL ANR GAS PIPELINE MARKED WITH PAINT AND FLAGS
 - (R) RECORDED AS
 - FOUND 1" IRON PIPE
 - ⊙ FOUND 2" IRON PIPE
 - FOUND 1.25" IRON REBAR

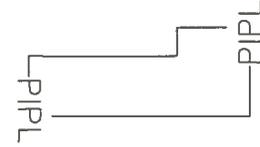
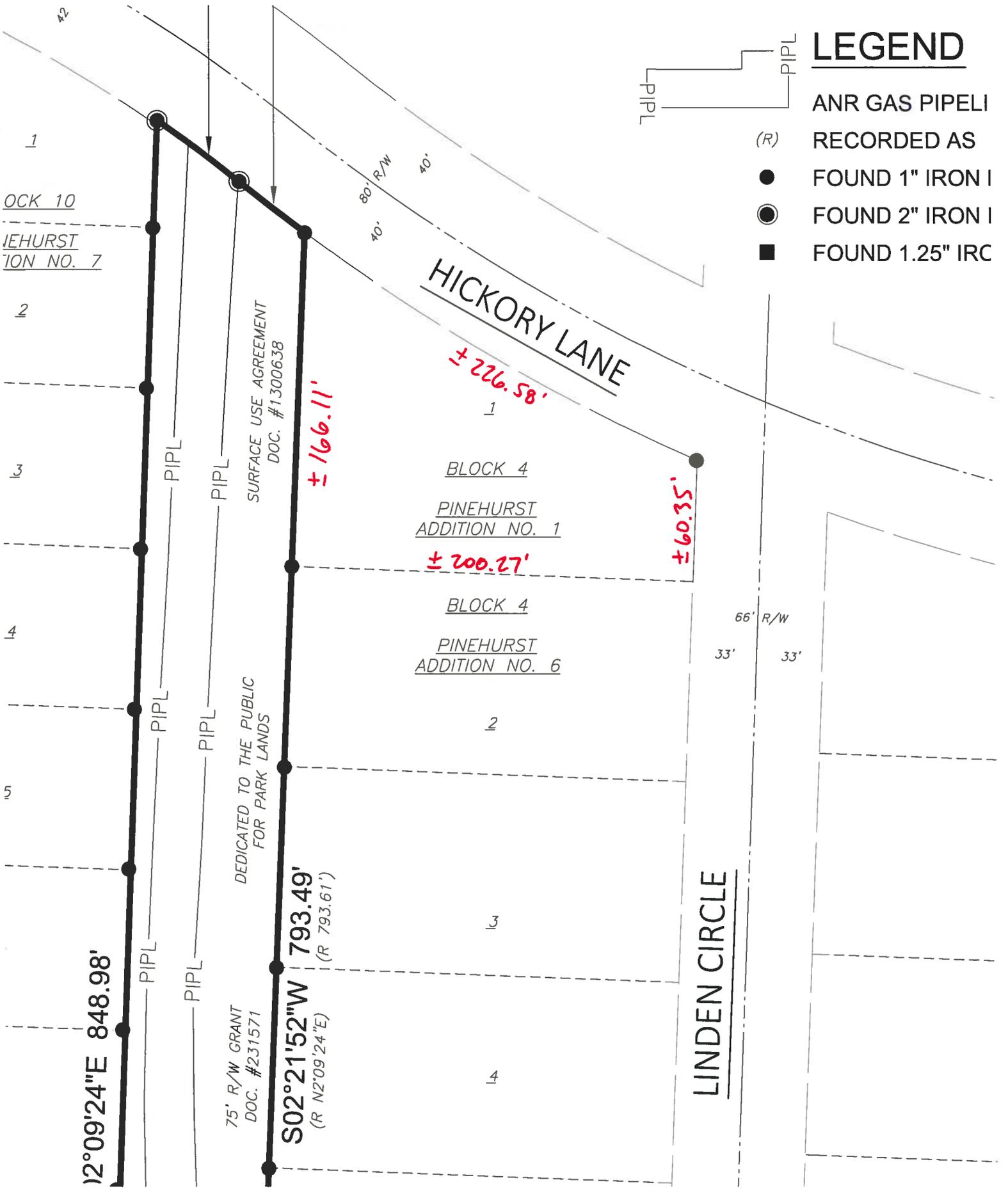


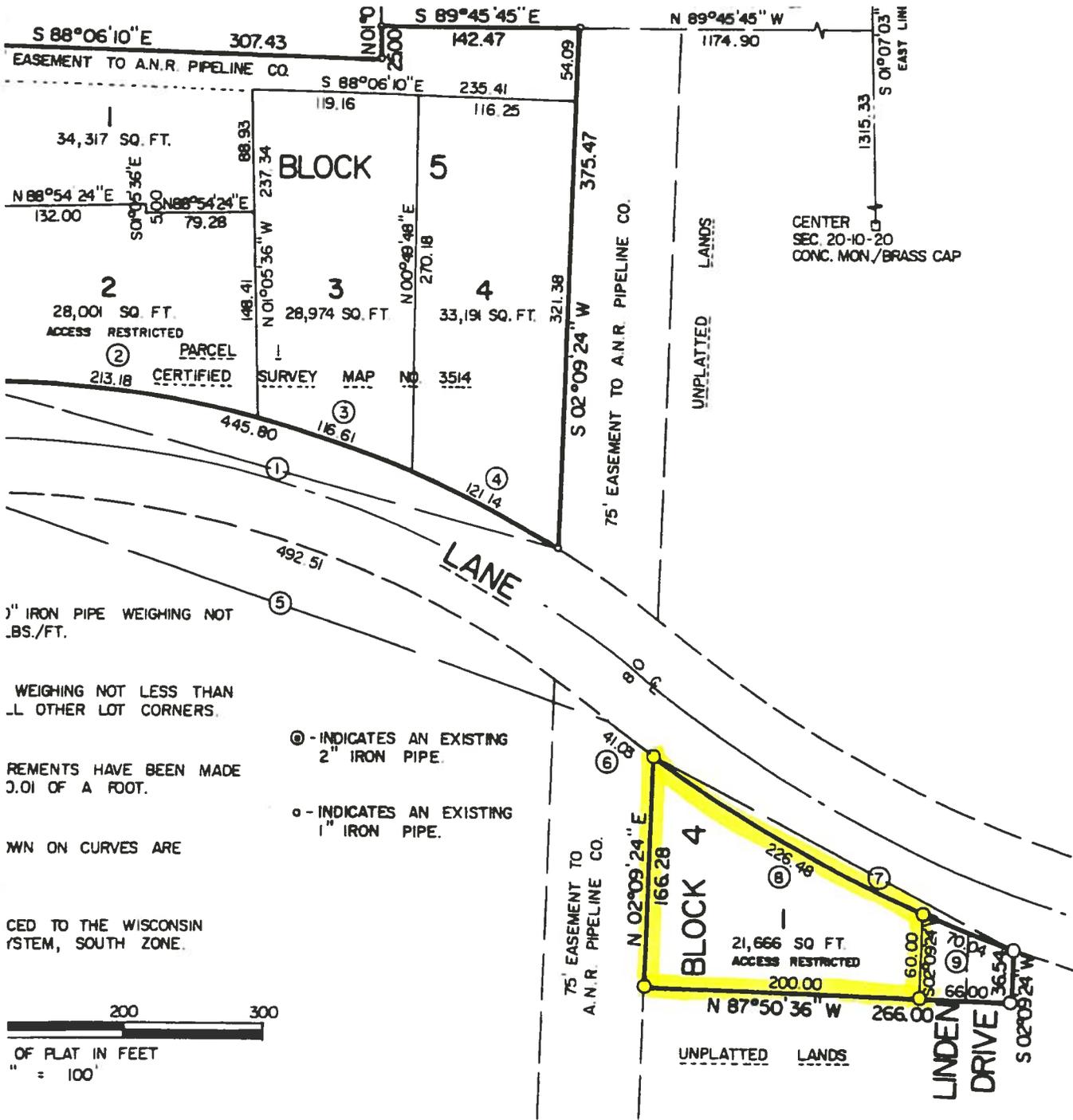
NOTE
BEARINGS REFERENCED TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 20, RECORDED AS S89°51'08"E.

PREPARED BY:
JAY W. PANETTI, PLS
GREMMER AND ASSOCIATES, INC.
93 SOUTH PIONEER ROAD, SUITE 300
FOND DU LAC, WI 54935

LEGEND

- ANR GAS PIPELINE
- (R) RECORDED AS
- FOUND 1" IRON PIPE
- ⊙ FOUND 2" IRON PIPE
- FOUND 1.25" IRON PIPE





2" IRON PIPE WEIGHING NOT LESS THAN .75 LBS./FT.

