

AGENDA
BOARD OF PUBLIC WORKS MEETING
Tuesday, August 25, 2020 at 7:00 p.m.
Jackson Village Hall
N168 W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call
2. Approval of the Board of Public Works Minutes of June 30, 2020
3. Pay Request #2 - Spruce Street & Ridgeway Drive Extension Project
4. Laurel Springs Villas – Sanitary Sewer and Water Extension
5. Resolution 20-12 - Adopting 2019 CMAR Jackson Sewer Utility
6. Resolution 20-13 – Accepting Sanitary Sewer and Water Systems for Laurel Springs Addition #1 Development
7. Review of extending No Parking on Hickory Lane by Community Center
8. Review Ordinance Change of traffic signs for Laurel Springs Development
9. Discussion of Village Informational Signs
10. Director of Public Works Report
11. Citizens/Village Staff to address the Board
12. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

DRAFT Minutes
Board of Public Works Meeting
Tuesday, June 30, 2020 at 7:00 p.m.
Jackson Village Hall
N168 W20733 Main Street

1. Call to Order and Roll Call

Chair Olson called the meeting to order at 7:00 p.m.

Members Present: Tr. Heckendorf, Tr. Lippold and Gloria Teifke

Member Absent: Dan Leonard and Sarah Malchow

Staff Present: Brian Kober, John Walther and Jilline Dobratz

2. Approval of the Board of Public Works Minutes of February 25, 2020

Motion by Chair Olson, second by Tr. Lippold to approve the Board of Public Works minutes of February 25, 2020.

Vote: 4 ayes, 0 nays. Motion carried.

3. Pay Request #3 – Jackson Park Alley Project

Brian Kober explained this is for three separate projects. Sherman Road Drainage, \$4,757.87, the grass is coming in and the contractor is to remove the matting material. We are retaining \$3,558.30. Jackson Park West Parking Lot, \$51,957.25, was paved in the spring and funds being retained are \$3,852.79. The Jackson Park Cul-de sac, \$28,322.20, and retaining funds of \$8,023.49 for broken curb replacement. Tr. Heckendorf inquired on a water drainage issue at Jackson Park West Parking Lot after it rains. Brian Kober answered it does drain out slowly and will be reviewed if a change is necessary.

Motion by Chair Olson, seconded by Tr. Lippold to recommend Budget & Finance and Village Board approve Pay Request #3 – Jackson Park Alley Project to Payne & Dolan in an amount not to exceed \$85,037.32.

Vote: 4 ayes, 0 nays. Motion carried.

4. Resolution #20-09 Final Special Assessment Jackson Park Alley Project

Brian Kober reported the project total is \$160,469.73 and will be special assessing \$28,527.50 which hasn't changed since the preliminary.

Motion by Chair Olson, second by Tr. Heckendorf to recommend Budget & Finance and Village Board approve Resolution #20-09 Final Special Assessment Jackson Park Alley Project.

Vote: 4 ayes, 0 nays. Motion carried.

5. Resolution #20-10 Final Special Assessment Chateau Dr & Hickory Ln Project

Brian Kober stated there was one bidder. The sidewalk on Hickory Ln. is \$8.37 a square foot and a capped storm lateral at \$3,000.00. This hasn't changed since preliminary and will be special assessing \$19,949.26. Chateau storm lateral was capped at \$3,000.00 and will be special assessing \$38,118.57. The landscaping was delayed due to snow in November.

Motion by Chair Olson, second by Tr. Heckendorf to recommend Budget & Finance and Village Board approve Resolution #20-10 Final Special Assessment Chateau Dr & Hickory Lane Project.

Vote: 4 ayes, 0 nays. Motion carried.

6. Review of Bids – 2020 Road and Utility Project – Hunters Road

Brian Kober commented four bids were received. The Engineers' Estimate is \$718,556.00 and the low bid was \$458,548.12. Sidewalk is \$5.00 per square foot and storm lateral is \$2,200.00. There was an informational meeting tonight with the residents. This is a Local Road Improvement Project in which \$41,530.94 in funding will be received from WisDOT that will pay a portion of the engineering and inspection services.

Motion by Chair Olson, second by Tr. Lippold to recommend Budget & Finance and Village Board approve Review of Bids – 2020 Road and Utility Project – Hunters Road to Wondra Construction in an amount not to exceed \$458,548.12.

Vote: 4 ayes, 0 nays. Motion carried.

7. Resolution #20-11 Preliminary Special Assessment 2020 Road and Utility Project – Hunters Road

Brian Kober explained the project area. A preconstruction meeting will be held after July 14, 2020. The project will start the end of July and will be completed by September. A preliminary assessment letter will be mailed to the residents after Village Board approval.

Motion by Tr. Heckendorf, second by Tr. Lippold to recommend Budget & Finance and Village Board approve Resolution #20-11 Preliminary Special Assessment 2020 Road and Utility Project – Hunters Road.

Vote: 4 ayes, 0 nays. Motion carried.

8. Engineering Services for Phosphorus Compliance – Town & Country

Brian Kober explained the DNR is proposing a permit modification. We have to follow the same schedule of testing and meet .075 milligrams per liter (mg/L) by 2026. Town & Country would complete an evaluation to determine which compliance options may be selected. Chemicals would be used to get the phosphorus down to .075 by September. The study needs to be completed and the reports need to be done in five years. Right now, we are achieving 0.85 mg/L of phosphorus discharge. An upstream study will be done in year four.

Motion by Chair Olson, second by Tr. Lippold to recommend Budget & Finance and Village Board approve Engineering Services for Phosphorus Compliance – Town & Country in an amount not to exceed \$15,000.00.

Vote: 4 ayes, 0 nays. Motion carried.

9. Bielinski Homes Reimbursement Cedar Creek Water Main

Brian Kober stated a water main needs to be installed on the north side of Cedar Creek Road in order to complete the development of Laurel Springs Addition No. 1 and the paving of Cedar Creek Road. The water main will serve the future development of Laurel Springs Villas. Bielinski would pay for their portion of \$39,930.00.

Motion by Chair Olson, second by Tr. Lippold to recommend Budget & Finance and Village Board approve Bielinski Homes Reimbursement Cedar Creek Water Main in the amount of \$65,265.00.

Vote: 4 ayes, 0 nays. Motion carried.

10. Review of Quote for Final Surface of Cedar Creek Road

Brian Kober provided background information on the Town of Jackson putting the final 1.5" lift on Cedar Creek Road from the railroad tracks west to County Trunk Highway P. The proposal is for a 1.5" lift and the Village's standard is a 2" lift of asphalt.

Motion by Chair Olson, second by Tr. Lippold to recommend Budget & Finance and Village Board reject the Quote for Final Surface of Cedar Creek Road by Payne & Dolan and request a quote with a 2" lift to comply with Village standards.

Vote: 4 ayes, 0 nays. Motion carried.

11. Review of Quotes for Well #3 Sand Issue

Brian Kober reviewed the memo from Water Supervisor Dan Rathke regarding Well #3 sand issues. Quotes were requested from three contractors and one abstained due to their workload. The well is currently offline, and the sand is out of the main.

Motion by Chair Olson, second by Tr. Lippold to recommend Budget & Finance and Village Board approve the Quote for Well #3 Sand Issue to Water Well Solutions in the amount of \$14,920.00.

Vote: 4 ayes, 0 nays. Motion carried.

12. Update on STH 60 Path from Coffeerville to Eagle Drive

Brian Kober presented the plans for the path along Highway 60 on the South side of the road from Coffeerville to Eagle Drive. Also, would like to obtain a proposal for a pedestrian safe passageway with lights going across the street. In April a grant was applied for the project. The last two years grants were applied for but were not received. The results of the grant application should be known by September or October. We are under contract with Key Engineering and would like to go out for bid to have a contractor ready. Chair Olson inquired on waiting until the grant results come back before going forward with the project.

Motion by Chair Olson, second by Tr. Lippold to refer STH 60 Path from Coffeerville to Eagle Drive to the next Board of Public Works meeting.

Vote: 4 ayes, 0 nays. Motion carried.

13. Discussion of Village Informational Signs

Brian Kober reported he will apply for the signs and will ask the Department of Transportation (DOT) to start reviewing them. The design of the signs has not been finalized.

Motion by Chair Olson, second by Tr. Lippold to refer Discussion of Village Informational Signs to the next Board of Public Works meeting.

Vote: 4 ayes, 0 nays. Motion carried.

14. Director of Public Works Report

Brian Kober provided the report. He discussed the missing sidewalk along the east side of Eagle Drive between the two driveways of East Side Mart. The new Municipal

Complex site has major earth work being done, the pond is being dug, onsite water main and sewer are being installed and working to stabilize the site to start the footings. Storm sewer, pond, conduit, is all going in. Ridgeway Drive and Spruce Streets are under construction. Laurel Springs Subdivision has the first lift of asphalt, sidewalks and Village owned streetlights going in. John Walther gave a Park n Ride update. The initial appraisal by the DOT was received. Tr. Lippold inquired on a future date for the canceled Spring cleanup. Rescheduling in the fall was discussed.

Motion by Chair Olson, second by Tr. Lippold to place the Director of Public Works Report on file.

Vote: 4 ayes, 0 nays. Motion carried.

15. Citizens/Village Staff to Address the Board

Gloria Teifke asked about the status of Maplewood Farms. Brian Kober explained a ground water analysis is being completed, the results will be done in the next months. Morning Meadows Subdivision will have a Developer's Agreement at the July Plan Commission meeting. The first phase will start in the fall.

16. Adjourn.

Motion by Tr. Lippold, second by Chair Olson to adjourn.

Vote: 4 ayes, 0 nays. Meeting was adjourned 8:20 p.m.

Respectfully submitted,

Jilline Dobratz, *CMC/WCMC*
Village Clerk



engineering | architecture | environmental | surveying
landscape architecture | planning | economic development

W61 N497 Washington Avenue
Cedarburg, WI 53012
262-204-2360
800-472-7372
FAX 262-375-2688
www.cedarcorp.com

August 21, 2020

Village of Jackson
N168 W20733 Main Street
PO Box 637
Jackson, WI 53037

Attn: Mr. Brian Kober, P.E., Director of Public Works

Re: Contractor's Application for Payment No. 2
Spruce Street and Ridgeway Drive Extensions
Project No. 05789-0008

Dear Mr. Kober:

Enclosed for your use in payment to Wondra Construction, Inc. in the amount of \$374,818.52 is Contractor's Application for Payment No. 2.

Following your review and approval, please complete the application for payment forms within the areas reserved for the Owner. Thereafter, retain one copy for your records, provide the second copy to the Contractor with payment, and provide the third copy to our office.

Should you have any questions, please feel free to contact me at our Cedarburg office.

Sincerely,

CEDAR CORPORATION

A handwritten signature in blue ink, appearing to read "Douglas T. Kroes".

Douglas T. Kroes
Senior Construction Manager

Enclosed: Contractor's Application for Payment No. 2
Lien Waivers related to Application for Payment No. 1
Contractor's Construction Schedule dated 8/21/20

Cc: Roger Thimm, Wondra Construction, Inc.



ENGINEERS' JOINT CONTRACT DOCUMENTS COMMITTEE

Owner Engineer
 Contractor Funding Agency

Contractor's Application for Payment No. 2

To (Owner): Village of Jackson	Application Period: 7/23/20 - 8/20/20	Application Date: 8/21/2020
Project: Spruce Street and Ridgeway Drive Extensions	From (Contractor): Wondra Construction, Inc.	Via (Engineer): Cedar Corporation
Owner's Contract No: A-20	Contract: Roger Thimm	Engineer's Project No: 05789-0008
Contractor's Project No:		

Application For Payment Change Order Summary

Approved Change Orders	Additions	Deductions
Number 1		\$785.00
TOTALS		\$785.00
NET CHANGE BY CHANGE ORDERS		(\$785.00)

- ORIGINAL CONTRACT PRICE..... \$ 1,424,505.55
- Net change by Change Orders..... \$ (\$785.00)
- Current Contract Price (Line 1 ± 2)..... \$ ~~\$1,424,505.55~~ \$1,423,720.55
- TOTAL COMPLETED AND STORED TO DATE (Column 1 total on Progress Estimates)..... \$ 779,347.75
- RETAINAGE:
 - a. 5% X \$779,347.75 Work Completed..... \$ 338,967.39
 - b. 5% X _____ Stored Material..... \$ _____
 - c. Total Retainage (Line 5.a + Line 5.b)..... \$ 338,967.39
- AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5.c)..... \$ 740,380.36
- LESS PREVIOUS PAYMENTS (Line 6 from prior Application)..... \$ 365,561.84
- AMOUNT DUE THIS APPLICATION..... \$ 374,818.52

Contractor's Certification

The undersigned Contractor certifies, to the best of its knowledge, the following:

(1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;

(2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all Liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such Liens, security interest, or encumbrances); and

(3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor Signature: Roger Thimm

By: Roger Thimm Date: 8-21-2020

Payment of: \$ 374,818.52 (Line 8 or other - attach explanation of the other amount)

is recommended by: Wondra Construction, Inc. (Engineer) 8/21/20 (Date)

Payment of: \$ 374,818.52 (Line 8 or other - attach explanation of the other amount)

is approved by: _____ (Owner) _____ (Date)

Approved by: _____ Funding or Financing Entity (if applicable) _____ (Date)