WEIGHING NOT LESS THAN .75 LBS. OTHER LOT CORNERS.

ADJUSTMENTS HAVE BEEN MADE TO CORRECT FOR A FOOT.

ADJUSTMENTS ON CURVES ARE

BASED ON THE WISCONSIN PLAT SYSTEM, SOUTH ZONE.



- ⊙ - INDICATES AN EXISTING 2" IRON PIPE.
- ⊙ - INDICATES AN EXISTING 1" IRON PIPE.

TABLE

| ANGLE | DEFLECTION ANGLE | TANGENT BEARINGS | | | |
|-------|------------------|------------------|--------|-----------------|--------|
| 24" | 16° 10' 42" | N 58° 44' 12" W | E. END | S 88° 54' 24" W | W. END |
| 49" | 07° 39' 24.5" | N 75° 46' 47" W | E. END | S 88° 54' 24" W | W. END |
| 32" | 04° 10' 46" | N 67° 25' 15" W | E. END | N 75° 46' 47" W | W. END |
| 03" | 04° 20' 31.5" | N 58° 44' 12" W | E. END | N 67° 25' 15" W | W. END |
| 00" | 20° 00' 00" | S 51° 05' 36" E | E. END | N 88° 54' 24" E | W. END |
| 38" | 01° 09' 49" | S 53° 25' 14" E | E. END | S 51° 05' 36" E | W. END |
| 40" | 08° 25' 20" | S 70° 15' 54" E | E. END | S 53° 25' 14" E | W. END |
| 17" | 06° 26' 08.5" | S 66° 17' 31" E | E. END | S 53° 25' 14" E | W. END |
| 23" | 01° 59' 11.5" | S 70° 15' 54" E | E. END | S 66° 17' 31" E | W. END |

RESTRICTIONS:

ALLOWING LOTS SHALL HAVE NO VEHICULAR ACCESS TO HICKORY LANE:

LOT 1, BLOCK 4

MAP NO. 3
OF THE
BL
SAID SE
OF - WAY
445.80 F
HICKORY
DISTANCE
BEARING
SAID SOU
S 02° 09' 2
CO
BL
THENCE
FEET; T
ALONG TO
CO
BL
RIGHT-OF
LINE OF
CO
TO
I
FULLY CO
DATED TH
REVISED

OWNE

C
DIVIDED,
OR OBJE
D
W
V
D
IN WITN
WEST BE

STATE OF
WASHINGTON
PERSONAL

APPR

APPR

CERT

UNPAID



engineering | architecture | environmental | surveying
landscape architecture | planning | economic development

W61 N497 Washington Avenue
Cedarburg, WI 53012
262-204-2360
800-472-7372
FAX 262-375-2688
www.cedarcorp.com

August 23, 2018

Village of Jackson
N168 W20733 Main Street
PO Box 637
Jackson, WI 53037

Attn: Mr. Brian Kober, P.E., Director of Public Works

Re: Application for Payment No. 2
Ridgeway Drive and Ridgeway Court Reconstruction
Project No. 05789-0005

Dear Mr. Kober:

Enclosed for your use in payment to Vinton Construction, Inc. in the amount of \$187,096.80 is Application for Payment No. 2.

Please note that the Contractor's application includes an "Amount Eligible (for payment) To Date" that consists of amounts for both applications for payments 1 & 2. The Contractor has submitted this amount because the Contractor has not yet received payment from your office for application no. 1. In this regard, I have included a document stating the Village's schedule related to their payment of application for payment no. 1. Therefore, our recommended amount for payment reflects the total amount eligible to date LESS the amount associated with application for payment no. 1.

Following your review and approval, please complete the application for payment form within the areas reserved for the Owner and process payment to the Contractor accordingly.

Should you have any questions, please feel free to contact me at our Cedarburg office.

Sincerely,

CEDAR CORPORATION

Douglas T. Kroes
Senior Construction Manager

Enclosed: As Noted

Cc: Tom Amon, Project Manager - Vinton Construction, Inc.

Contractor's Application for Payment No. 2

| | | |
|---|--|-----------------------------------|
| To (Owner): Village of Jackson | Application Period: thru August 20, 2018 | Application Date: 8.20.18 |
| Project: Ridgeway Drive and Ridgeway Court Reconstruction | From (Contractor): Vinton Construction, Inc. | Via (Engineer): Cedar Corporation |
| Owner's Contract No: A-18 | Contract: A-18 | Engineer's Project No: 05789-0005 |
| | Contractor's Project No: 18073 | |

**Application For Payment
Change Order Summary**

| Approved Change Orders | Additions | Deductions |
|-----------------------------|-------------|-------------|
| Number 1 | \$23,058.00 | |
| TOTALS | \$23,058.00 | |
| NET CHANGE BY CHANGE ORDERS | | \$23,058.00 |

1. ORIGINAL CONTRACT PRICE..... \$ 1,012,202.40
2. Net change by Change Orders..... \$ 23,058.00
3. Current Contract Price (Line 1 ± 2)..... \$ 1,035,260.40
4. TOTAL COMPLETED AND STORED TO DATE (Column I total on Progress Estimates)..... \$ 623,916.39
5. RETAINAGE:
 - a. 5% X \$623,916.39 Work Completed..... \$ 331,195.82
 - b. 5% X _____ Stored Material..... \$ _____
 - c. Total Retainage (Line 5.a + Line 5.b)..... \$ 331,195.82
6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5.c)..... \$ 592,720.57
7. LESS PREVIOUS PAYMENTS (Line 6 from prior Application)..... \$ _____
8. AMOUNT DUE THIS APPLICATION..... \$ _____

Contractor's Certification

The undersigned Contractor certifies, to the best of its knowledge, the following:
 (1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;
 (2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all Liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such Liens, security interest, or encumbrances); and
 (3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor Signature: Michael J. Mark Date: 8.23.18

Payment of: \$ 187,096.80
 (Line 8 or other - attach explanation of the other amount)
 is recommended by: George J. Kure (Engineer) Date: 8-23-18
 Payment of: \$ _____
 is approved by: _____ (Owner) Date: _____
 (Line 8 or other - attach explanation of the other amount)

Approved by: _____ (Date)
 Funding or Financing Entity (if applicable) _____ (Date)

Unit Price Progress Estimate

Contractor's Application

Project: Ridgeway Drive and Ridgeway Court Reconstruction

Application Number: 2

Application Period: thru August 20, 2018

Application Date: August 20, 2018

| Bid No. | Item Description | Estimated Bid Quantity | Unit Price | B | | C | | D | | E | | F | | G | | H | | I | | J |
|---------|--|------------------------|--------------|--------------------------------|--------------|----------|--------------|----------|--------|----------|--------|----------|--------|----------|--------|----------|----------|--------------|--------|--|
| | | | | Previous Applications Quantity | Amount | Quantity | Amount | Quantity | Amount | Quantity | Amount | Quantity | Amount | Quantity | Amount | Quantity | Amount | Quantity | Amount | Total Completed & Stored to Date (C+E+G) |
| 1 | Common Excavation | 1 | \$157,000.00 | 0 | \$0.00 | 1.00 | \$152,000.00 | | | | | | | | | | 1.00 | \$152,000.00 | 100.0% | |
| 2 | Sawcutting Asphalt Roadway Pavement | 96 | \$4.00 | 0 | \$0.00 | 96.00 | \$384.00 | | | | | | | | | | 96.00 | \$384.00 | 100.0% | |
| 3 | 6" Sanitary Sewer Lateral Relay (15 Units) | 523 | \$123.00 | 398.2 | \$48,978.60 | 0.00 | \$0.00 | | | | | | | | | | 398.20 | \$48,978.60 | 76.1% | |
| 4 | 6" Sanitary Lateral Riser | 32 | \$448.00 | 24.31 | \$10,890.88 | 0.00 | \$0.00 | | | | | | | | | | 24.31 | \$10,890.88 | 76.0% | |
| 5 | 6" Sanitary Sewer Lateral (3 Units) | 351 | \$86.40 | 360.5 | \$31,147.20 | 0.00 | \$0.00 | | | | | | | | | | 360.50 | \$31,147.20 | 102.7% | |
| 6 | 6" Sanitary Sewer Lateral Clean-out | 2 | \$490.00 | 2 | \$980.00 | 0.00 | \$0.00 | | | | | | | | | | 2.00 | \$980.00 | 100.0% | |
| 7 | Abandon Manhole Structure | 2 | \$690.00 | 1 | \$690.00 | 0.00 | \$0.00 | | | | | | | | | | 1.00 | \$690.00 | 50.0% | |
| 8 | 8" Sanitary Sewer Relay C-900 | 209 | \$156.00 | 263 | \$41,028.00 | 0.00 | \$0.00 | | | | | | | | | | 263.00 | \$41,028.00 | 125.8% | |
| 9 | 8" Sanitary Sewer | 219 | \$142.00 | 219 | \$31,098.00 | 0.00 | \$0.00 | | | | | | | | | | 219.00 | \$31,098.00 | 100.0% | |
| 10 | 48" Dia. Sanitary Manhole (2 Units) | 29 | \$480.00 | 42.1 | \$20,208.00 | 0.00 | \$0.00 | | | | | | | | | | 42.10 | \$20,208.00 | 145.2% | |
| 11 | 8" PVC Water Main | 286 | \$91.30 | 261.6 | \$23,884.08 | 0.00 | \$0.00 | | | | | | | | | | 261.60 | \$23,884.08 | 91.5% | |
| 12 | 12" PVC Water Main Relay | 894 | \$115.70 | 869.4 | \$100,589.58 | 0.00 | \$0.00 | | | | | | | | | | 869.40 | \$100,589.58 | 97.2% | |
| 13 | Valve Box Abandonment | 3 | \$250.00 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 14 | Salvage Hydrant | 4 | \$500.00 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 15 | 1 1/4" HDPE Water Service Relay (17 Units) | 488 | \$108.00 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 16 | 1 1/4" HDPE Water Service (3 Units) | 354 | \$49.60 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 17 | Hydrant Assembly | 4 | \$6,557.00 | 4 | \$26,228.00 | 0.00 | \$0.00 | | | | | | | | | | 4.00 | \$26,228.00 | 100.0% | |
| 18 | 12" Gate Valve | 5 | \$2,670.00 | 5 | \$13,350.00 | 0.00 | \$0.00 | | | | | | | | | | 5.00 | \$13,350.00 | 100.0% | |
| 19 | 8" Gate Valve | 2 | \$1,591.00 | 2 | \$3,182.00 | 0.00 | \$0.00 | | | | | | | | | | 2.00 | \$3,182.00 | 100.0% | |
| 20 | 34" x 53" HERCP Storm Sewer Relay | 182 | \$167.00 | 180.3 | \$30,110.10 | 0.00 | \$0.00 | | | | | | | | | | 180.30 | \$30,110.10 | 99.1% | |
| 21 | 12" RCP Storm Sewer | 293 | \$52.30 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 22 | 12" RCP Storm Sewer Relay | 75 | \$62.00 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 23 | 48" Dia. Storm Sewer Manhole (1 Unit) | 3 | \$694.00 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 24 | 6" PVC Storm Sewer Lateral (15 Units) | 1,008 | \$46.60 | 912.5 | \$42,522.50 | 0.00 | \$0.00 | | | | | | | | | | 912.50 | \$42,522.50 | 90.5% | |
| 25 | Catch Basin | 2 | \$1,924.00 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 26 | Remove Catch Basin | 2 | \$250.00 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 27 | Remove Concrete Sidewalk | 5,876 | \$0.70 | 80 | \$56.00 | 5,800.00 | \$4,060.00 | | | | | | | | | | 5,880.00 | \$4,116.00 | 100.1% | |
| 28 | 4" Concrete Sidewalk | 9,940 | \$5.40 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 29 | Remove Curb & Gutter | 2,255 | \$3.00 | 14 | \$42.00 | 2,200.00 | \$6,600.00 | | | | | | | | | | 2,214.00 | \$6,642.00 | 98.2% | |
| 30 | 30" Curb and Gutter TYPE D | 2,255 | \$18.65 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 31 | Remove Asphalt Driveway Pavement | 265 | \$6.30 | 0 | \$0.00 | 0.00 | \$0.00 | | | | | | | | | | 0.00 | \$0.00 | | |
| 32 | Remove Concrete Driveway Aprons | 2,356 | \$0.70 | 171.36 | \$119.95 | 2,000.00 | \$1,400.00 | | | | | | | | | | 2,171.36 | \$1,519.95 | 92.2% | |

8.21.18 @ 11:45am – per call to Jilline, Village Clerk (Village of Jackson) #262-677-9001

Re: Jackson A-18 Ridgeway Project – VCC #18073

Pay App#1 – was approved at the board meeting on August 14th. They had elections that week & didn't cut checks. Therefore, the check will probably be cut on August 31st.

Pay App#2 – Doug Kroes (Cedar Corp) must have it in to Brian Kober (DPW) by this Thursday, August 23rd (Doug can email it to Brian). Then it goes to the DPW meeting on Thursday, August 30th for approval. Then it goes to the Finance & Board meeting on Tuesday, Sept. 11th. The check could be cut yet that Friday (Sept. 14th).

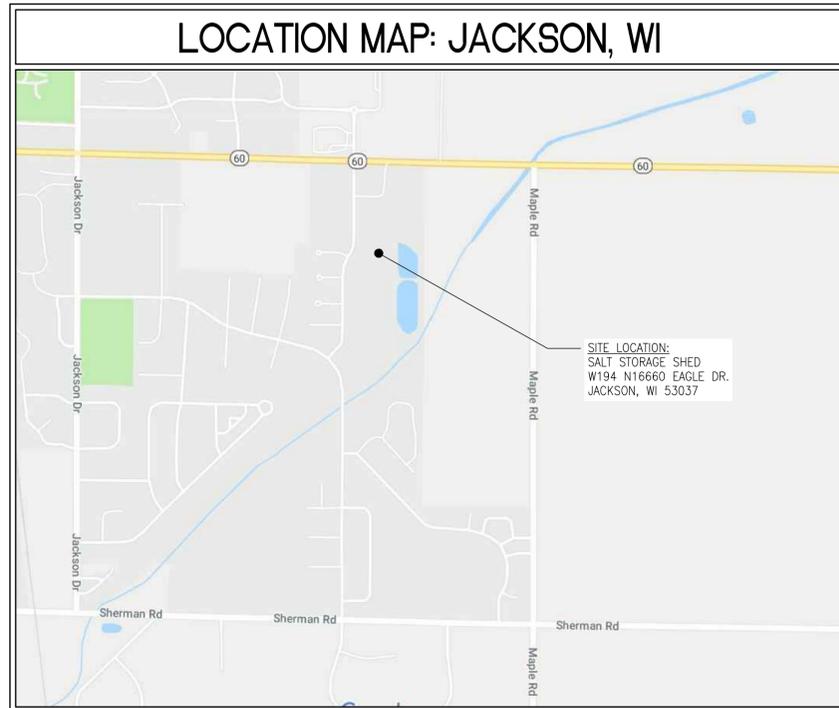
JC

VILLAGE OF JACKSON

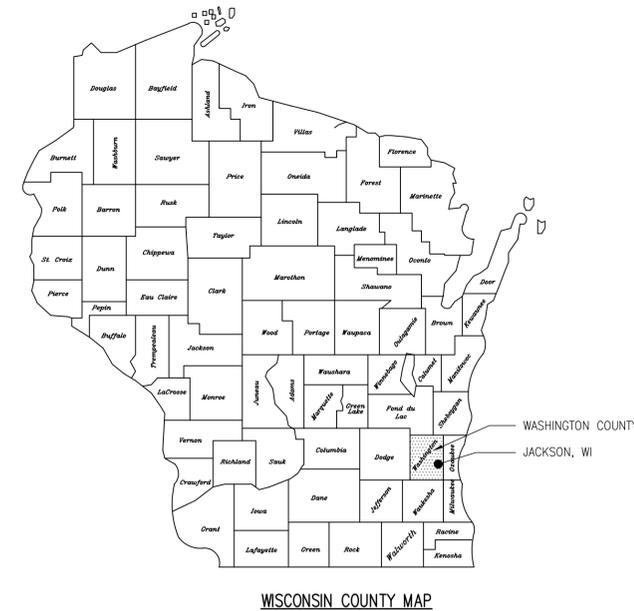
SALT STORAGE SHED

W194 N16660 EAGLE DRIVE

JACKSON, WI 53037



| SHEET INDEX | |
|---------------|-------------------------------|
| TS01 | TITLE SHEET |
| CIVIL | |
| ARCHITECTURAL | |
| A101 | OVERALL FLOOR PLAN |
| A401 | EXTERIOR ELEVATIONS & SECTION |
| STRUCTURAL | |
| MECHANICAL | |
| ELECTRICAL | |
| PLUMBING | |



| CONTACTS | | |
|---------------|---|--|
| OWNER: | VILLAGE OF JACKSON 1168 W20733 MAIN ST. JACKSON, WI 53037 PHONE: 262-677-0707 EXT 11 CONTACT: BRIAN KOBER | ARCHITECT/ ENGINEERS: |
| | | CEDAR CORPORATION 604 WILSON AVE. MENOMONIE, WI 54751 (715) 235-9081 CONTACT: CORY SCHEIDLER cory.scheidler@cedarcorp.com |