Unit Price Progress Estimate

Contractor's Application

Project: Spruce Street and Ridgeway Drive Extensions		Application Period: 7/23/20 - 8/20/20		Application Number: 2		Application Date: August 21, 2020														
Bid No.	Item Description	Estimated Bid Quantity	Unit Price	B		C		D		E		F		G		H		I	J	
				Previous Applications Quantity	Amount	Quantity	Amount	This Application Quantity	Amount			Quantity								
1	CLEARING AND GRUBBING	1 L.S.	\$12,000.00	1	\$12,000.00													1	\$12,000.00	100.0%
2	COMMON EXCAVATION	1 L.S.	\$132,600.00	0.75	\$99,450.00													0.75	\$99,450.00	75.0%
3	IMPORTED FILL MATERIAL	3,200 C.Y.	\$26.00																	
4	SAW CUTTING ASPHALT PAVEMENT	451 L.F.	\$3.35																	
5	ASPHALT PAVEMENT REMOVAL	562 S.Y.	\$2.60																	
6	8" PVC SANITARY SEWER MAIN	1,871 L.F.	\$90.00																	
7	48" DIA. SANITARY SEWER MANHOLE (7 Units)	94 V.F.	\$310.25																	
8	SANITARY MANHOLE RIM ADJUSTMENT	1 EACH	\$550.00																	
9	8" PVC WATER MAIN	2,750 L.F.	\$64.10																	
10	12"X 8" LIVE TAPPING TEE	2 EACH	\$3,850.00																	
11	HYDRANT ASSEMBLY	6 EACH	\$5,535.00																	
12	8" GATE VALVE	10 EACH	\$1,995.00																	
13	REMOVE CATCH BASIN	1 EACH	\$500.00																	
14	27" RCP STORM SEWER	76 L.F.	\$67.95																	
15	27" RCP APRON ENDWALL (AEW) W/ TRASHGUARD	1 EACH	\$1,720.00																	
16	24" RCP STORM SEWER	734 L.F.	\$60.60																	
17	24" RCP APRON ENDWALL (AEW) W/ TRASHGUARD	1 EACH	\$1,455.00																	
18	18" RCP STORM SEWER	495 L.F.	\$1.90																	
19	18" RCP APRON ENDWALL (AEW) W/ TRASHGUARD	1 EACH	\$1,200.00																	
20	15" RCP STORM SEWER	88 L.F.	\$46.90																	
21	15" RCP APRON ENDWALL (AEW) W/ TRASHGUARD	1 EACH	\$1,080.00																	
22	12" RCP STORM SEWER	290 L.F.	\$44.70																	
23	48" DIA. STORM SEWER MANHOLE (5 Units)	16 V.F.	\$723.75																	
24	60" DIA. STORM SEWER MANHOLE (1 Unit)	4 V.F.	\$736.50																	
25	2' X 3' STORM SEWER CATCH BASIN	16 EACH	\$1,930.00																	
26	POND OUTLET STRUCTURE	1 EACH	\$4,420.00																	
27	CULVERT REMOVAL W/O REPLACEMENT	2 EACH	\$300.00																	
28	53"X 34" HERCP CULVERT REMOVE AND REPLACE	204 L.F.	\$137.00																	
29	53"X 34" HERCP CULVERT APRON ENDWALL (AEW)	4 EACH	\$1,725.00																	
30	68"X 43" HERCP CULVERT	170 L.F.	\$180.60																	
31	68"X 43" HERCP CULVERT APRON ENDWALL (AEW)	4 EACH	\$2,850.00																	
32	RIP RAP, MEDIUM	120 C.Y.	\$85.70																	
33	EXCAVATION BELOW SUBGRADE (EBS)	800 C.Y.	\$18.10																	
34	EBS BACKFILL, 1 1/4" DENSE	800 TONS	\$13.60																	
35	EBS BACKFILL, BREAKER RUN	800 TONS	\$14.15																	
36	CRUSHED AGGREGATE BASE COURSE 1 1/4"	6029 TONS	\$13.10																	
37	REMOVE CURB AND GUTTER	272 L.F.	\$5.00																	
38	30" CURB AND GUTTER TYPE D	5,225 L.F.	\$12.50																	
39	7" CONCRETE DRIVEWAY APRON	1,212 S.F.	\$6.70																	
40	4" CONCRETE SIDEWALK	2,503 S.F.	\$3.80																	
41	LOWER LAYER HMA PAVEMENT, 3 LT	1,790 TONS	\$65.81																	
42	UPPER LAYER HMA PAVEMENT, 4 LT	1,040 TONS	\$62.90																	

Unit Price Progress Estimate

Contractor's Application

Project: Spruce Street and Ridgeway Drive Extensions		Application Number: 2																			
Application Period: 7/23/20 - 8/20/20		Application Date: August 21, 2020																			
Bid No.	Item Description	Estimated Bid Quantity	Unit Price	B		C		D		E		F		G		H		I		J	
				Previous Applications Quantity	Amount	Quantity	Amount	Quantity	Amount	Quantity	Amount	Quantity	Amount	Quantity	Amount	Quantity	Amount	Quantity	Amount	% Comp.	
1	CLEARING AND GRUBBING	1 L.S.	\$12,000.00	1	\$12,000.00																
43	DITCH CHECKS	19 EACH	\$158.00																		
44	SILT FENCE	2450 L.F.	\$1.50																		
45	INLET PROTECTION	17 EACH	\$85.00																		
46	TRACKING PAD	2 EACH	\$2,100.00	2	\$4,200.00															100.0%	
47	TRAFFIC CONTROL	1 L.S.	\$3,700.00	0.5	\$1,850.00															50.0%	
48	SITE RESTORATION	1 L.S.	\$36,800.00																		
Alt 1	ASPHALT WEDGING	1 L.S.	\$850.00																		
TOTAL					\$384,801.94		\$394,545.81													\$779,347.75	

WAIVER OF LIEN

Date August 18, 2020

For value received, We hereby waive All rights and claims for lien on building about to be erected, being

erected, erected, altered or repaired and to the appurtenances thereunto belonging.

for, Jackson Spruce St & Ridgeway Dr (Owner)

by, County Materials Corporation (Contractor)

same being situated in Washington County, State of Wisconsin, described as:
Structures

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, to \$58,588.35.

Pappy Sittnik HR

County Materials

WAIVER OF LIEN

Date August 18, 2020

For value received, We hereby waive All rights and claims for lien on building about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto belonging,

for, Jackson Spruce St & Ridgeway Dr (Owner)

by, Ferguson (Contractor) Supply LLC

same being situated in Washington County, State of Wisconsin, described as:

Pipe & Fittings

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, to \$107,293.21. thru 07/31/2020

Ferguson Enterprises, Inc.
on its behalf or as an agent for
its subsidiaries and affiliates

Ferguson Enterprises

Lucas Hubding Credit Manager

WAIVER OF LIEN

Date August 18, 2020

For value received, We hereby waive All rights and claims for lien on building about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto belonging,

for, Jackson Spruce St & Ridgeway Dr (Owner)

by, Jackson Concrete Inc (Contractor)

same being situated in Washington County, State of Wisconsin, described as:

Slurry

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, to \$3,984.74.

 PRESIDENT

JACKSON CONCRETE, INC.

WAIVER OF LIEN

Date August 18, 2020

For value received, We hereby waive All rights and claims for lien on building about to be erected, being erected, erected, altered or repaired and to the appurtenances thereunto belonging.

for, Jackson Spruce St & Ridgeway Dr (Owner)

by, Mayville Limestone Inc (Contractor)

same being situated in Washington County, State of Wisconsin, described as:

Aggregate

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, to \$3,528.34.

Brenda Schultz

Secretary

WAIVER OF LIEN

Date August 18, 2020

For value received, We hereby waive All rights and claims for lien on building about to be erected, being

erected, erected, altered or repaired and to the appurtenances thereunto belonging,

for, Jackson Spruce St & Ridgeway Dr (Owner)

by, West Bend Sand & Stone (Contractor)

same being situated in Washington County, State of Wisconsin, described as:

Aggregate

for all labor performed and for all material furnished for the erection, construction, alteration or repair of said building and appurtenances, to \$6,951.88.



Jackson - Spruce St & Ridgeway Drive

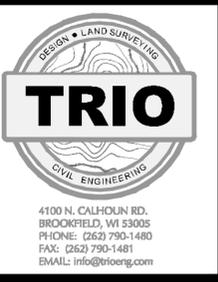
ID	Task Name	Duration	Start	Finish	
1	Pond Construction	5 days	Mon 8/17/20	Fri 8/21/20	
2	Site Grading	10 days	Mon 8/17/20	Fri 8/28/20	
3	Road Graveling	5 days	Mon 8/31/20	Fri 9/4/20	
4	Concrete Curb & Gutter	5 days	Mon 9/7/20	Fri 9/11/20	
5	Concrete Sidewalk	5 days	Mon 9/14/20	Fri 9/18/20	
6	Asphalt Fine Grading & Paving	5 days	Mon 9/21/20	Fri 9/25/20	
7	Topsoil & Final Restoration	10 days	Mon 9/28/20	Fri 10/9/20	
8	Substantial Completion	0 days	Tue 9/15/20	Tue 9/15/20	
9	Final Completion	0 days	Thu 10/15/20	Thu 10/15/20	

Date: Fri 8/21/20

Task



Manual Milestone



PROJECT:
LAUREL SPRINGS VILLAS
 MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
 1830 MEADOW LN., SUITE A
 PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
12/08/2018	PLAN UPDATE
12/19/2019	PLAN UPDATE
2/20/2020	PER FEMA FLOOD MAP
3/11/2020	UTILITY EASEMENT UPDATE
3/18/2020	UTILITY REVISIONS
3/26/2020	GRADING REVISIONS
8/19/2020	PER VILALGE COMMENTS

DATE:
 AUGUST 13, 2020

JOB NUMBER:
 16029-02

DESCRIPTION:
 COVER SHEET

SHEET
 T1

LAUREL SPRINGS VILLAS

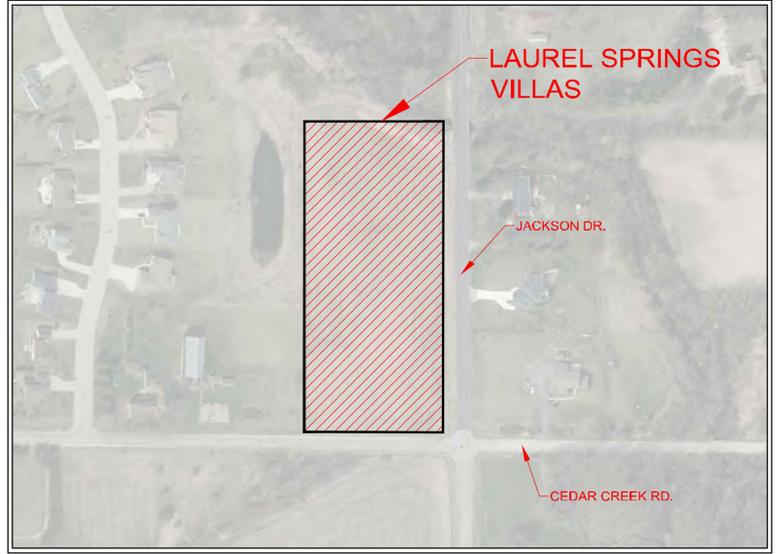
CONDOMINIUM DEVELOPMENT

SITE DEVELOPMENT PLANS

VILLAGE OF JACKSON, WISCONSIN

GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDRN STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - VILLAGE OF JACKSON STANDARDS & REQUIREMENTS FOR DEVELOPMENT, LATEST EDITION.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS AS REQUIRED BY MUNICIPAL ORDINANCE.
- NOTIFY ENGINEER IF DRAIN TILE ARE ENCOUNTERED DURING SITE CONSTRUCTION. RECONNECT ANY BROKEN OR DAMAGED DRAIN TILE DURING CONSTRUCTION.



LOCATION MAP
 NOT TO SCALE



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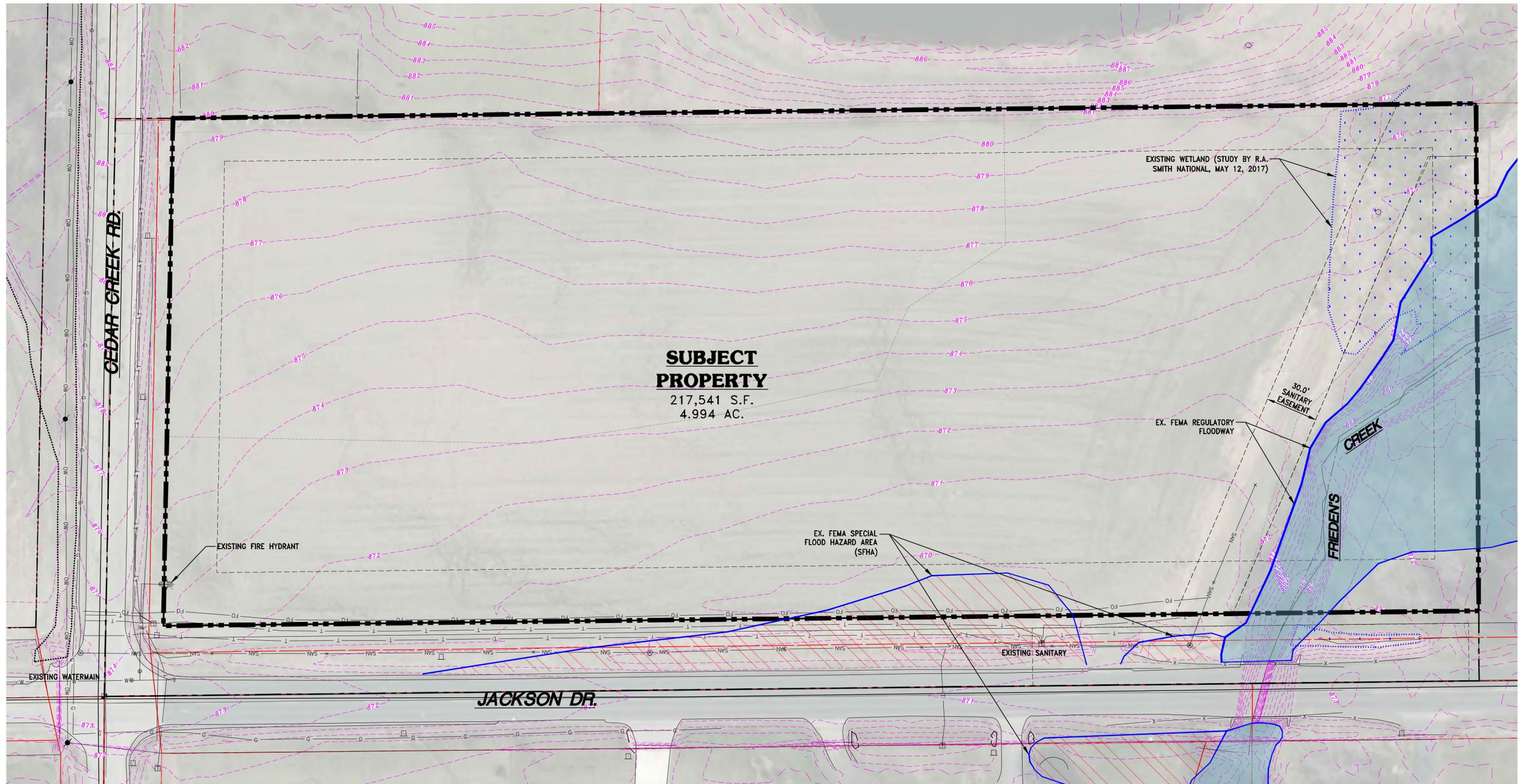
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SHEET INDEX

T1	- COVER SHEET
C1.1	- EXISTING SITE PLAN
C1.2	- PROPOSED SITE PLAN
C2.0	- PROPOSED GRADING PLAN
C2.1	- INTERIM GRADING PLAN
C2.2	- EROSION CONTROL PLAN
C2.3	- POND PLANS AND DETAILS
C3.0	- STORM SEWER PLAN
C3.1	- SANITARY AND WATER MAIN PLAN & PROFILE
C3.2	- CEDAR CREEK ROAD WATER MAIN PLAN
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C4.1	- PROJECT SPECIFICATIONS

H:\C900\966\16029-02-CREEKSIDE VILLAS\CONSTRUCTION PLANS\CIVIL PLANS-LAUREL SPRINGS VILLAS-22X34.DWG

H:\C900\966\16029-02-CREEKSIDE VILLAS\CONSTRUCTION PLANS\CIVIL PLANS-LAUREL SPRINGS VILLAS-22X34.DWG



**SUBJECT
PROPERTY**

217,541 S.F.
4.994 AC.

EXISTING WETLAND (STUDY BY R.A.
SMITH NATIONAL, MAY 12, 2017)

EX. FEMA REGULATORY
FLOODWAY

30.0'
SANITARY
EASEMENT

CREEK

FRIEDEN'S

EXISTING FIRE HYDRANT

EX. FEMA SPECIAL
FLOOD HAZARD AREA
(SFHA)

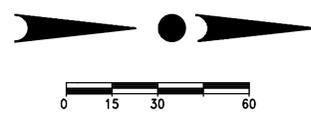
EXISTING SANITARY

JACKSON DR.

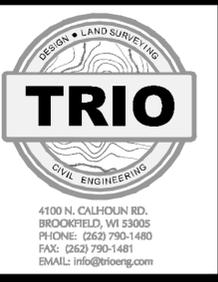


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LEGEND:	
—	EXISTING CONTOUR
— SAN —	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
— W —	EXISTING WATER MAIN
⊙	EXISTING HYDRANT
— ST —	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
□	EXISTING STORM INLET
⊠	EXISTING TRANSFORMER
⊞	EXISTING ELECTRIC PEDESTAL
⊠	EXISTING TELEPHONE PEDESTAL
⊠	EXISTING CATV PEDESTAL
⊠	EXISTING POWER POLE
⊠	EXISTING LIGHT POLE
⊠	EXISTING SOIL BORING



PROJECT:
LAUREL SPRINGS VILLAS
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY	
DATE	DESCRIPTION
12/08/2019	PLAN UPDATE
12/19/2019	PLAN UPDATE
2/20/2020	PER FEMA FLOOD MAP
3/11/2020	UTILITY EASEMENT UPDATE
3/18/2020	UTILITY REVISIONS
3/26/2020	GRADING REVISIONS
8/19/2020	PER VILALGE COMMENTS

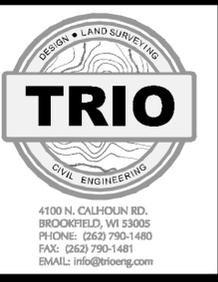
DATE:
AUGUST 13, 2020

JOB NUMBER:
16029-02

DESCRIPTION:
EXISTING SITE
PLAN

SHEET

C1.0



PROJECT:
LAUREL SPRINGS VILLAS
 MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 VILLAGE OF JACKSON, WISCONSIN
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 1830 MEADOW LN., SUITE A
 PEWAUKEE, WI 53072

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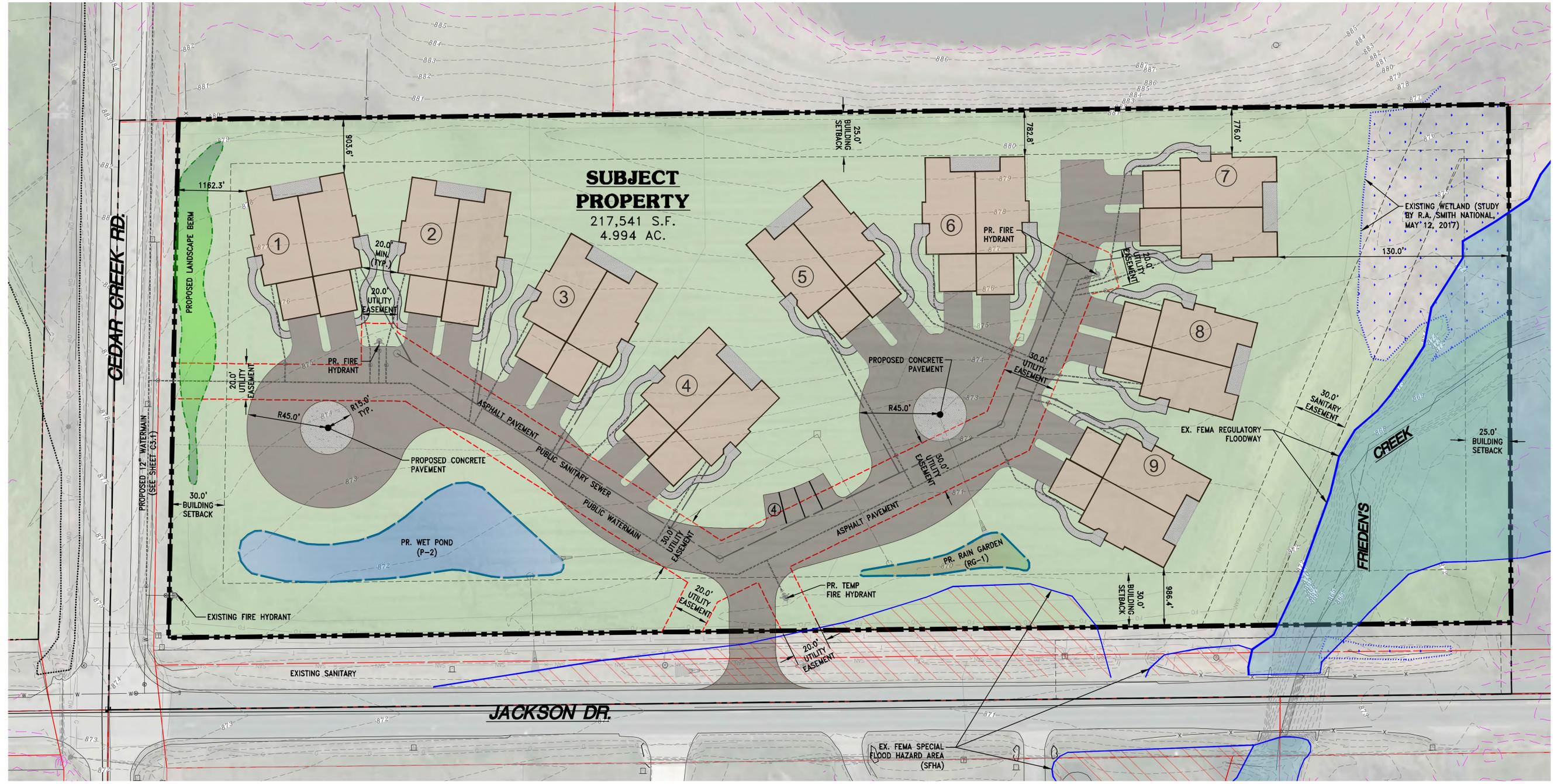
DATE:
 AUGUST 13, 2020

JOB NUMBER:
 16029-02

DESCRIPTION:
 PROPOSED SITE PLAN

SHEET

C1.1



SITE DETAILS

PROPOSED ZONING	=	R-6
NUMBER OF BUILDINGS	=	9 BUILDINGS
NUMBER OF UNITS	=	18 UNITS

SETBACKS:

FRONT YARD	=	25'
COLLECTOR STREET	=	30'
SIDE YARD	=	15'
REAR YARD	=	25'

LOT DATA:

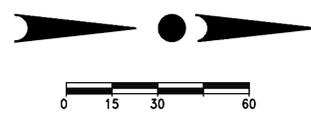
LOT AREA	=	4.994 AC. (217,541 S.F.)
PROPOSED OPEN SPACE	=	3.146 AC. (63.0%)
PR. IMPERVIOUS AREA	=	1.848 AC. (37.0%)

PARKING COUNT:

INTERIOR PARKING PER UNIT	=	2 SPACES
EXTERIOR PARKING PER UNIT	=	2 SPACES
COMMON PARKING SPACES	=	4 SPACES
TOATL PARKING COUNT	=	76 SPACES

LEGEND:

— SAN —	— EXISTING CONTOUR
○	— EXISTING SANITARY SEWER
○	— EXISTING SANITARY MANHOLE
— W —	— EXISTING WATER MAIN
○	— EXISTING HYDRANT
— ST —	— EXISTING STORM SEWER
○	— EXISTING STORM MANHOLE
□	— EXISTING STORM INLET
□	— EXISTING TRANSFORMER
□	— EXISTING ELECTRIC PEDESTAL
□	— EXISTING TELEPHONE PEDESTAL
□	— EXISTING CATV PEDESTAL
⚡	— EXISTING POWER POLE
—	— PROPOSED SANITARY SEWER
○	— PROPOSED SANITARY MANHOLE
—	— PROPOSED WATER MAIN
○	— PROPOSED HYDRANT
○	— PROPOSED WATER VALVE
—	— PROPOSED STORM SEWER
○	— PROPOSED STORM MANHOLE
□	— PROPOSED STORM INLET
—	— PROPOSED STORM END SECTION



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H:\C900\966\16029-02-CREEKSIDE VILLAS\CONSTRUCTION PLANS\CIVIL PLANS-LAUREL SPRINGS VILLAS-22X34.DWG



4100 N. CALHOUN RD.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

PROJECT:
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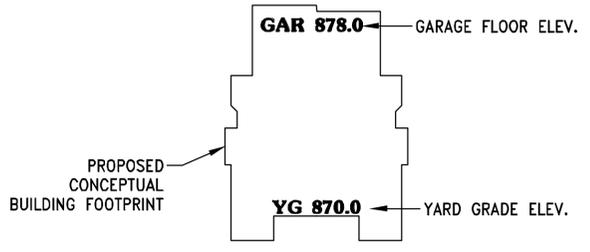
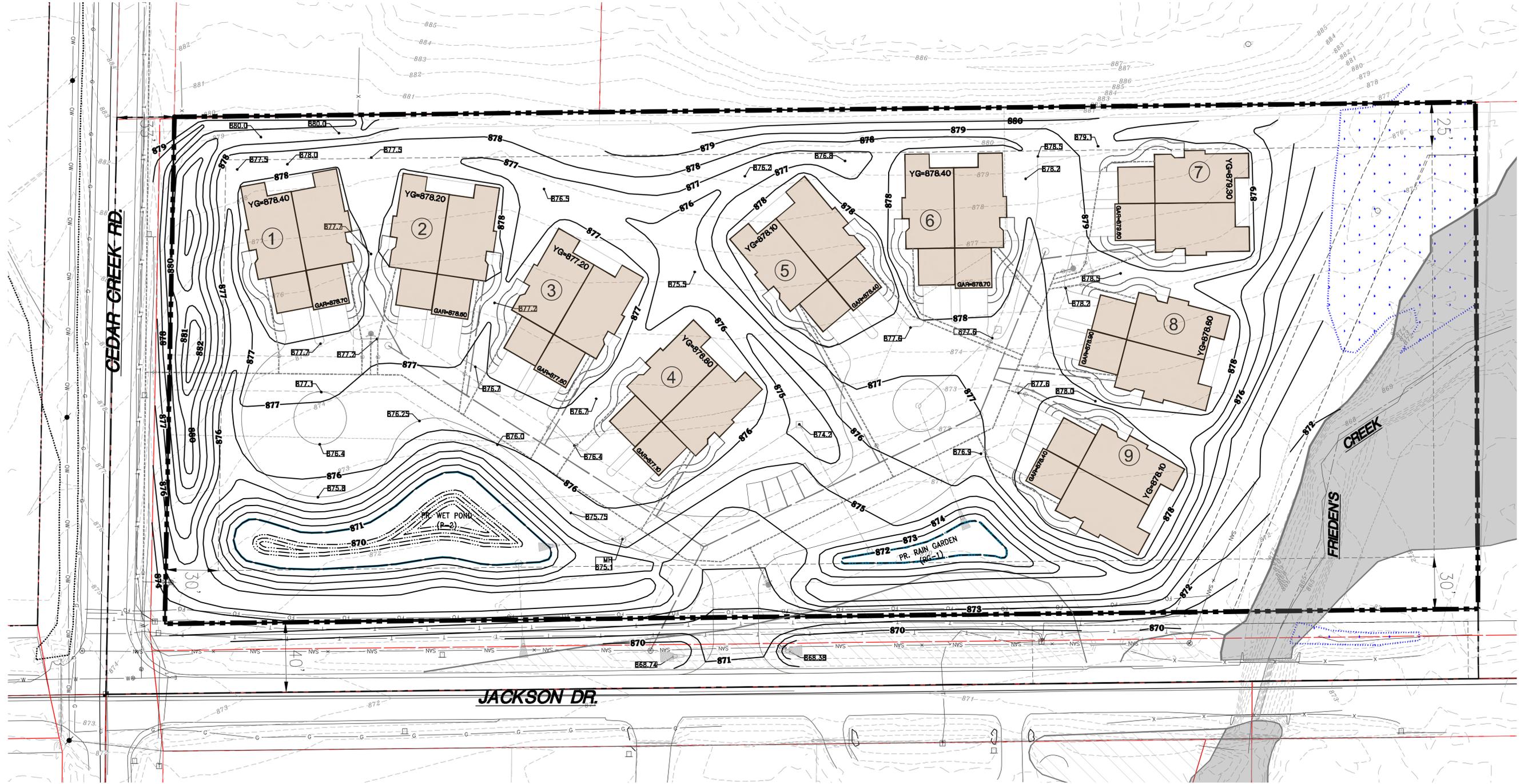
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PROPOSED GRADING PLAN

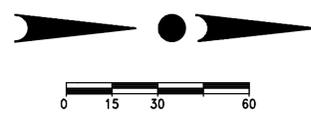
SHEET

C2.0



TYPICAL HOME ELEVATIONS
NOT TO SCALE

NOTE:
BUILDING EXPOSURES MAY BE INCLUDED, BUT
YARD GRADES SHALL BE HELD TO 874.4 MIN.