- ### GENERAL PROJECT NOTES
- WE CERTIFY, TO THE BEST OF OUR KNOWLEDGE, INFORMATION, AND BELIEF THAT THE DESIGN OF THE PROJECT COMPLIES WITH APPLICABLE PROVISIONS OF THE ADMINISTRATIVE CODES AND STATUTES OF THE STATE OF WISCONSIN LOCAL AND STATE BUILDING CODES AND ACCESSIBILITY STANDARDS.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
 - ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED, AS REQUIRED BY CODE OR LOCAL ORDINANCE.
 - THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE FROM THE ARCHITECT/ ENGINEER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
 - NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT/ ENGINEER.
 - WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT/ ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
 - ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, IN THE EVENT OF CONFLICTS THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
 - THE CONTRACTOR SHALL PAY FOR ALL FEES, PERMITS, LICENSES, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK.
 - THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE REQUIRED IN THE SPECIFICATIONS.
 - PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE, AND ACCESSORIES.
 - WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION/ SYSTEM SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.
 - COORDINATE WITH ALL TRADES THE LOCATIONS OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.
 - DISRUPTED EXISTING CONDITIONS I.E. LANDSCAPING, LIGHTING, PEDESTRIAN, AND VEHICLE ACCESS SHALL BE MINIMALLY REPLACED AT THE END OF CONSTRUCTION TO MATCH EXISTING AND ADJACENT CONDITIONS PRIOR TO CONSTRUCTION.
 - DIMENSIONS ARE SHOWN FROM FACE TO FACE WALL SURFACE AND EDGE OF ROUGH OPENING UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIARIZED WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID. NO ALLOWANCES WILL BE MADE AFTER THE BID FOR EXISTING CONDITIONS OR THE CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS.
 - PROVIDE SHOP DRAWINGS FOR ALL EQUIPMENT TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO ORDERING. EQUIPMENT INSTALLED WITHOUT APPROVAL SHALL BE SUBJECT TO REJECTION AND REPLACEMENT AT CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES, EASEMENTS, PROPERTY BOUNDARIES AND SETBACKS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING EXTENSION OF NATURAL GAS, SANITARY SEWER, ELECTRICAL, TV CABLE, AND TELEPHONE SERVICE TO THE BUILDING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SOIL BEARING CAPACITY.
 - THE CONTRACTOR SHALL PROVIDE 6" COMPACTED GRANULAR FILL AT EXTERIOR SIDEWALKS AND PAVED AREAS UNLESS NOTED OTHERWISE.
 - ALL DETAILS NOT SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE CONTRACTOR.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING FOR ALL TRADES.

ARCHITECTURAL ABBREVIATIONS

| | | | |
|-------|--------------------------------------|--------|--------------------------|
| AB | - ANCHOR BOLTS | GALV | - GALVANIZED |
| ACP 1 | - ACOUSTIC CEILING PANEL | CPDW | - GYPSUM DRYWALL |
| ACP 2 | - ACOUSTIC CEILING PANEL, (WASHABLE) | CYP BD | - GYPSUM BOARD |
| AFF | - ABOVE FINISH FLOOR | HC | - HANDCAPPED |
| BLDG | - BUILDING | HM | - HOLLOW METAL |
| BIT | - BITUMINOUS | INSUL | - INSULATION |
| BS | - BOTH SIDES | INT | - INTERIOR |
| CL | - CENTER LINE | LP | - LATEX PAINT |
| CJ | - CONTROL JOINT | MAS | - MASONRY |
| CMU | - CONCRETE MASONRY UNIT | MAX | - MAXIMUM |
| CONC | - CONCRETE | MIN | - MINIMUM |
| CONST | - CONSTRUCTION | MNTD | - MOUNTED |
| CONT | - CONTINUOUS | N/A | - NOT APPLICABLE (NONE) |
| CPT | - CARPET | NIC | - NOT IN CONTRACT |
| CT | - CERAMIC TILE | PT | - PORCELAIN TILE |
| C SLR | - CONCRETE SEALER | QT | - QUARRY TILE |
| DTL | - DETAIL | SAN | - SANITARY |
| DN | - DOWN | SHT | - SHEET |
| DF | - DRINKING FOUNTAIN | SPEC | - SPECIFICATION |
| DWG | - DRAWING | SS | - STAINLESS STEEL |
| EIFS | - EXTERIOR INSULATION | STL | - STEEL |
| EXP | - EXPOSED | SURF | - SURFACE |
| EXT | - EXTERIOR | SYST | - SYSTEM |
| FIN | - FINISH | TS | - TRANSITION STRIP |
| FLR | - FLOOR | TYP | - TYPICAL |
| FLOUR | - FLOURESCENT | UNO | - UNLESS NOTED OTHERWISE |
| FDN | - FOUNDATION | UNC | - WATER CLOSET |
| | | WD | - WOOD |
| | | WH | - WATER HEATER |
| | | VAR | - VARIES |
| | | VB | - VAPOR BARRIER |
| | | VCT | - VINYL COMPOSITION TILE |

MATERIALS

| | |
|--|------------------------------|
| | BRICK |
| | CONCRETE MASONRY UNITS (CMU) |
| | CONCRETE |
| | STEEL / METAL |
| | PLASTER, SAND, MORTAR |
| | GRAVEL |
| | EARTH |
| | STONE |
| | WOOD BLOCKING |
| | WOOD FINISH |
| | BATT INSULATION |
| | RIGID INSULATION |

DRAFTING SYMBOLS

| | | |
|-----------------|--|------------|
| TITLE MARK | | TITLE NAME |
| SECTION MARK | | DWG SCALE |
| ELEVATION MARKS | | |
| DETAIL MARK | | |
| ROOM TAG | | ROOM NAME |
| WALLTYPE TAG | | |
| WINDOW TAG | | |
| DOOR TAG | | |
| NORTH ARROW | | |
| ELEVATION DATUM | | |
| KEYNOTE TAG | | |
| GRID MARK | | GRID |
| REVISION DELTA | | |

DESIGN LOADS:

| | |
|-------------------------------|---|
| SOIL BEARING CAPACITY: | 2000 PSF SAFE SOIL BEARING PRESSURE (ASSUMED) |
| OCCUPANCY CATEGORY | I |
| DESIGN LIVE LOADS: | |
| ROOF (SNOW) | 30 PSF |
| GROUND SNOW LOAD, Pg | 1.0 |
| SNOW EXPOSURE, Ce | |
| SNOW LOAD | |
| IMPORTANCE FACTOR, I | 1.0 |
| THERMAL FACTOR, Ct | 1.2 |
| UNBALANCED SNOW LOAD | SEE DIAGRAM |
| DRIFTED/SLIDING SNOW LOAD | N/A |
| SLOPED ROOF SNOW LOAD | 25.2 PSF |
| DESIGN DEAD LOADS: | |
| ROOF COLLATERAL | 7.5 PSF |
| SEE ARCHITECTURAL | |
| FOR ADDITION DEAD LOADS. | |
| DESIGN WIND LOADS: | |
| BASIC WIND SPEED | 90 MPH |
| (3-SECOND GUST) | |
| WIND IMPORTANCE FACTOR, Iw | 1.0 |
| WIND EXPOSURE | B |
| INTERNAL PRESSURE COEFFICIENT | 0.18 |
| DESIGN SEISMIC LOADS: | |
| SEISMIC USE GROUP | I |
| SEISMIC DESIGN CATEGORY | A |

GEOTECHNICAL NOTE:

NOTE:
THE SOIL BEARING PRESSURE OF 2000 PSF HAS BEEN ASSUMED FOR THIS SITE SINCE NO GEOTECHNICAL INVESTIGATION HAS BEEN PERFORMED. THE CONTRACTOR/OWNER IS TO NOTIFY THE A/E IMMEDIATELY IF ANY QUESTIONABLE SOIL CONDITIONS ARE ENCOUNTERED DURING EXCAVATION. FOOTING ELEVATIONS, SIZES AND/OR SUBGRADE PREPARATION ARE SUBJECT TO CHANGE DEPENDING ON CONDITIONS ENCOUNTERED DURING EXCAVATION.

SITE / BUILDING DATA

| BUILDING CODES: WISCONSIN COMMERCIAL BUILDING CODE - 2018 INTERNATIONAL BUILDING CODE - 2015 (AS ADOPTED) ICC/ANSI A117.1 - 2009 ACCESSIBLE & USEABLE BUILDINGS | OCCUPANT LOAD: UNOCCUPIED | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|----------|----------|----------|--------------|------|---|----------------|------|---|-----------------|---|---|--|------|---|---------------|------|---|-----------------|------|---|------------------|---|---|--|------|---|
| CONSTRUCTION TYPE: IBC CONSTRUCTION TYPE: <input type="checkbox"/> VB COMBUSTIBLE; NON-PROTECTED: | TOTAL OCCUPANTS: 0.0 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OCCUPANCY CATEGORY: NON-SEPARATED MIXED USE SEPARATED MIXED USE: <input type="checkbox"/> X | EGRESS WIDTH REQUIRED: 1 SERVICE DOOR | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (U) UTILITY: | MAXIMUM TRAVEL DISTANCE = 200' MINIMUM TRAVEL WIDTH = 32' | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING HEIGHT: IBC ALLOWABLE HEIGHT PER TABLE 503 ALLOWABLE 1 story ACTUAL 1 story ALLOWABLE HEIGHT: 40' ACTUAL HEIGHT: 23' | PLUMBING FIXTURES: UNOCCUPIED 0.0 / 2 = 0.0 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SPRINKLER PROTECTION: NO SPRINKLER SYSTEM | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ALLOWABLE BUILDING AREA: IBC ALLOWABLE AREA (A ₁) PER TABLE 503 (U) <table border="1"> <tr><td>5500</td><td>SQ FT</td><td>VB</td></tr> <tr><td></td><td>SQ FT</td><td>VB</td></tr> <tr><td></td><td>SQ FT</td><td>VB</td></tr> </table> | 5500 | SQ FT | VB | | SQ FT | VB | | SQ FT | VB | | | | | | | | | | | | | | | | | | | |
| 5500 | SQ FT | VB | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | SQ FT | VB | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | SQ FT | VB | | | | | | | | | | | | | | | | | | | | | | | | | | |
| IBC AREA INCREASE: A _a = At + [(At * It) + (At * Is)] A _a = 5500 + 5500 * N/A + 5500 * N/A If = N/A Is = N/A A _a = 5,500 SQ FT TOTAL BUILDING AREA 2,046 SQ FT TENANT 1 AREA 0 SQ FT TENANT 2 AREA 0 SQ FT ALLOWABLE FIRE AREA 0 SQ FT | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FRONTAGE: NORTH 0 EAST 30 SOUTH 30 WEST 0 PERIMETER (F) 0 PERIMETER (P) 0 W - WEIGHTED AVERAGE F = (If/P) - 25 [(W/30)] F = [(349/349) - 25 [(30/30)] | OPEN SPACE: 30 30 30 varies | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | <table border="1"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>TOTAL WC MEN</td> <td>0.00</td> <td>0</td> </tr> <tr> <td>TOTAL WC WOMEN</td> <td>0.00</td> <td>0</td> </tr> <tr> <td>TOTAL WC UNISEX</td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td>0.00</td> <td>0</td> </tr> <tr> <td>TOTAL LAV MEN</td> <td>0.00</td> <td>0</td> </tr> <tr> <td>TOTAL LAV WOMEN</td> <td>0.00</td> <td>0</td> </tr> <tr> <td>TOTAL LAV UNISEX</td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td>0.00</td> <td>0</td> </tr> </tbody> </table> | | REQUIRED | PROVIDED | TOTAL WC MEN | 0.00 | 0 | TOTAL WC WOMEN | 0.00 | 0 | TOTAL WC UNISEX | 0 | 0 | | 0.00 | 0 | TOTAL LAV MEN | 0.00 | 0 | TOTAL LAV WOMEN | 0.00 | 0 | TOTAL LAV UNISEX | 0 | 0 | | 0.00 | 0 |
| | REQUIRED | PROVIDED | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL WC MEN | 0.00 | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL WC WOMEN | 0.00 | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL WC UNISEX | 0 | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 0.00 | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL LAV MEN | 0.00 | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL LAV WOMEN | 0.00 | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL LAV UNISEX | 0 | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 0.00 | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | |

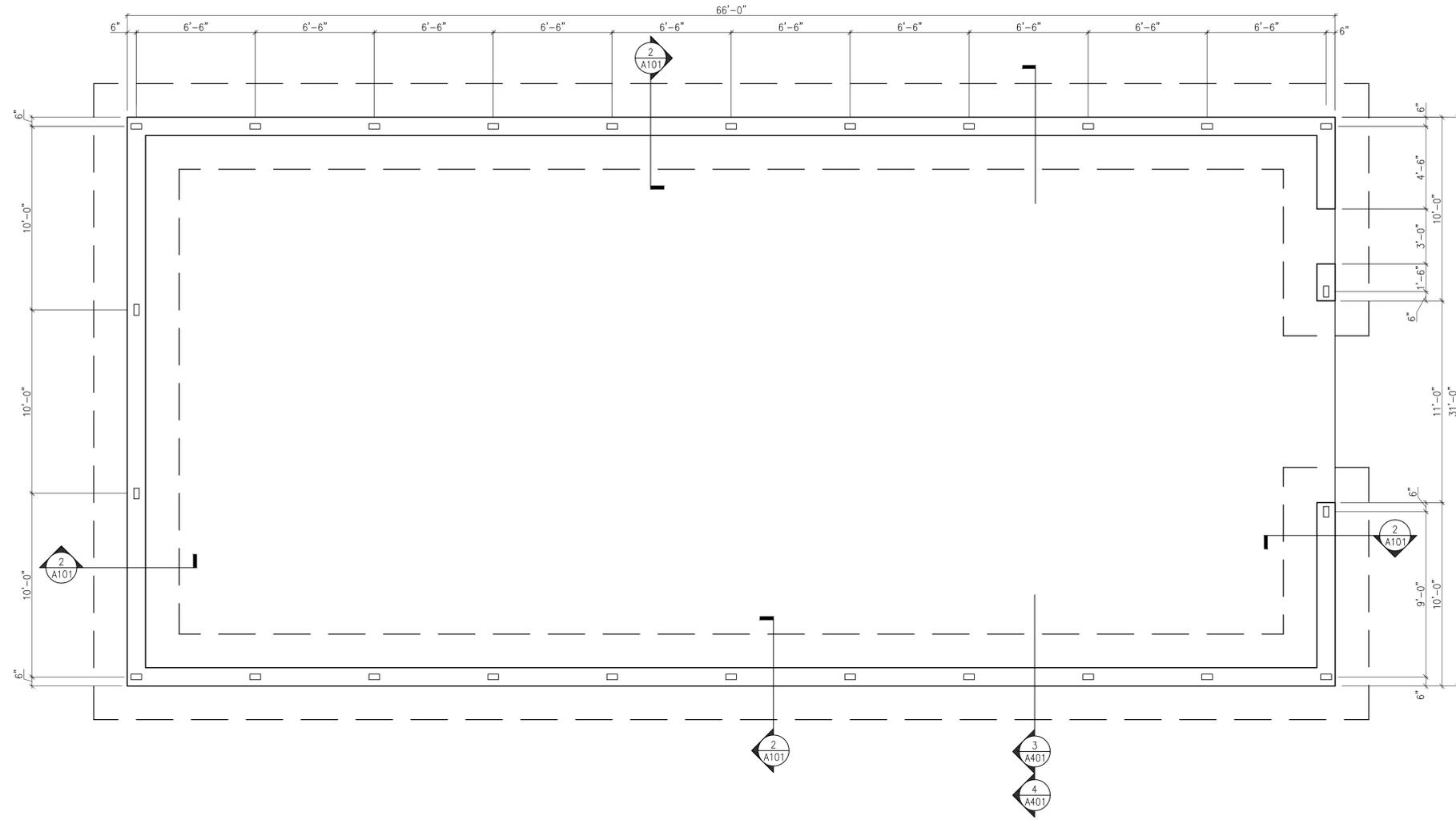
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

ARCHITECT/ENGINEER:
Cedar corporation
800-472-7372
www.cedarcorp.com
MENOMONIE • MADISON • GREEN BAY
engineers • architects • planners • environmental specialists
land surveyors • landscape architects • interior designers