LEGEND:

	- EXISTING CONTOUR
	- PROPOSED CONTOUR
	- PROPOSED SPOT ELEVATION
	- PROPOSED FLOW ARROW
	- PROPOSED YARD GRADE
	- PROPOSED GARAGE GRADE

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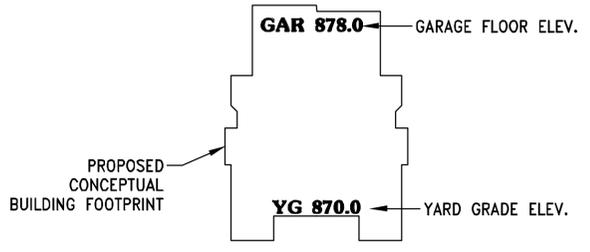
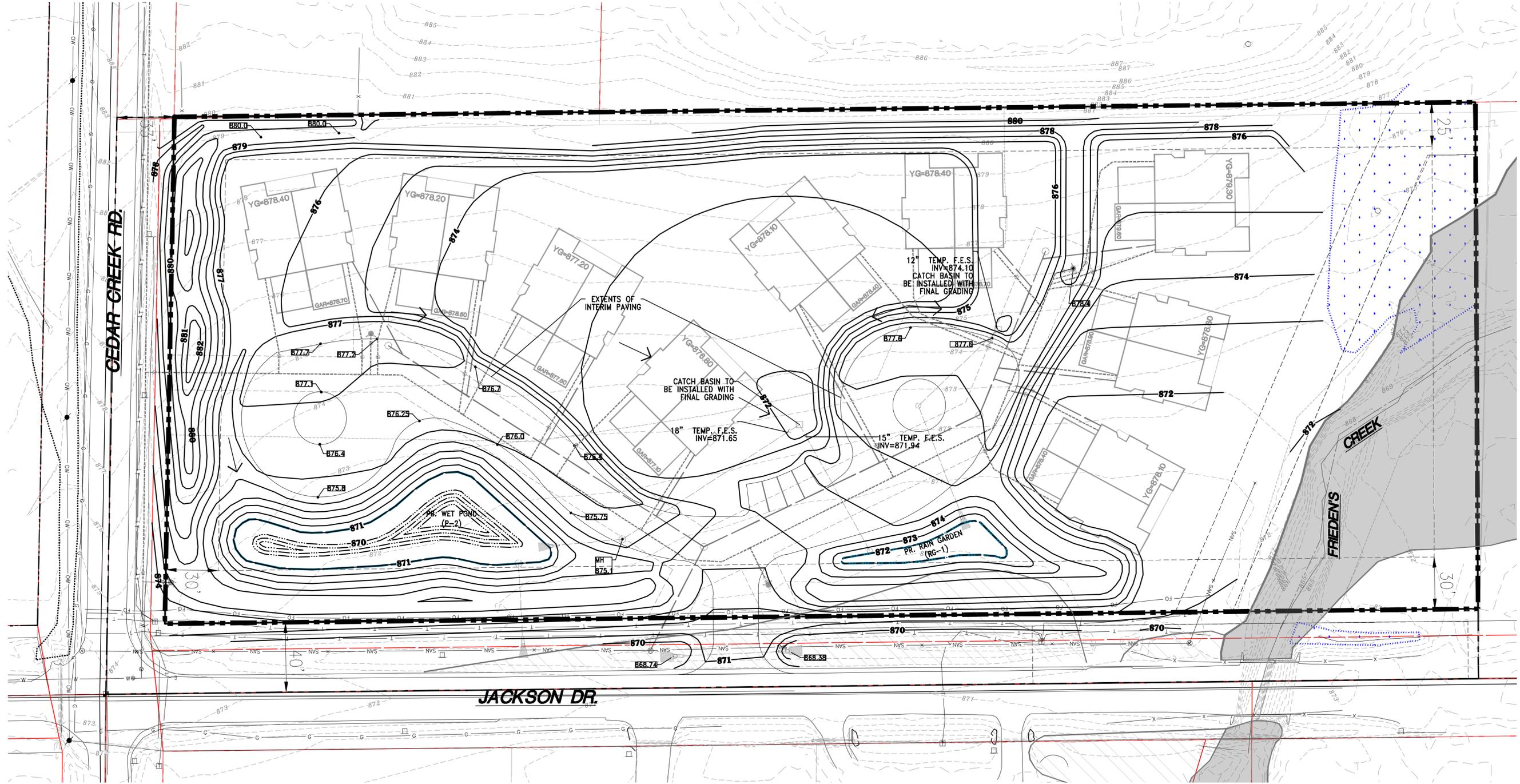
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JOB NUMBER:
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DESCRIPTION:
PROPOSED
INTERIM GRADING
PLAN

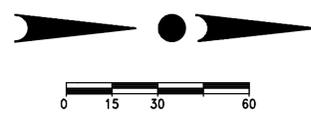
SHEET

C2.1



TYPICAL HOME ELEVATIONS
NOT TO SCALE

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LEGEND:

	- EXISTING CONTOUR
	- PROPOSED CONTOUR
	- PROPOSED SPOT ELEVATION
	- PROPOSED FLOW ARROW
	- PROPOSED YARD GRADE
	- PROPOSED GARAGE GRADE

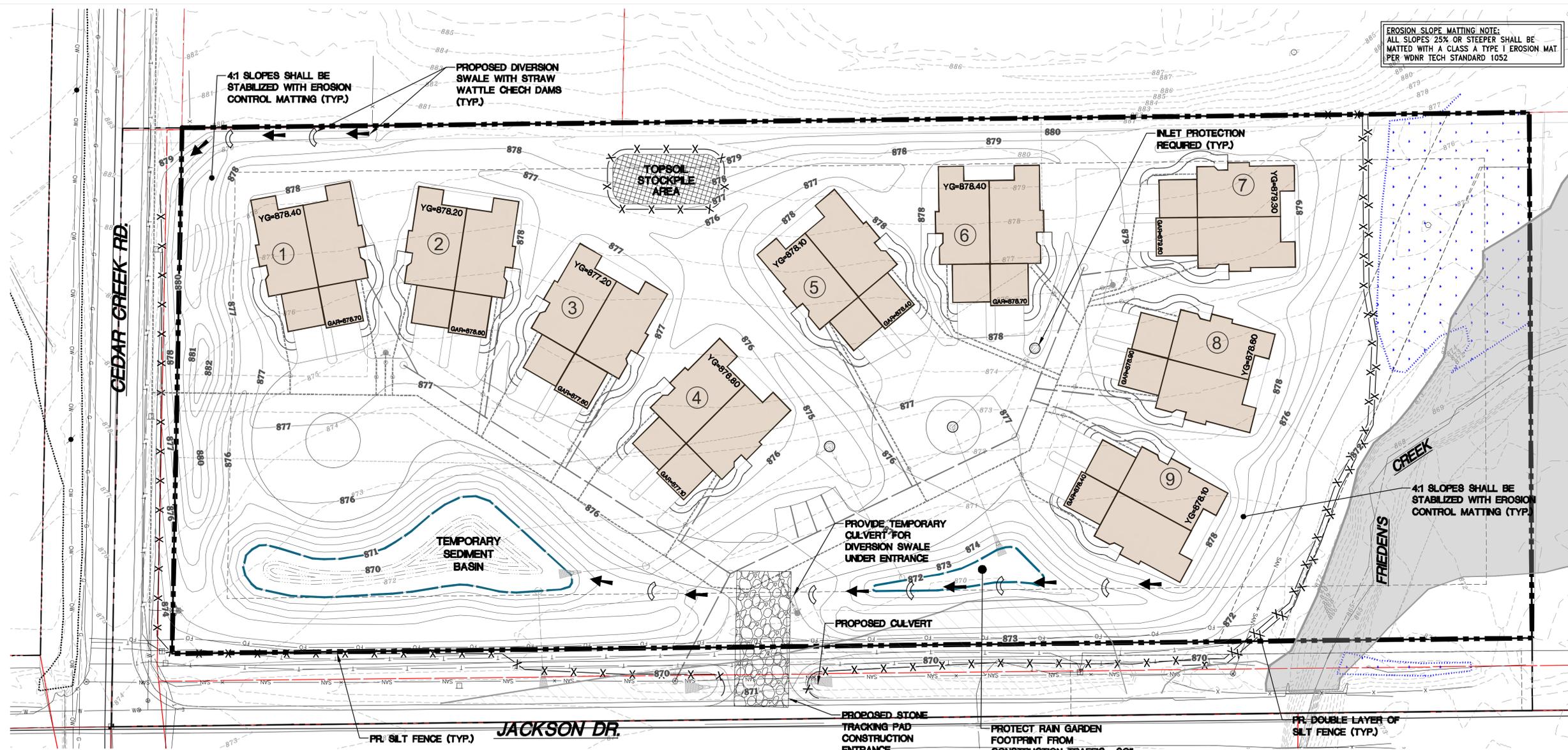


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EROSION CONTROL MATTING NOTE:
ALL SLOPES 25% OR STEEPER SHALL BE MATTED WITH A CLASS A TYPE I EROSION MAT PER WDNR TECH STANDARD 1052

4:1 SLOPES SHALL BE STABILIZED WITH EROSION CONTROL MATTING (TYP.)

PROPOSED DIVERSION SWALE WITH STRAW WATTLE CHECK DAMS (TYP.)

INLET PROTECTION REQUIRED (TYP.)

4:1 SLOPES SHALL BE STABILIZED WITH EROSION CONTROL MATTING (TYP.)

PROVIDE TEMPORARY CULVERT FOR DIVERSION SWALE UNDER ENTRANCE

PROPOSED CULVERT

PROPOSED STONE TRACKING PAD CONSTRUCTION ENTRANCE

PROTECT RAIN GARDEN FOOTPRINT FROM CONSTRUCTION TRAFFIC. SOIL SHALL NOT BE COMPACTED.

PR: DOUBLE LAYER OF SILT FENCE (TYP.)

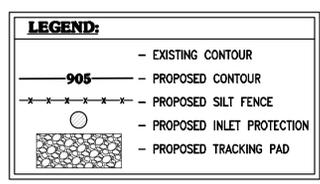
- EROSION CONTROL NOTES:**
1. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
 2. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE CITY ENGINEER.
 3. IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
 4. EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - B. PROTECT DOWNSTREAM OR ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
 - C. DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - D. PLACE SILT SOCKS/STRAW WATTLES OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - E. MAINTAIN EXISTING SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
 - F. PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 - G. PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - H. PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SOIL PILES.
 - I. CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - J. PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - K. TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - L. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARILY SEEDING AS OF THAT DATE.
 5. TEMPORARY EROSION CONTROL MEASURES:
 - A. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
 - B. IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
 - C. ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
 - D. TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
 - E. INSTALL SILT FENCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DETAILS.
 - F. ALL RIP RAP AT PIPE OUTLETS SHALL BE 3"x5" MEDIUM RIP RAP OVER TYPE R FABRIC PER WDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
 - G. EROSION CONTROL INSPECTION AND MAINTENANCE
 1. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 2. REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
 3. ALL AREAS TO BE SEEDING AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.
 - H. THE CONTRACTOR SHALL MAINTAIN AN APPROVED EROSION CONTROL PLAN ON SITE AT ALL TIMES.
 - I. THE CITY OF WEST ALLIS MAY TEMPORARILY SHUT DOWN THE PROJECT IF PROPER EROSION CONTROL IS NOT BEING FOLLOWED OR MAINTAINED.

TEMPORARY DEWATERING GEOTEXTILE BAG

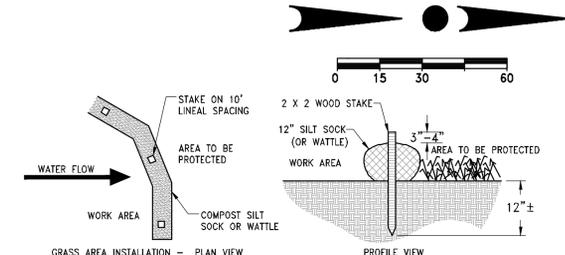
1. IF DEWATERING IS REQUIRED, A GEOTEXTILE DEWATERING BAG MEETING THE SPECIFICATIONS IN THE TABLE TO THE RIGHT SHALL BE UTILIZED AS STATED ON THE EROSION CONTROL PLAN.
2. REFER TO WDNR TECHNICAL STANDARDS 1061 AND MANUFACTURER'S REQUIREMENTS FOR INSTALLATION AND MAINTENANCE REQUIREMENTS.
3. CONTRACTOR MAY USE THRACE-LING, INC 275X GEOTEXTILE BAG, OR FUNCTIONAL EQUIVALENT TO MEET TECHNICAL STANDARD REQUIREMENTS.
4. CONTRACTOR MAY INSTALL HAY BALES AROUND DEWATERING BAG FOR STABILIZATION AS DICTATED BY SITE CONDITIONS.
5. MAX FLOW RATE SHALL NOT EXCEED 70GPM.
6. GEOTEXTILE BAG SHALL BE LOCATED ON UNDISTURBED GROUND WITH ESTABLISHED VEGETATIVE COVER. DISCHARGES OF TREATED WATER FROM THE GEOTEXTILE FILTER BAG SHALL NOT FLOW OVER UNSTABILIZED GROUND.

Property	Test Method	Type I Value
Maximum Apparent Opening Size	ASTM D-4751	0.212 mm
Grab Tensile Strength	ASTM D-4632	200 lbs.
Median Burst Strength	ASTM D-3786	350 psi
Permeability	ASTM D-4491	0.25 cm/sec
Fabric	Nominal Representative Weight	8 oz

WINTER STABILIZATION PROVISIONS:
IF FINAL SITE STABILIZATION OCCURS AFTER OCTOBER 15, CONTRACTOR SHALL UTILIZE ANIONIC POLYACRYLAMIDE AND TEMPORARY SEEDING, AS WELL AS, COORDINATE WITH CITY ENGINEER FOR LATE SEASON STABILIZATION REQUIREMENTS.



- WISCONSIN DEPARTMENT OF NATURAL RESOURCES, CONSERVATION PRACTICE STANDARD:**
- 1050 - LAND APPLICATION OF ANIONIC POLYACRYLAMIDE
 - 1052 - NON-CHANNEL EROSION MAT
 - 1055 - SEDIMENT BALE BARRIER (NON-CHANNEL)
 - 1056 - SILT FENCE
 - 1057 - STONE TRACKING PAD AND TIRE WASHING
 - 1058 - MULCHING FOR CONSTRUCTION SITES
 - 1059 - TEMPORARY SEEDING
 - 1060 - STORM DRAIN INLET PROTECTION FOR CONST. SITES
 - 1061 - DEWATERING
 - 1062 - DITCH CHECK
 - 1063 - SEDIMENT TRAP
 - 1066 - TEMPORARY DIVERSION BERM

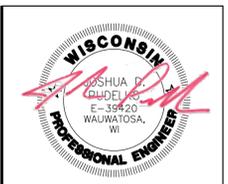


- NOTES:**
1. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
 2. REFER TO MANUFACTURERS AND/OR SUPPLIERS. SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS.
 3. ACTUAL LOCATION MAY BE FIELD ADJUSTED TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.