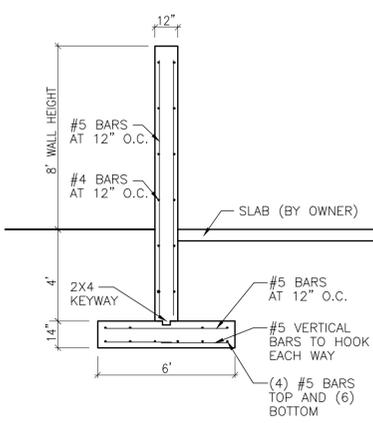
CONSULTANT:

VILLAGE OF JACKSON
SALT STORAGE SHED
W194 N16660 EAGLE DRIVE
JACKSON, WI 53037

JOB NO:
J5789-006
DRAWN BY: BWR
CHECKED BY: CAS
ISSUE DATE:
AUGUST, 2018
SET TYPE:
PRELIMINARY
TITLE SHEET
SHEET NO.
TS01



1 OVERALL FLOOR PLAN



2 CONCRETE WALL DETAIL

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

ARCHITECT / ENGINEER:

800-472-7372
www.cedarcorp.com

MEMORONE • MADISON • GREEN BAY

engineers • architects • planners • environmental specialists
land surveyors • landscape architects • interior designers

CONSULTANT:

VILLAGE OF JACKSON

SALT STORAGE SHED
W194 N16660 EAGLE DRIVE
JACKSON, WI 53037

JOB NO. J5789-006

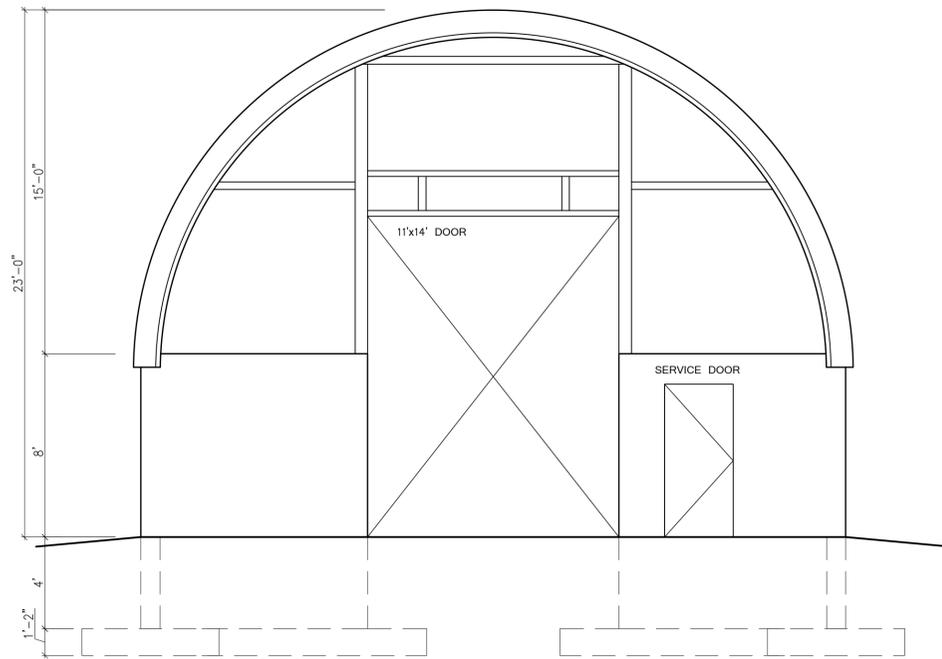
DRAWN BY: BWR CHECKED BY: CAS

ISSUE DATE: AUGUST, 2018

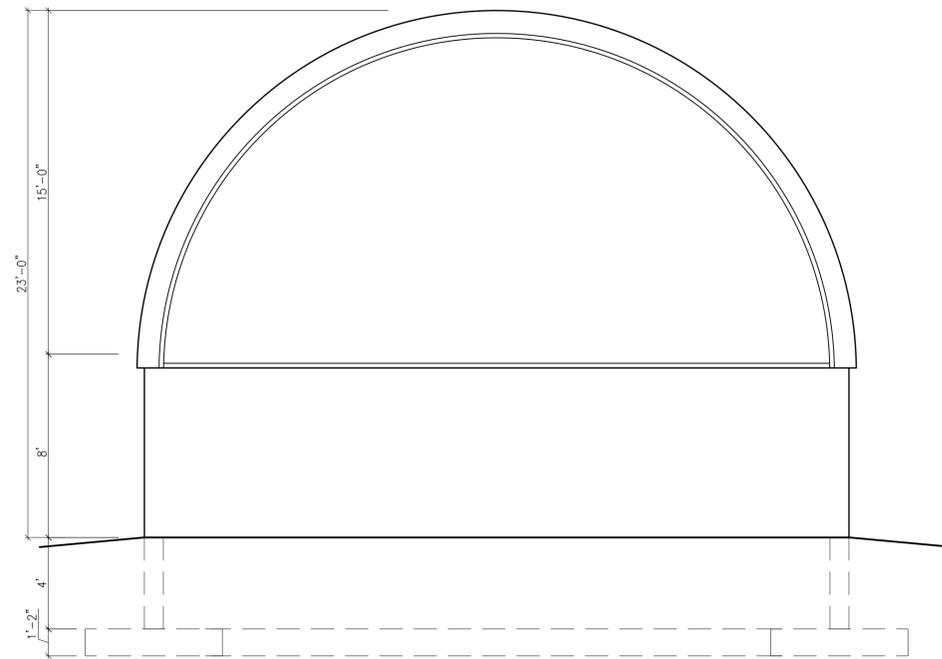
SET TYPE: PRELIMINARY

OVERALL FLOOR PLAN

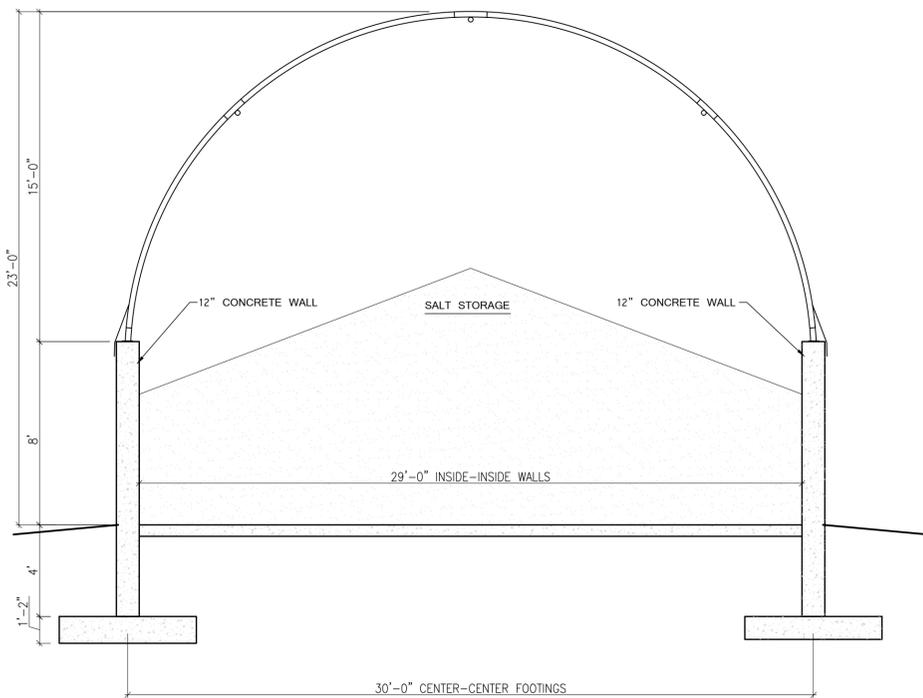
SHEET NO. A101



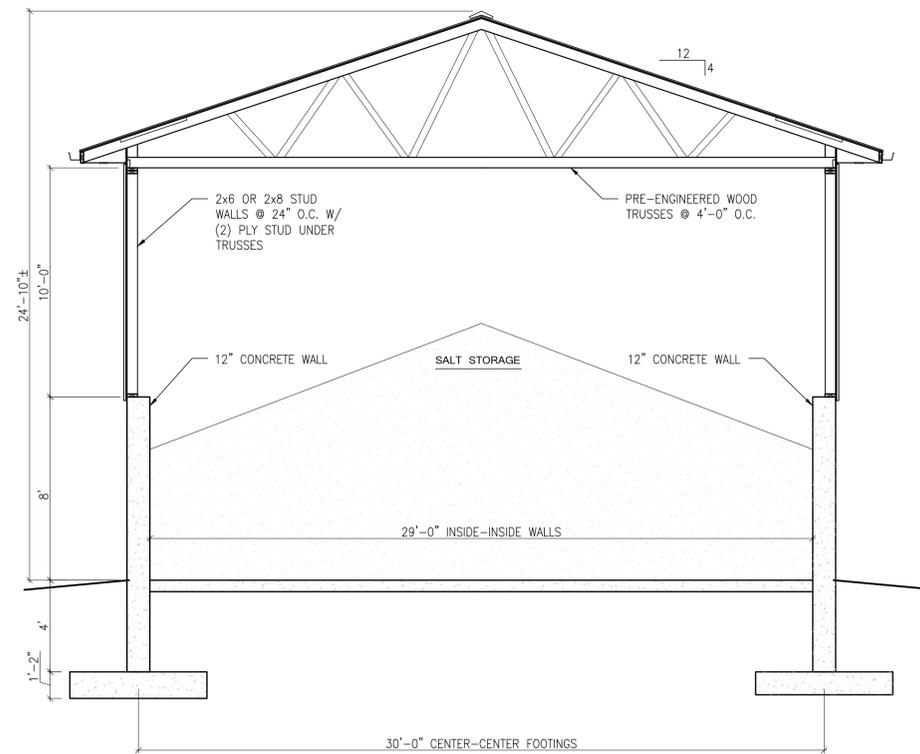
1 SOUTH ELEVATION
A401



2 NORTH ELEVATION
A401



3 BUILDING SECTION
A401



4 CONCEPTUAL WOOD FRAME BUILDING SECTION
A401

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ARCHITECT/ENGINEER:
Cedar corporation
 800-472-7372
 www.cedarcorp.com
 MENOMONIE • MADISON • GREEN BAY
 engineers • architects • planners • environmental specialists
 land surveyors • landscape architects • interior designers

CONSULTANT:

VILLAGE OF JACKSON
 SALT STORAGE SHED
 W194 N16660 EAGLE DRIVE
 JACKSON, WI 53037

JOB NO.
J5789-006
 DRAWN BY: BWR
 CHECKED BY: CAS
 ISSUE DATE
AUGUST, 2018
 SET TYPE
PRELIMINARY

EXTERIOR
ELEVATIONS &
SECTION

0 2' 4' 8'
 SHEET NO.
A401

Public Works Report

August 28, 2018

Treatment Plant - Designed Capacity – 1.67 million gallons per day
Peak Flow Capacity – 6.0 million gallons per day

Year 2016

| | | | |
|-----------|--------------------------|--------------------------|---------------------|
| January | Avg. Flow 611,323 g.p.d. | Min. Flow 451,000 g.p.d. | Max. 924,000 g.p.d. |
| February | Avg. Flow 640,793 g.p.d. | Min. Flow 496,000 g.p.d. | Max. 851,000 g.p.d. |
| March | Avg. Flow 821,839 g.p.d. | Min. Flow 567,000 g.p.d. | Max. 1.463 MGD |
| April | Avg. Flow 718,000 g.p.d. | Min. Flow 563,000 g.p.d. | Max. 1.079 MGD |
| May | Avg. Flow 615,000 g.p.d. | Min. Flow 490,000 g.p.d. | Max. 937,000 g.p.d. |
| June | Avg. Flow 622,700 g.p.d. | Min. Flow 513,000 g.p.d. | Max. 892,000 g.p.d. |
| July | Avg. Flow 690,935 g.p.d. | Min. Flow 457,000 g.p.d. | Max. 1.074 MGD |
| August | Avg. Flow 1.039 MGD | Min. Flow 822,000 g.p.d. | Max. 1.338 MGD |
| September | Avg. Flow 1.333 MGD | Min. Flow 813,000 g.p.d. | Max. 2.166 MGD |
| October | Avg. Flow 1.319 MGD | Min. Flow 949,000 g.p.d. | Max. 2.572 MGD |
| November | Avg. Flow 1.111 MGD | Min. Flow 859,000 g.p.d. | Max. 1.818 MGD |
| December | Avg. Flow 1.211 MGD | Min. Flow 889,000 g.p.d. | Max. 2.063 MGD |

Year 2017

| | | | |
|-----------|--------------------------|--------------------------|----------------|
| January | Avg. Flow 1.230 MGD | Min. Flow 979,000 g.p.d. | Max. 1.606 MGD |
| February | Avg. Flow 1.204 MGD | Min. Flow 926,000 g.p.d. | Max. 2.141 MGD |
| March | Avg. Flow 1.559 MGD | Min. Flow 1.09 MGD | Max. 2.398 MGD |
| April | Avg. Flow 1.552 MGD | Min. Flow 1.049 MGD | Max. 2.446 MGD |
| May | Avg. Flow 1.392 MGD | Min. Flow 666,000 g.p.d. | Max. 2.588 MGD |
| June | Avg. Flow 1.283 MGD | Min. Flow 763,000 g.p.d. | Max. 2.429 MGD |
| July | Avg. Flow 1.225 MGD | Min. Flow 879,000 g.p.d. | Max. 1.711 MGD |
| August | Avg. Flow 1.049 MGD | Min. Flow 750,000 g.p.d. | Max. 1.414 MGD |
| September | Avg. Flow 870,300 g.p.d. | Min. Flow 714,000 g.p.d. | Max. 1.132 MGD |
| October | Avg. Flow 953,871 g.p.d. | Min. Flow 563,000 g.p.d. | Max. 1.257 MGD |
| November | Avg. Flow 886,967 g.p.d. | Min. Flow 729,000 g.p.d. | Max. 1,154 MGD |
| December | Avg. Flow 835,484 g.p.d. | Min. Flow 651,000 g.p.d. | Max. 1.074 MGD |

Year 2018

| | | | |
|----------|--------------------------|--------------------------|----------------|
| January | Avg. Flow 893,258 g.p.d. | Min. Flow 693,000 g.p.d. | Max. 1.541 MGD |
| February | Avg. Flow 1.072 MGD | Min. Flow 651,000 g.p.d. | Max. 2.476 MGD |
| March | Avg. Flow 1.011 MGD | Min. Flow 702,000 g.p.d. | Max. 1.365 MGD |
| April | Avg. Flow | | |
| May | Avg. Flow 1.577 MGD | Min. Flow 982,000 g.p.d. | Max. 2.807 MGD |
| June | Avg. Flow 1.053 MGD | Min. Flow 703,000 g.p.d. | Max. 1.422 MGD |
| July | Avg. Flow 942,871 g.p.d. | Min. Flow 699,000 g.p.d. | Max. 1.228 MGD |

Years Summary of Water Consumption

| | |
|--|--|
| 2006 Total Pumpage 207,719,000 gallons | 2007 Total Pumpage 217,224,000 gallons |
| 2008 Total Pumpage 229,613,000 gallons | 2009 Total Pumpage 231,160,000 gallons |
| 2010 Total Pumpage 239,326,000 gallons | 2011 Total Pumpage 240,268,000 gallons |
| 2012 Total Pumpage 253,492,000 gallons | 2013 Total Pumpage 228,371,000 gallons |
| 2014 Total Pumpage 230,973,000 gallons | 2015 Total Pumpage 222,621,000 gallons |
| 2016 Total Pumpage 254,531,000 gallons | 2017 Total Pumpage 251,387,000 gallons |

Year 2016

| | | | | | |
|--------|------|----------------|---------------------------|-------|--------------------|
| Jan. | Avg. | 580,680 g.p.d. | Highest Day 734,000 gals. | Total | 18,001,000 gallons |
| Feb. | Avg. | 603,930 g.p.d. | Highest Day 710,000 gals. | Total | 17,514,000 gallons |
| March | Avg. | 586,650 g.p.d. | Highest Day 693,000 gals. | Total | 18,186,000 gallons |
| April | Avg. | 660,200 g.p.d. | Highest Day 1.021 MGD | Total | 19,806,000 gallons |
| May | Avg. | 681,130 g.p.d. | Highest Day 997,000 gals. | Total | 21,115,000 gallons |
| June | Avg. | 781,870 g.p.d. | Highest Day 1.113 MGD | Total | 23,456,000 gallons |
| July | Avg. | 865,610 g.p.d. | Highest Day 1.046 MGD | Total | 26,834,000 gallons |
| August | Avg. | 817,940 g.p.d. | Highest Day 1.084 MGD | Total | 25,356,000 gallons |
| Sept | Avg. | 700,630 g.p.d. | Highest Day 835,000 gals | Total | 21,019,000 gallons |
| Oct | Avg. | 738,520 g.p.d. | Highest Day 1.235 MGD | Total | 22,894,000 gallons |
| Nov | Avg. | 654,530 g.p.d. | Highest Day 829,000 gals | Total | 19,636,000 gallons |
| Dec | Avg. | 668,190 g.p.d. | Highest Day 779,000 gals | Total | 20,714,000 gallons |