SILT SOCK INSTALLATION DETAIL
NO SCALE



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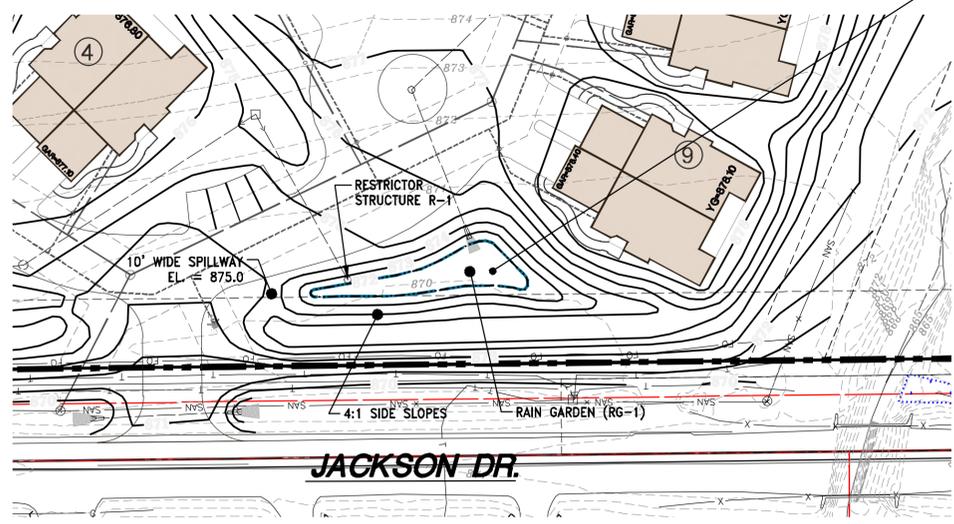
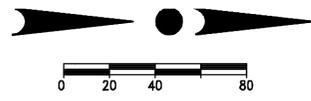
DATE:
AUGUST 13, 2020

JOB NUMBER:
16029-02

DESCRIPTION:
EROSION CONTROL PLAN

SHEET

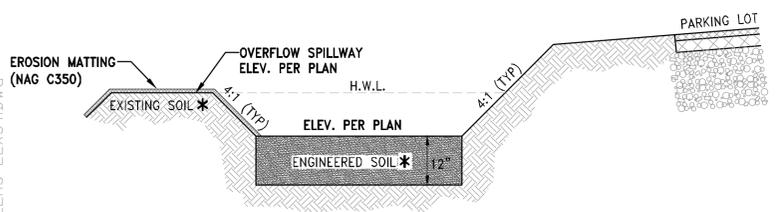
C2.2



PROPOSED RAINGARDEN RG-1:
 1-YR - 873.67
 2-YR - 873.72
 5-YR - 873.78
 100-YR - 873.95

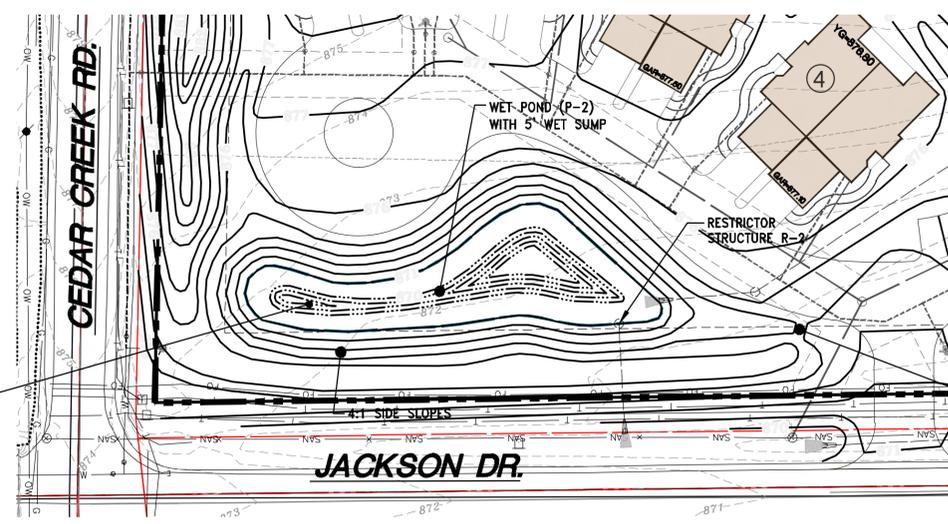
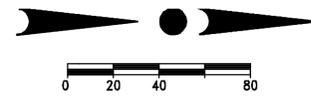
RAIN GARDEN (RG-1)

RAIN GARDEN DETAILS
 BOTTOM = 872.50
 RESTRICTOR STRUCTURE = 873.65
 EMERGENCY OVERFLOW WEIR = 874.00
 TOP OF BERM = 875.00



TYPICAL RAIN GARDEN SECTION

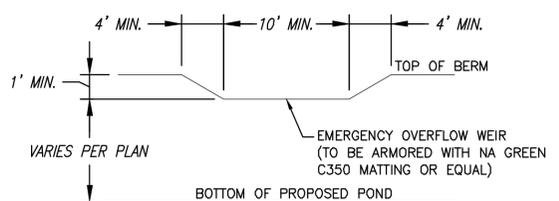
- N.T.S.
 * ENGINEERED SOIL SHALL BE A BLEND (TILL IN PLACE) OF 1" COMPOST & 11" OF SILT LOAM, OR LOAM SOIL MATERIAL.
1. TRACKED EQUIPMENT AND LOW WEIGHT VEHICLES SHALL BE USED TO CONSTRUCT INFILTRATION PONDS.
 2. PONDS SHALL BE CONSTRUCTED IN A MANNER THAT MINIMIZES SOIL COMPACTION.
 3. ALL POND SLOPES 4:1 OR GREATER SHALL BE MATTING WITH CLASS I, TYPE A EROSION MATTING.
 4. SOIL TESTS SHOULD BE COMPLETED PRIOR TO POND CONSTRUCTION TO VERIFY THE DEPTH TO APPROPRIATE SOILS; A QUALIFIED SOILS PROFESSIONAL SHOULD BE ON-SITE TO VERIFY THAT APPROPRIATE DEPTHS ARE REACHED TO HELP ENSURE THE PONDS FUNCTIONS PROPERLY.



PROPOSED WET POND P-2:
 1-YR - 872.05
 2-YR - 872.21
 5-YR - 872.51
 100-YR - 873.92

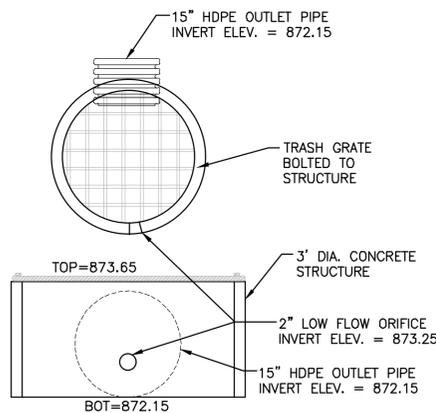
WET POND (P-2)

WET POND DETAILS
 BOTTOM = 866.00
 NWL = 871.00
 EMERGENCY OVERFLOW WEIR = 874.00
 TOP OF BERM = 875.00

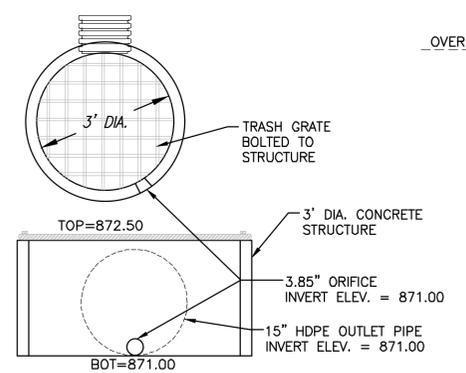


TYPICAL EMERGENCY OVERFLOW WEIR DETAIL

NOT TO SCALE
 NOTE: GRADES FOR TOP OF BERM, OVERFLOW SPILLWAY, AND BOTTOM OF POND SHALL BE PER PLAN.

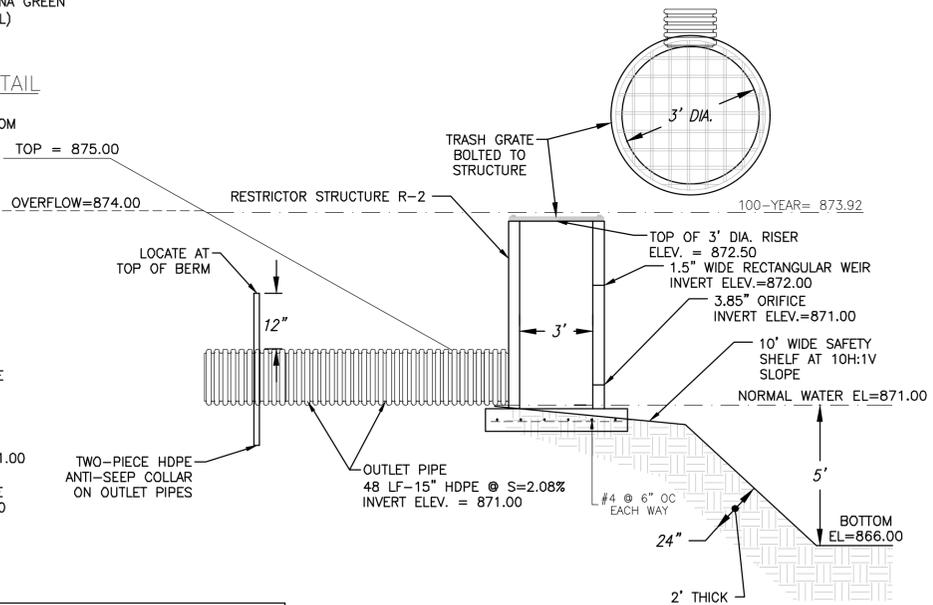


RESTRICTOR DETAIL R-1



RESTRICTOR DETAIL R-2

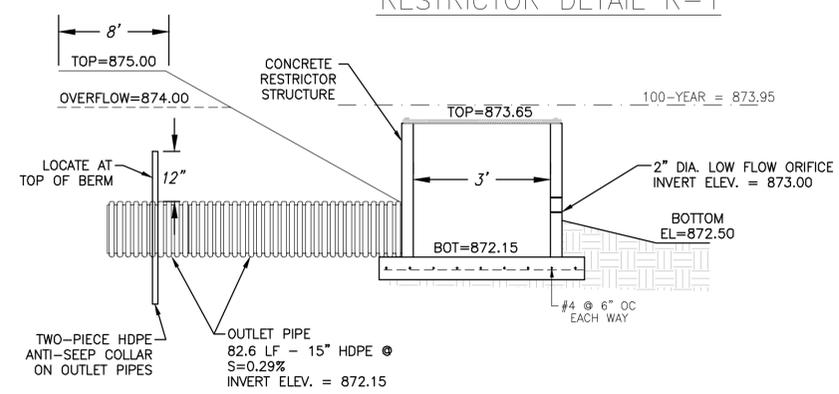
CLAY LINER NOTE:
 - 2" THICK CLAY LINER IN ACCORDANCE WITH WDNR TECH. STD. 1001 TYPE B, AND SOILS REPORT.
 - CLAY LINER MATERIALS SHOULD BE COMPACTED TO A MINIMUM OF 90 TO 92% DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR (ASTM D1557)
 - IF PREDOMINANTLY GRANULAR TEXTURE SOILS AND/OR GROUNDWATER INFLOW IS ENCOUNTERED AT OR BELOW THE BOTTOM ELEVATION OF THE POND, A "SACRIFICIAL" LIFT OF CLAYEY FILL MAY BE REQUIRED TO BE PLACED ALONG THE SIDEWALLS AND BASE PRIOR TO COMMENCING WITH ACTUAL LINER PLACEMENT/CONSTRUCTION TO AID IN ATTAINING A SATISFACTORILY COMPACTED LINER SECTION. THE PLACEMENT OF A "SACRIFICIAL" LAYER IS PARTICULARLY BENEFICIAL IN CREATING A STABLE SUBBASE IN THE EVENT SLIGHT GROUNDWATER SEEPAGE OCCURS.
 - 2" THICK CLAY LINER SHALL BE EXTENDED BEYOND THE NORMAL WATER LEVEL TO THE 2-YR, 24-HOUR PONDING ELEVATION OF 835.54, AS A MINIMUM.
 - GEOTECHNICAL TESTING SHALL BE PERFORMED ON POTENTIAL CLAY LINER MATERIAL TO CONFIRM THAT SPECIFICATIONS ARE MET.



TWO-PIECE ANTI-SEEP COLLAR NOTES:
 - ANTI-SEEP COLLAR MATERIAL SHALL MATCH OUTLET PIPE MATERIAL.
 - ANTI-SEEP COLLARS SHALL BE 1/4" POLYETHYLENE SHEETS WITH COLLAR FOR PIPE. DIMENSIONS SHALL BE AS NOTED ON THE DETAIL.
 - INSTALL ANTI-SEEP COLLARS PER MANUFACTURER SPECIFICATIONS.

WET POND P-2 & OUTLET STRUCTURE DETAIL

- NOT TO SCALE
- TEMPORARY CONSTRUCTION NOTES:**
 - PROPOSED BASIN IS TO BE EXCAVATED TO THE ELEVATIONS SHOWN ON PLANS.
 - SEDIMENT LEVELS WITHIN BASIN SHALL BE MONITORED PERIODICALLY THROUGHOUT THE PROJECT AND REMOVED ONCE WITHIN ONE FOOT OF THE TEMPORARY DISCHARGE PIPE.
 - ONCE SITE HAS REACHED FINAL STABILIZATION, REMOVE ALL SEDIMENT, AND RESTORE ALLS POND SLOPES TO PROPOSED FINAL GRADES.



TWO-PIECE ANTI-SEEP COLLAR NOTES:
 - ANTI-SEEP COLLAR MATERIAL SHALL MATCH OUTLET PIPE MATERIAL.
 - ANTI-SEEP COLLARS SHALL BE 1/4" POLYETHYLENE SHEETS WITH COLLAR FOR PIPE. DIMENSIONS SHALL BE AS NOTED ON THE DETAIL.
 - INSTALL ANTI-SEEP COLLARS PER MANUFACTURER SPECIFICATIONS.

RAINGARDEN RG-1 & OUTFALL STRUCTURE DETAIL

NOT TO SCALE



PROJECT:
LAUREL SPRINGS VILLAS
 MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
 1830 MEADOW LN., SUITE A
 PEWAWKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
12/09/2019	PLAN UPDATE
12/19/2019	PLAN UPDATE
2/20/2020	PER FEMA FLOOD MAP
3/11/2020	UTILITY EABEMENT UPDATE
3/18/2020	UTILITY REVISIONS
3/25/2020	GRADING REVISIONS
8/19/2020	PER VILALGE COMMENTS

DATE:
 AUGUST 13, 2020

JOB NUMBER:
 16029-02

DESCRIPTION:
 POND PLANS
 AND DETAILS

SHEET
 C2.3

H:\C900\966\16029-02-CREEKSIDE VILLAS\CONSTRUCTION PLANS\CIVIL PLANS\LAUREL SPRINGS VILLAS-22X34.DWG



4100 N. CALHOUN RD.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

PROJECT:
LAUREL SPRINGS VILLAS
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY	
DATE	DESCRIPTION
12/08/2018	PLAN UPDATE
12/19/2019	PLAN UPDATE
2/20/2020	PER FEMA FLOOD MAP
3/11/2020	UTILITY EASEMENT UPDATE
3/18/2020	UTILITY REVISIONS
3/28/2020	GRADING REVISIONS
8/19/2020	PER VILAGE COMMENTS