Year 2017

| | | | | | |
|--------|------|----------------|---------------------------|-------|--------------------|
| Jan. | Avg. | 630,710 g.p.d. | Highest Day 771,000 gals. | Total | 19,552,000 gallons |
| Feb. | Avg. | 640,790 g.p.d. | Highest Day 885,000 gals | Total | 17,942,000 gallons |
| March | Avg. | 611,520 g.p.d. | Highest Day 691,000 gals | Total | 18,957,000 gallons |
| April | Avg. | 703,070 g.p.d. | Highest Day 1.173 MGD | Total | 21,092,000 gallons |
| May | Avg. | 683,420 g.p.d. | Highest Day 988,000 gals | Total | 21,186,000 gallons |
| June | Avg. | 762,230 g.p.d. | Highest Day 1.044 MGD | Total | 22,867,000 gallons |
| July | Avg. | 730,580 g.p.d. | Highest Day 953,000 gals | Total | 22,648,000 gallons |
| August | Avg. | 745,900 g.p.d. | Highest Day 903,000 gals | Total | 23,123,000 gallons |
| Sept | Avg. | 738,170 g.p.d. | Highest Day 996,000 gals | Total | 22,145,000 gallons |
| Oct | Avg. | 716,100 g.p.d. | Highest Day 1.055 MGD | Total | 22,199,000 gallons |
| Nov | Avg. | 646,500 g.p.d. | Highest Day 783,000 gals | Total | 19,395,000 gallons |
| Dec | Avg. | 654,230 g.p.d. | Highest Day 754,000 gals. | Total | 20,281,000 gallons |

Year 2018

| | | | | | |
|-------|------|----------------|---------------------------|-------|--------------------|
| Jan. | Avg. | 674,710 g.p.d. | Highest Day 831,000 gals. | Total | 20,916,000 gallons |
| Feb. | Avg. | 660,820 g.p.d. | Highest Day 762,000 gals. | Total | 18,503,000 gallons |
| March | Avg. | 646,810 g.p.d. | Highest Day 784,000 gals. | Total | 20,051,000 gallons |
| April | Avg. | 656,300 g.p.d. | Highest Day 1.122 MGD | Total | 19,689,000 gallons |
| May | Avg. | 682,065 g.p.d. | Highest Day 840,000 gals. | Total | 21,144,000 gallons |
| June | Avg. | 694,600 g.p.d. | Highest Day 891,000 gals. | Total | 20,838,000 gallons |
| July | Avg. | 759,160 g.p.d. | Highest Day 1.172 MGD | Total | 23,534,000 gallons |

Pump Capacity - Well #1- 400 g.p.m. Well #3 -900 g.p.m. Well #4 - 1200 g.p.m. Well #5 – 1,100 g.p.m. Well #6 – 800 g.p.m.

WWTP – Holding & Septage Receiving

| | | | | | | | |
|-------------|--------------|-------------|--------------|-------------|--------------|-------------|--------------|
| 2005 | \$ 87,562.01 | 2006 | \$101,115.11 | 2007 | \$152,201.07 | 2008 | \$210,441.47 |
| 2009 | \$183,815.34 | 2010 | \$197,653.66 | 2011 | \$220,576.28 | 2012 | \$236,224.70 |
| 2013 | \$235,336.46 | 2014 | \$203,938.32 | 2015 | \$210,644.47 | 2016 | \$220,473.17 |
| 2017 | \$232,358.23 | | | | | | |

| 2016 | Holdings (gals) | Grease (gals) | G Decant (gals) | Septage (gals) | S Decant (gals) | Total Billings |
|-------------|----------------------------|--------------------------|----------------------------|---------------------------|----------------------------|-----------------------|
| Jan | 1,359,400 | | | 3,500 | 47,700 | \$11,528.02 |
| Feb | 1,443,000 | | | 1,500 | 31,350 | \$11,666.26 |
| March | 1,515,950 | | | 5,600 | 102,900 | \$14,166.14 |
| April | 1,600,500 | | | 25,000 | 284,250 | \$20,110.01 |
| May | 1,560,350 | | | 24,000 | 246,200 | \$18,817.63 |
| June | 1,551,600 | | | 49,100 | 257,900 | \$20,048.50 |
| July | 1,195,900 | | | 21,850 | 278,400 | \$16,803.25 |
| August | 1,506,850 | | | 29,750 | 276,250 | \$19,397.63 |
| September | 1,501,850 | | | 48,550 | 373,430 | \$22,541.63 |
| October | 1,447,150 | | | 126,250 | 389,054 | \$25,629.98 |
| November | 1,471,800 | | | 40,900 | 343,250 | \$21,255.76 |
| December | 1,657,250 | | | 11,250 | 225,160 | \$18,508.38 |

| 2017 | Holdings (gals) | Grease (gals) | G Decant (gals) | Septage (gals) | S Decant (gals) | Total Billings |
|-------------|----------------------------|--------------------------|----------------------------|---------------------------|----------------------------|-----------------------|
| Jan | 1,287,450 | | | 10,500 | 57,100 | \$11,503.39 |
| Feb | 1,358,400 | | 28,500 | 1,750 | 78,550 | \$13,361.76 |
| March | 1,678,850 | | 22,000 | 28,100 | 174,900 | \$18,967.89 |
| April | 1,581,350 | | | 35,600 | 320,900 | \$21,306.63 |
| May | 1,745,550 | | | 51,150 | 394,600 | \$25,002.63 |
| June | 1,664,600 | | | 38,700 | 321,950 | \$22,081.26 |
| July | 1,599,070 | | | 33,100 | 230,150 | \$19,070.78 |
| August | 1,669,850 | | | 35,100 | 273,850 | \$20,774.14 |
| September | 1,430,000 | | | 37,350 | 248,125 | \$18,422.13 |
| October | 1,710,550 | | | 64,200 | 454,850 | \$26,768.38 |
| November | 1,541,700 | | | 50,150 | 353,050 | \$22,395.00 |
| December | 1,174,400 | | | 13,700 | 127,250 | \$12,539.26 |

| 2018 | Holdings (gals) | Grease (gals) | G Decant (gals) | Septage (gals) | S Decant (gals) | Total Billings |
|-------------|----------------------------|--------------------------|----------------------------|---------------------------|----------------------------|-----------------------|
| Jan | 1,627,400 | | | 2,250 | 70,400 | \$14,055.51 |
| Feb | 1,632,750 | | | 1,750 | 69,850 | \$14,061.88 |
| March | 1,589,150 | | | 6,450 | 197,600 | \$17,943.45 |
| April | 1,451,750 | | | 16,750 | 234,400 | \$18,227.75 |
| May | 1,849,700 | | | 21,050 | 354,100 | \$24,597.35 |
| June | 1,636,850 | | | 38,900 | 351,450 | \$23,631.55 |
| July | 1,662,650 | | | 37,150 | 230,750 | \$20,741.70 |

Final Lift for Developed Subdivisions, and other Utility Projects for Bid

The Final paving project for Stonewall Drive, Living Word Lane, Highland Road, and English Oaks Drive has the curbing and sidewalk replaced and the roads will be completely paved by August 31st.

Rosewood Drive/TIF Expansion Project

The Rosewood Lane Project has the all the existing residents connected to the new system. The curbing has been installed with sidewalk to follow. The Village is working with We-Energies to have the utilities moved from over head to underground.

SCADA Upgrade Project

Town & Country Engineering and staff are working on completing the work order portion of the SCADA System project. No Change.

CTH P and STH 60 Intersection Project and old Park-n-Lot Property

Discussion continues with Washington County and WisDOT on ownership. No change.

Ridgeway Drive Reconstruction Project

Curbing is being installed with sidewalk installation to follow. The entire project is scheduled to be paved by mid-September.

WWTP Lab Cabinet Replacement

The lab cabinet replacement project is in the final stages with baseboard trim and the exhaust hood installation.

Maplewood Farms

Starting the review process for the Development.

Cobblestone Meadows Development

The Developer is waiting on financing to start the project.

Laurel Springs Addition No. 1

The Developer is waiting on financing to start the project.

Respectfully submitted, Brian W. Kober, P.E.