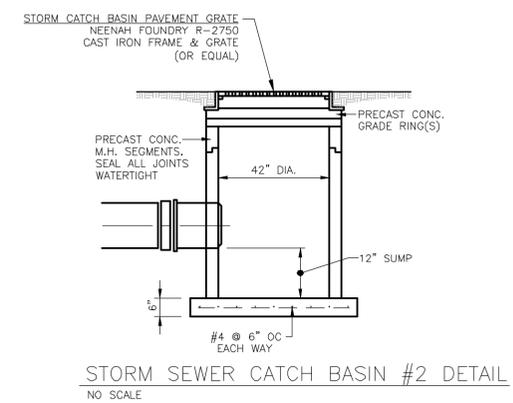
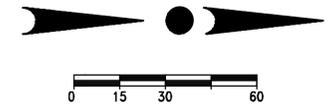
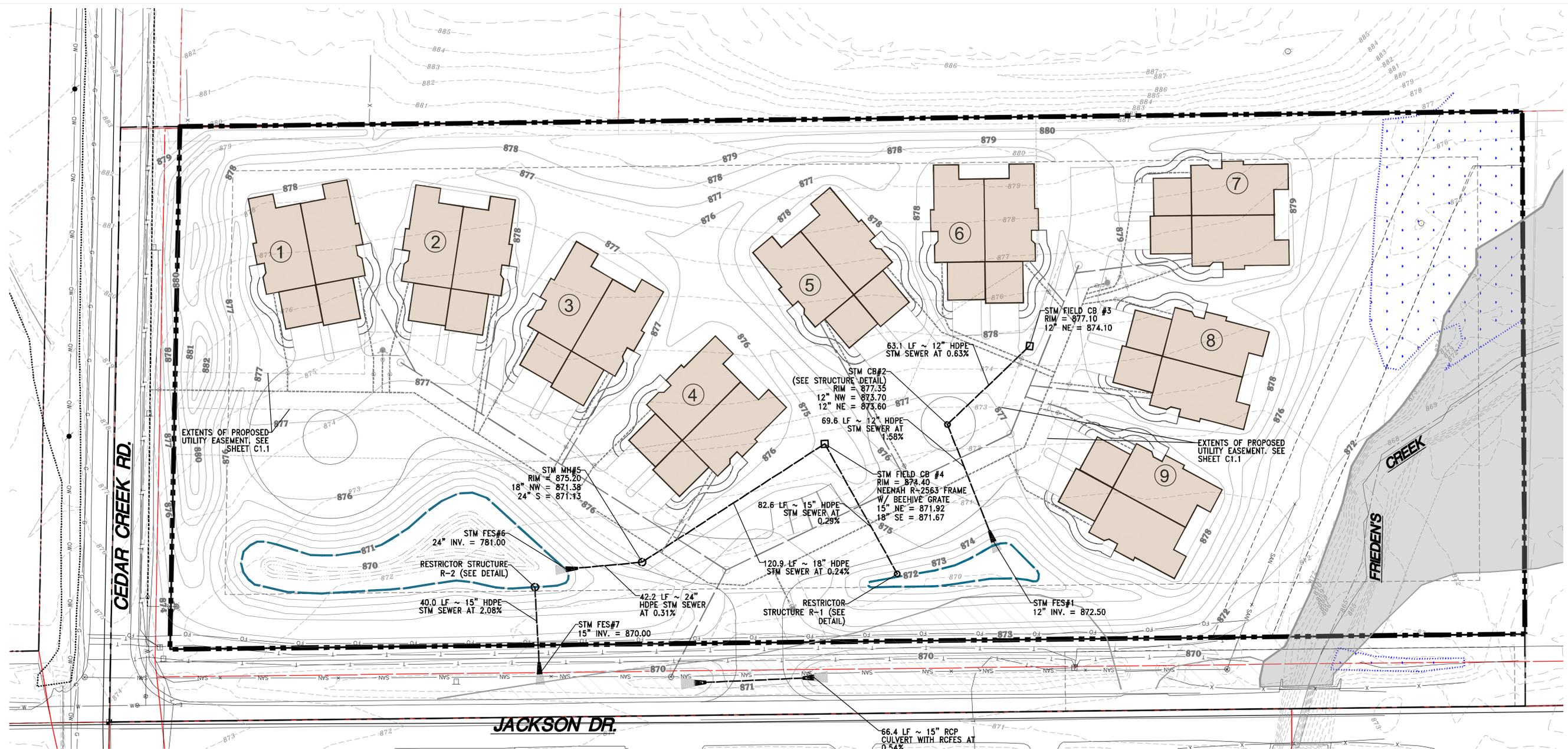
DATE:
AUGUST 13, 2020

JOB NUMBER:
16029-02

DESCRIPTION:
PROPOSED STORM
SEWER PLAN

SHEET

C3.0



LEGEND:	
—	EXISTING CONTOUR
—	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
—	EXISTING WATER MAIN
○	EXISTING HYDRANT
—	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
□	EXISTING STORM INLET
□	EXISTING TRANSFORMER
□	EXISTING ELECTRIC PEDESTAL
□	EXISTING TELEPHONE PEDESTAL
□	EXISTING CATV PEDESTAL
⚡	EXISTING POWER POLE
—	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
—	PROPOSED WATER MAIN
○	PROPOSED HYDRANT
○	PROPOSED WATER VALVE
—	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
□	PROPOSED STORM INLET
—	PROPOSED STORM END SECTION

NOTE:
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CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
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UTILITY NOTE:
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PROJECT:
LAUREL SPRINGS VILLAS
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
12/08/2019	PLAN UPDATE
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3/28/2020	GRADING REVISIONS
8/19/2020	PER VILAGE COMMENTS

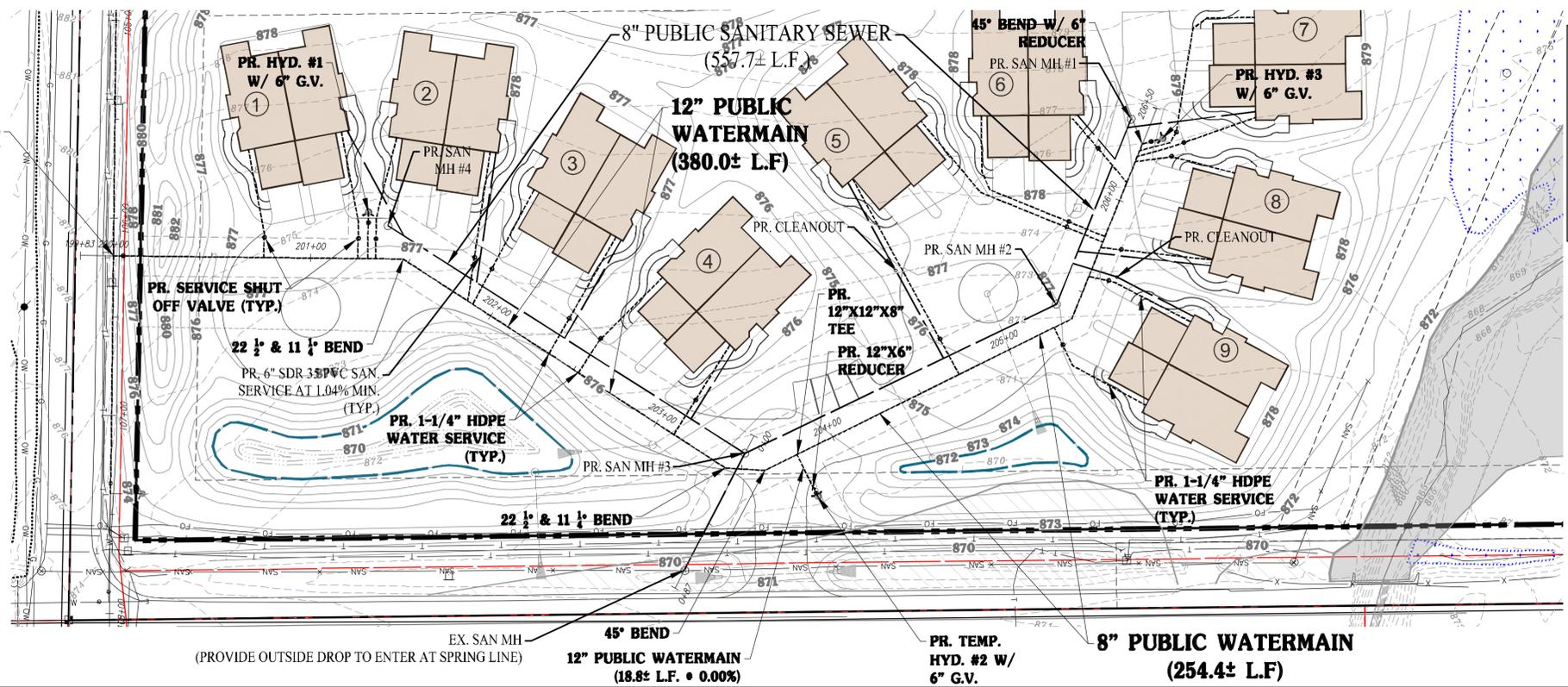
DATE:
AUGUST 13, 2020

JOB NUMBER:
16029-02

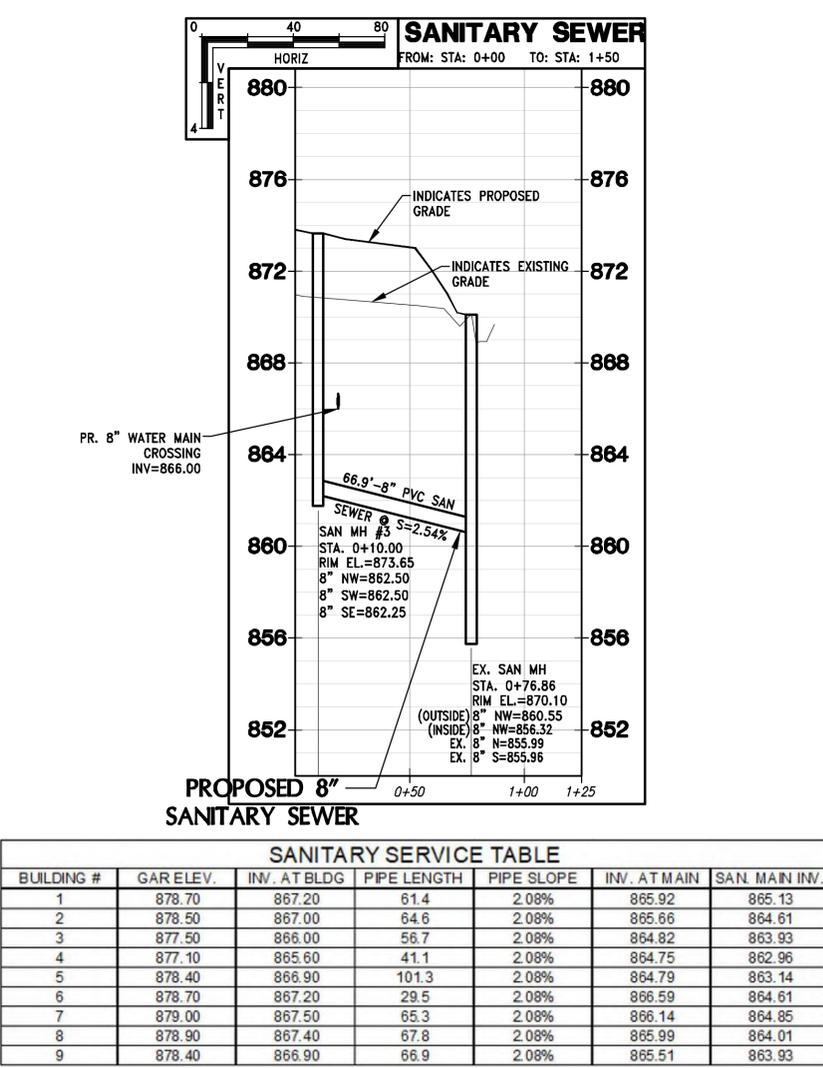
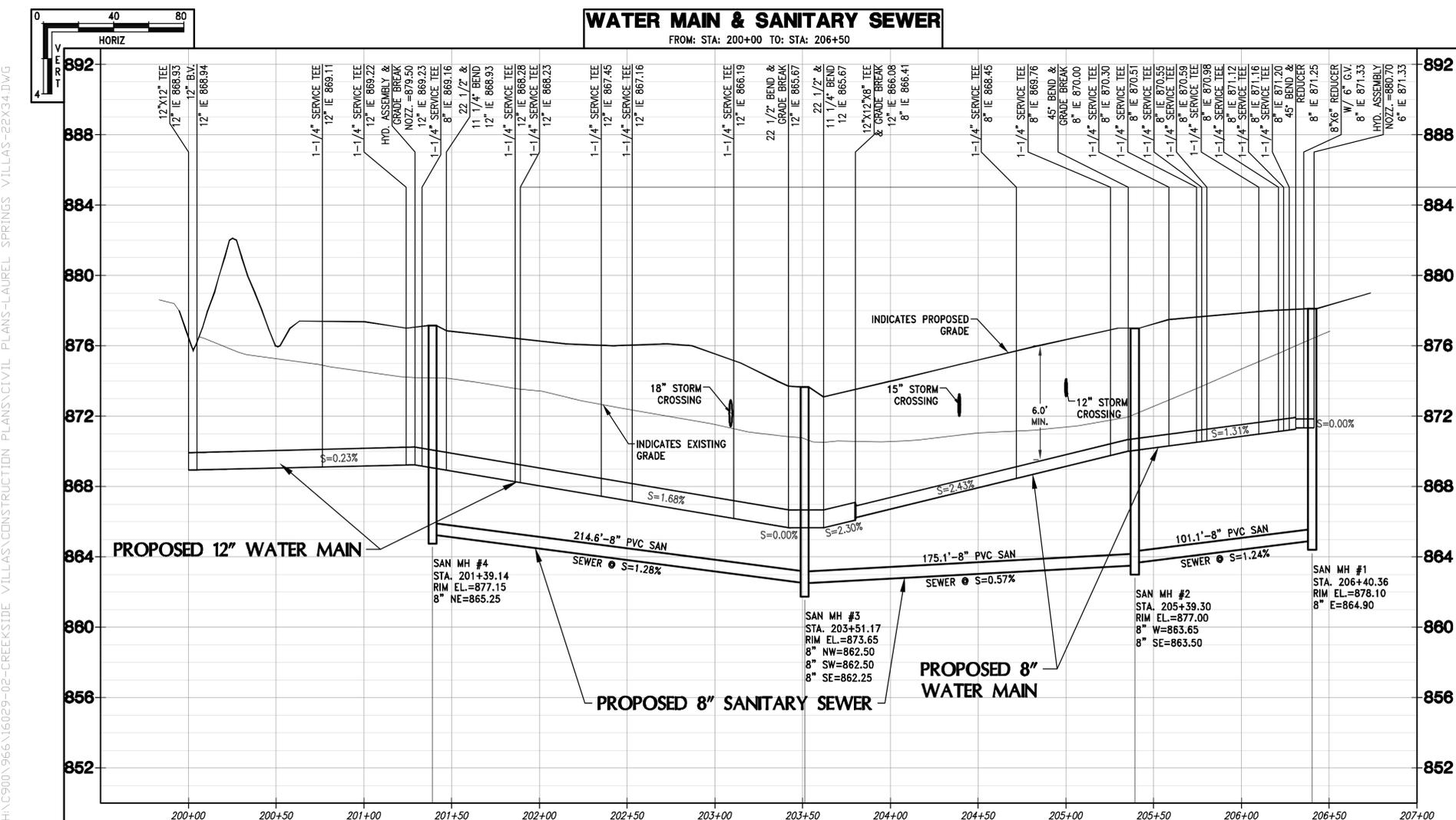
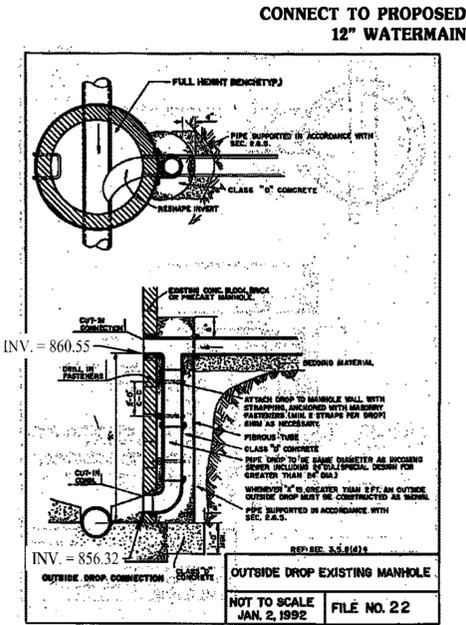
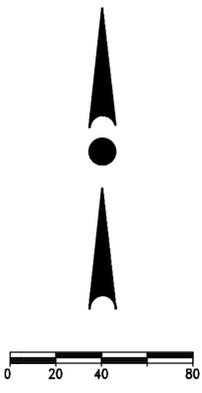
DESCRIPTION:
PROPOSED CEDAR
CREEK ROAD
WATER MAIN PLAN

SHEET

C3.1



- WATER MAIN NOTES**
- ALL 8", 8", 12" & 16" WATER MAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR-18).
 - PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
 - ANCHOR TEES SHALL BE USED FOR EACH HYDRANT BRANCH.
 - ALL WATER MAINS CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAYING OF WATER MAIN, AND FILE NO. 36, PART VII (SSSWCW).
 - HYDRANT NOZZLE ELEVATION SHALL BE 28" ABOVE FINISHED GRADE.
- TRACER WIRE NOTE**
- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 GAUGE SOLID COPPER) PER COMM 82.30(1)(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 5 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.



SANITARY SERVICE TABLE

BUILDING #	GARELEV.	INV. AT BLDG	PIPE LENGTH	PIPE SLOPE	INV. AT MAIN	SAN. MAIN INV.
1	878.70	867.20	61.4	2.08%	865.92	865.13
2	878.50	867.00	64.6	2.08%	865.66	864.61
3	877.50	866.00	56.7	2.08%	864.82	863.93
4	877.10	865.60	41.1	2.08%	864.75	862.96
5	878.40	866.90	101.3	2.08%	864.79	863.14
6	878.70	867.20	29.5	2.08%	866.59	864.61
7	879.00	867.50	65.3	2.08%	866.14	864.85
8	878.90	867.40	67.8	2.08%	865.99	864.01
9	878.40	866.90	66.9	2.08%	865.51	863.93

H:\C900\966\16029-02-CREEKSIDE VILLAS\CONSTRUCTION PLANS\CIVIL PLANS-LAUREL SPRINGS VILLAS-22X34.DWG



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PROJECT:
LAUREL SPRINGS VILLAS
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
12/08/2019	PLAN UPDATE
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2/20/2020	PER FEMA FLOOD MAP
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8/19/2020	PER VILALGE COMMENTS

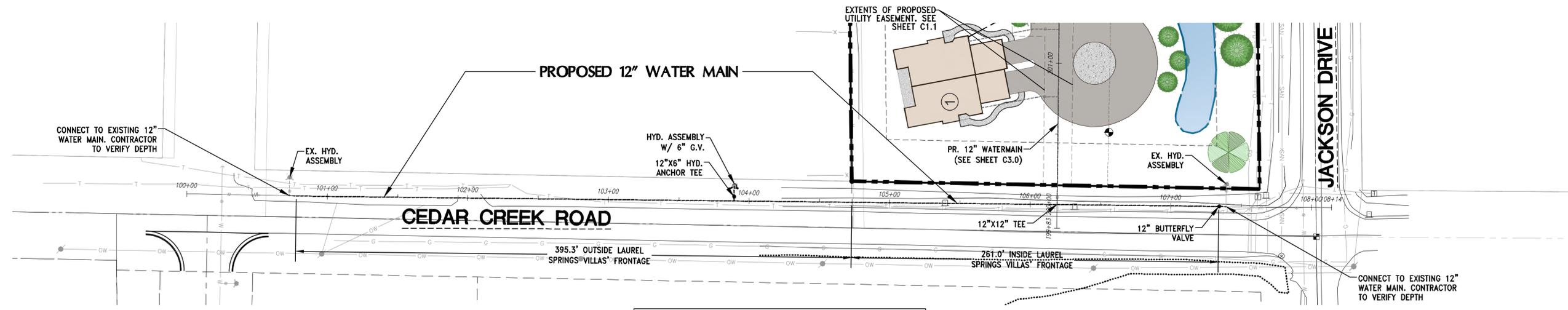
DATE:
AUGUST 13, 2020

JOB NUMBER:
16029-02

DESCRIPTION:
PROPOSED CEDAR CREEK ROAD
WATER MAIN PLAN

SHEET

C3.2



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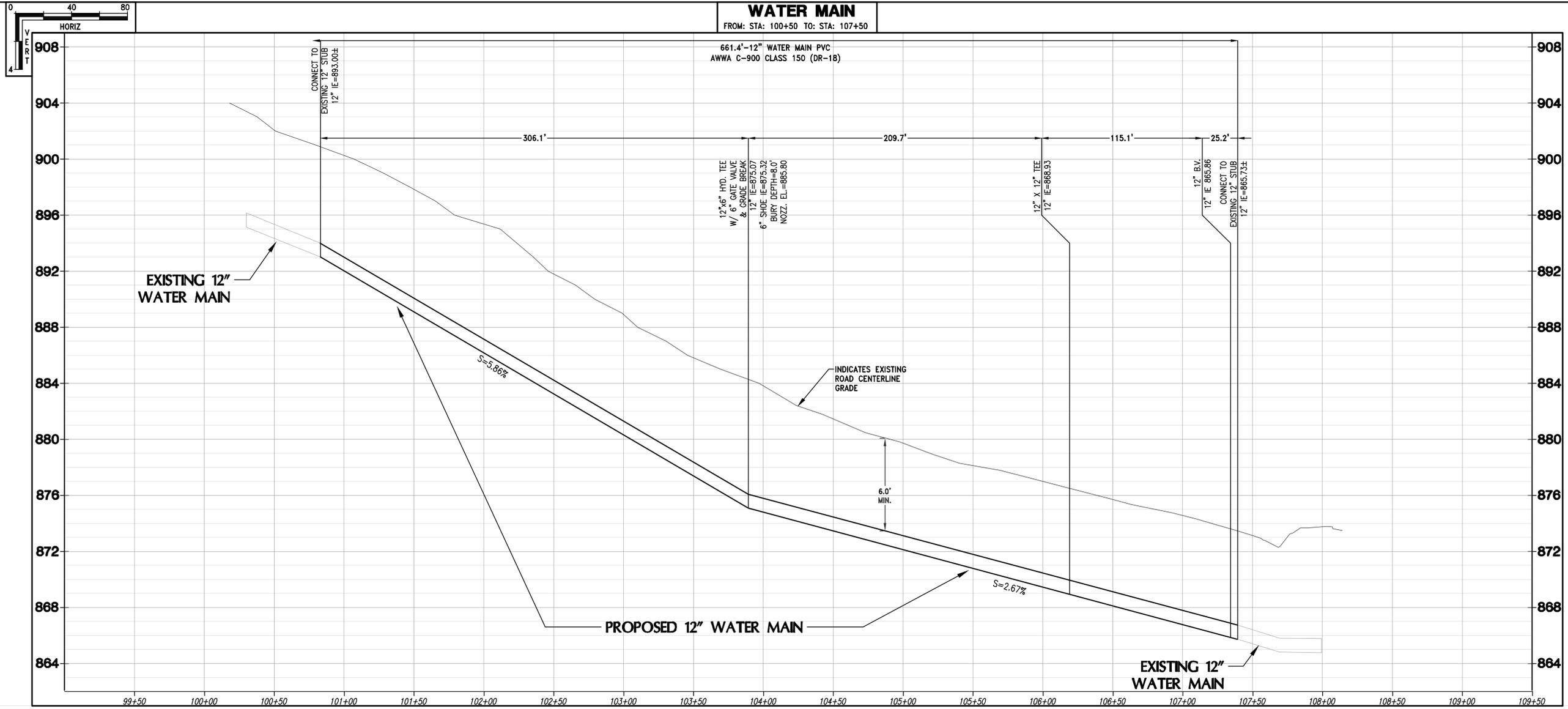
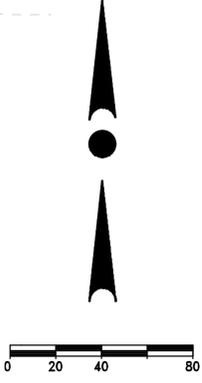
WATER MAIN NOTES

WATERMAIN

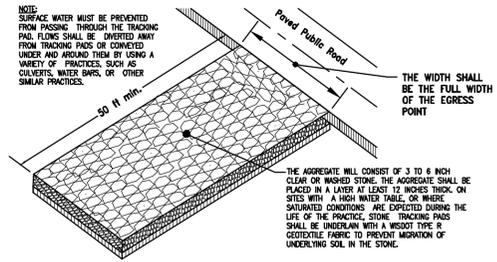
- ALL 6", 8", 12" & 16" WATER MAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR-18).
- PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
- ANCHOR TEES SHALL BE USED FOR EACH HYDRANT BRANCH.
- ALL WATER MAINS CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAYING OF WATER MAIN, AND FILE NO. 36, PART VII (SSSWCIV).
- HYDRANT NOZZLE ELEVATION SHALL BE 28" ABOVE FINISHED GRADE.

TRACER WIRE NOTE

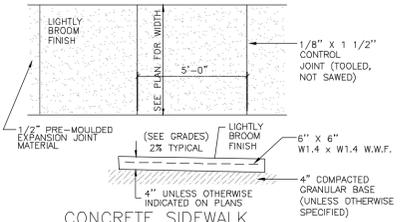
- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 GAUGE SOLID COPPER) PER COMM 82.30(11)(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 5 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.



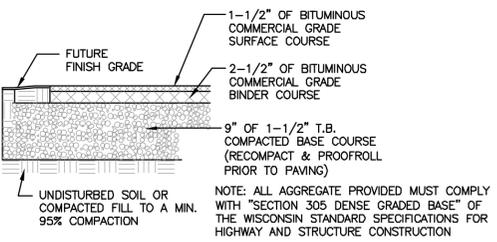
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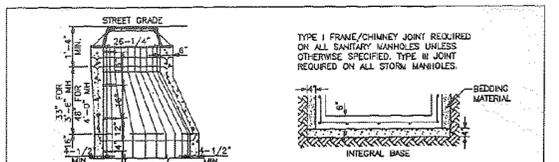
CONSTRUCTION ENTRANCE DETAIL
NO SCALE



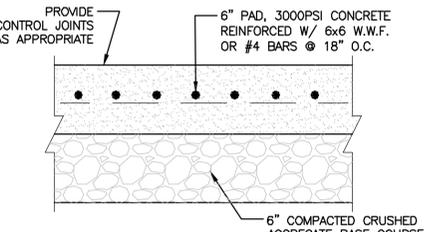
CONCRETE SIDEWALK
NO SCALE



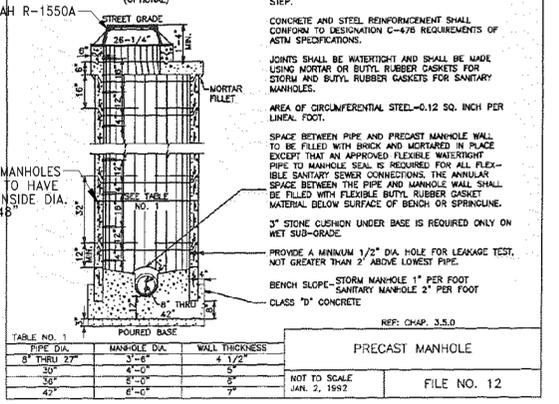
PARKING LOT ASPHALT PAVING DETAIL
NO SCALE



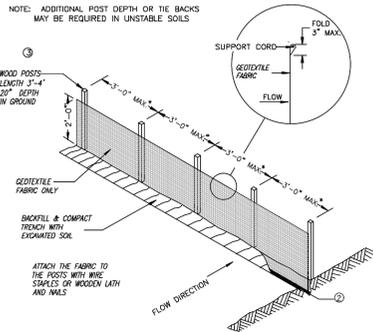
SANITARY MANHOLE DETAIL
NO SCALE



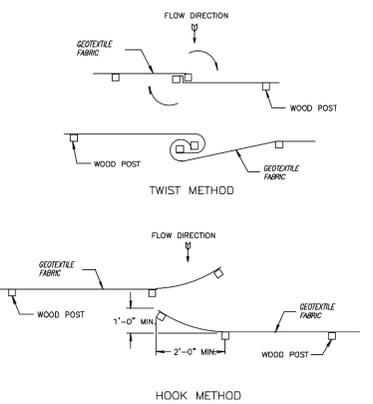
CONCRETE PAVEMENT SECTION
NO SCALE



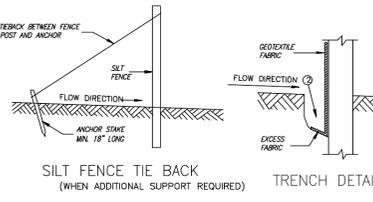
SANITARY MANHOLE DETAIL
NO SCALE



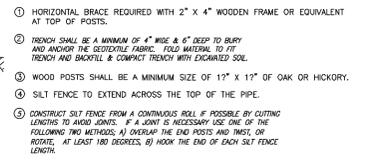
SILT FENCE



JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



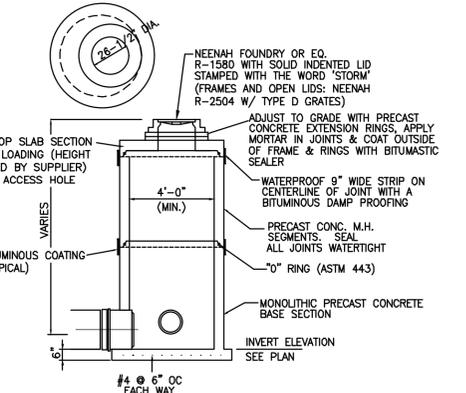
TRENCH DETAIL

SILT FENCE INSTALLATION DETAIL
NO SCALE

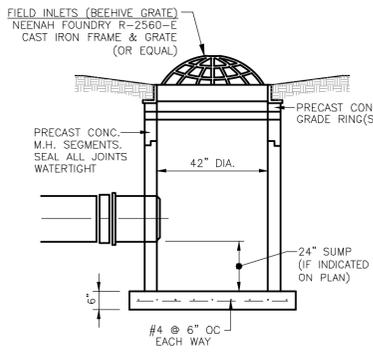
GENERAL NOTES

- HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FILL MATERIAL TO 1/2" AND ANCHOR THE GEOTEXTILE FABRIC TO EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" x 1 1/2" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR B) TWIST. AT LEAST 180 DEGREES. C) HOOK THE END OF EACH SILT FENCE LENGTH.

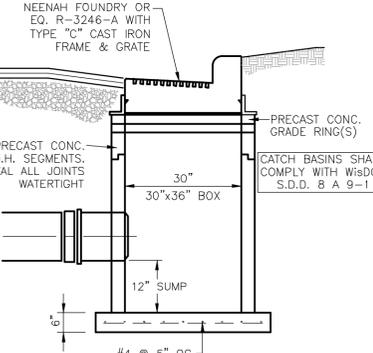
This drawing based on Wisconsin Department of Transportation Standard Detail Drawing B E 9-6.



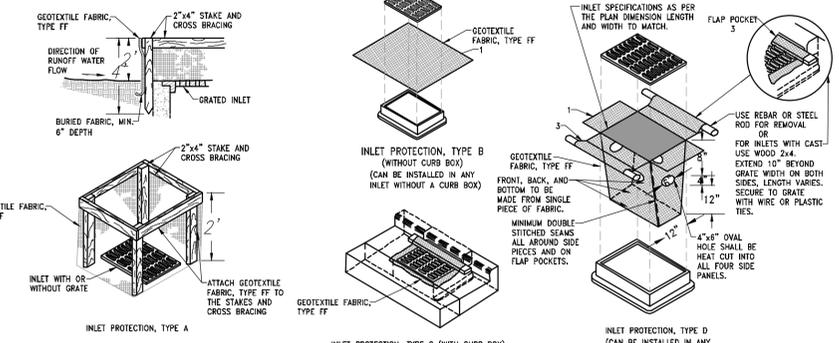
STORM MH DETAIL
NO SCALE



STORM SEWER FIELD CATCH BASIN DETAIL
NO SCALE



STORM SEWER CATCH BASIN
NO SCALE



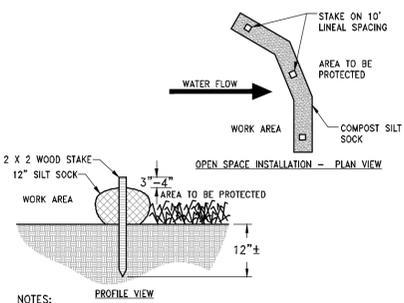
INLET PROTECTION DETAIL
NO SCALE

GENERAL NOTES:

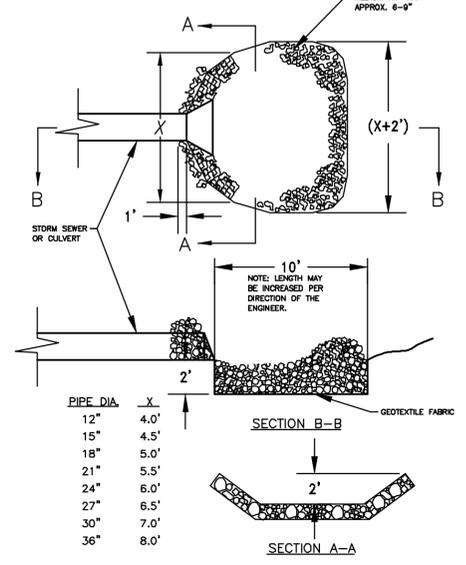
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES:

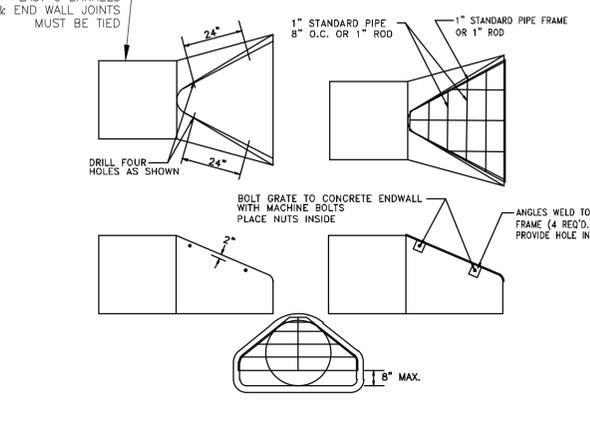
- TYPE B & C**
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D**
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CLINGH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



STRAW WATTLE DITCH CHECK INSTALLATION DETAIL
NO SCALE



RIP-RAP DETAIL
NO SCALE



PIPE GRATE DETAIL
NO SCALE



4100 N. CALHOUN RD.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

PROJECT:
LAUREL SPRINGS VILLAS
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
12/08/2018	PLAN UPDATE
12/19/2019	PLAN UPDATE
2/20/2020	PER FEMA FLOOD MAP
3/11/2020	UTILITY EASEMENT UPDATE
3/18/2020	UTILITY REVISIONS
3/28/2020	GRADING REVISIONS
8/19/2020	PER VILAGE COMMENTS

DATE:
AUGUST 13, 2020

JOB NUMBER:
16029-02

DESCRIPTION:
CONSTRUCTION
DETAILS

SHEET

C4.0

GENERAL

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:
 - WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TRENCHING STANDARDS
 - WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW)
 - WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 382-387
 - WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION
 - FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - VILLAGE OF JACKSON DEVELOPMENT STANDARDS
- THE OWNER, ENGINEER AND MUNICIPALITY SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE WITH THIS PLAN.
- EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BASED ON BEST AVAILABLE PUBLIC RECORDS, AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS OR DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK.
- SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED.
- PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE GRAVEL CONSTRUCTION ENTRANCE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS AND FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
- ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.

PREPARATION

- WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO CONSIST OF CLEARING AND GRUBBING OF TREES, SHRUBS, VEGETATION, ROOTS, STUMPS, RUBBISH, AND OTHER PERISHABLE MATTER INTERFERING WITH NEW CONSTRUCTION.
- CONTACT DIGGERS HOTLINE AT 800-242-8511 TO NOTIFY UTILITY PROVIDERS AND REQUEST FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES.
- INSTALL PERIMETER FENCING AND TEMPORARY EROSION CONTROL PRACTICES AS INDICATED PRIOR TO COMMENCING ANY LAND DISTURBING CONSTRUCTION RELATED ACTIVITY.
- CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING.
- PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER.
- REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH.
- DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE.
- DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS.
 - DO NOT INTERRUPT UTILITY SERVICE TO EXISTING FACILITIES UNLESS PERMITTED BY THE OWNER.
 - REMOVE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS, TRASH, AND DEBRIS FROM THE PROJECT SITE.

EROSION CONTROL

- WORK SHALL CONSIST OF INSTALLATION OF TEMPORARY AND PERMANENT PRACTICES FOR SEDIMENTATION CONTROL, EROSION CONTROL, SLOPE PROTECTION, AND REMOVAL OF PRACTICES UPON FINAL SITE STABILIZATION.
- INSTALLATION AND MAINTENANCE OF PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WDNR TECHNICAL STANDARD, OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
- ALL PRACTICES SHALL BE INSTALLED PRIOR TO COMMENCING ANY LAND DISTURBING CONSTRUCTION RELATED ACTIVITY. EARTHWORK ASSOCIATED WITH INSTALLATION OF PRACTICES MAY OCCUR CONCURRENTLY.
- ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS.
- ALL PRACTICES SHALL BE ROUTINELY INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. THE CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND CONDUCT REPAIRS AS NEEDED.
- ALL DISTURBED AREAS SHALL DRAIN TO A CONTROL PRACTICE AT ALL TIMES DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING UPON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL ADDITIONAL CONTROL PRACTICES IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL PRACTICES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
- ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE AND MULCH. THE TEMPORARY SEED MIXTURE SHALL BE IN ACCORDANCE WITH SECTION 6.30 OF WISDOT STANDARD SPECIFICATIONS. WINTER WHEAT OR RYE SHALL BE USED FOR TEMPORARY SEED AFTER SEPTEMBER 1.
- DISTURBED AREAS THAT CAN NOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM).
- ALL ACTIVITIES ON THE PROJECT SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME.
- DUST GENERATED BY CONSTRUCTION RELATED ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING, OR OTHER APPROPRIATE MEASURES.
- THE CONTRACTOR SHALL BE PREPARED FOR DEWATERING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED PRIOR TO DISCHARGE FROM THE PROJECT SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT SITE AND PUBLIC ROADS DURING CONSTRUCTION. PUBLIC ROADS SHALL BE KEPT FREE OF SEDIMENT TRACKED FROM AREAS UNDER CONSTRUCTION BY DAILY SWEEPING OR OTHER APPROPRIATE MEASURES.

EARTHWORK

- WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND REPLACEMENT OF TOPSOIL.
- ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND THESE REQUIREMENTS. THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
- SATISFACTORY MATERIAL SHALL INCLUDE SOIL CLASSIFICATION GROUPS GP, GM, SW, SP, AND SM AS ACCORDING TO ASTM D2487. IT SHALL BE FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES, FROZEN MATERIALS, VEGETATION, DEBRIS, AND ANY OTHER DELETERIOUS MATERIAL.
- UNSATISFACTORY MATERIAL SHALL INCLUDE SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT AS ACCORDING TO ASTM D2487. IT SHALL ALSO INCLUDE FILL MATERIAL NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION.
- ENGINEERED FILL MATERIAL SHALL INCLUDE A MIXTURE OF NATURAL OR CRUSHED STONE, GRAVEL, AND SAND AS ACCORDING TO ASTM D2940, WITH AT LEAST 90 PERCENT PASSING A 37.5-MM SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 SIEVE. IT SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE OF 3 INCHES. CLAY CONTENT SHALL HAVE A LIQUID LIMIT OF LESS THAN 45 AND A PLASTICITY INDEX BETWEEN 11 AND 20.
- EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE WORK.

- EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.
- EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 2 FEET BELOW PROPOSED SUBGRADE WITHIN GREENSPACE AND PAVEMENT AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.
- FILL MATERIAL SHALL BE WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT, PLACED IN MAXIMUM LIFTS OF 8 INCHES, AND COMPACTED TO A MINIMUM OF 95 PERCENT MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST.
- AREAS SHALL BE GRADED TO WITHIN 1 INCH, MORE OR LESS, OF PROPOSED SUBGRADE. DEVIATIONS SHALL NOT BE CONSISTENT IN ONE DIRECTION.
- DISKING, HARROWING, AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING.
- IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERGUT IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. DO NOT PROOF ROLL WET OR SATURATED SUBGRADE.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING, SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND FLOODING PROJECT SITE AND/OR SURROUNDING AREAS.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

SANITARY SEWERAGE

- WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES.
- ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND VILLAGE OF JACKSON DEVELOPMENT STANDARDS.
- ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND VILLAGE OF JACKSON DEVELOPMENT STANDARDS AND STANDARD MATERIAL SPECIFICATIONS.
- POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 26 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET, AND SHALL BE SDR 18 CONFORMING TO AWWA C900 FOR DEPTHS GREATER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.10.6 AND 8.41.4 OF SSSWCW.
- ALL SANITARY SEWER LATERALS (OUTSIDE OF BUILDINGS) SHALL BE MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034, SDR 35.
- MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.39.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ADJUSTMENTS RINGS SHALL BE PER THE VILLAGE STANDARD MATERIAL SPECIFICATIONS.
- TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
- PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS.
- ALL CONNECTIONS TO EXISTING SANITARY SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. PREFABRICATED WYE CONNECTIONS ARE REQUIRED FOR ALL BUILDING SANITARY SERVICE PIPES, UNLESS NOTED OTHERWISE.
- CLEANOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. HEAVY DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE.
- TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 10 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.
- AFTER INSTALLATION OF SANITARY SEWERAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. CONDUCT TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SSSWCW. REPAIR ANY DAMAGE AND REPLACE ANY PIPE NOT PASSING TESTING.
- SEE VILLAGE OF JACKSON 'STANDARD MATERIAL SPECIFICATIONS' ON PLAN SHEET C5.2 FOR FURTHER SANITARY SPECIFICATIONS AND MATERIAL REQUIREMENTS.
- ALL MATERIALS SHALL MEET THE VILLAGE OF JACKSON 'STANDARD MATERIAL SPECIFICATIONS' AS PRESENTED ON PLAN SHEET C5.2 OF THIS PLAN SET.

WATER DISTRIBUTION

- WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES.
- ALL PUBLIC WATER SUPPLY WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND VILLAGE OF JACKSON DEVELOPMENT STANDARDS.
- ALL PRIVATE WATER SUPPLY WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND VILLAGE OF JACKSON DEVELOPMENT STANDARDS.
- POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS IN ACCORDANCE WITH SECTION 8.20.0 OF SSSWCW.
- DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 CONFORMING TO AWWA C151 WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.18.0 OF SSSWCW.
- POLYETHYLENE TUBING SHALL BE SDR 9 IN ACCORDANCE WITH SECTION 8.24.0 OF SSSWCW AND CONFORM TO AWWA C911.
- COPPER TUBING SHALL BE TYPE "K" IN ACCORDANCE WITH SECTION 8.24.0 OF SSSWCW AND CONFORM TO ASTM B88.
- BALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.30.0 OF SSSWCW AND CONFORM TO AWWA C800 AND ASTM B62.
- GATE VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.27.0 OF SSSWCW AND CONFORM TO AWWA C500.
- BUTTERFLY VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.28.0 OF SSSWCW AND CONFORM TO AWWA C504.
- VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.29.0 OF SSSWCW AND CONFORM TO ASTM A48. VALVE BOXES SHALL BE SIZE DD, SCREW TYPE, 3 PIECE ASSEMBLY, WITH COVERS MARKED "WATER". ALL VALVE BOXES SHALL BE SET TO PROPOSED GRADE, TRULY VERTICAL, AND SUPPORTED BY USE OF ADAPTOR.
- HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION 8.26.0 OF SSSWCW AND CONFORM TO AWWA C502. PUMPER NOZZLE SHALL BE PERPENDICULAR TO AND ORIENTED TOWARDS THE PAVEMENT. HYDRANTS SHALL BE ATTACHED BY MEANS OF ANCHORING TEE AND HAVE A GROUND LINE TO CENTER DISTANCE OF 24 INCHES.
- FITTINGS SHALL BE CLASS 150 IN ACCORDANCE WITH SECTION 8.22.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS.
- MECHANICAL JOINTS SHALL BE MADE WITH "COR TEN" NUTS AND BOLTS, OR CORROSION-RESISTANT EQUIVALENTS CONFORMING TO AWWA C111.
- POLYETHYLENE WRAP SHALL BE IN ACCORDANCE WITH SECTION 8.21.0 OF SSSWCW AND PROVIDED FOR ALL METAL PIPES AND FITTINGS.
- THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH SECTION 4.3.13 OF SSSWCW AND PROVIDED FOR ALL BENDS, CAPS, PLUGS, AND TEES.
- TRENCH SECTION SHALL BE IN ACCORDANCE WITH FILE NO. 36 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
- PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS.
- TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC WATER MAIN PIPE, PRIVATE WATER MAIN PIPE, AND BUILDING WATER SERVICE PIPE. TRACER WIRE SHALL BE BLUE INSULATED, SINGLE-CONDUCTOR, 10 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION 4.15.0 OF SSSWCW. DISINFECTION SHALL BE IN ACCORDANCE WITH SECTION 4.16.0 OF SSSWCW AND CONFORM TO AWWA C651. WATER MAINS SHALL BE FLUSHED AND TESTED IN THE PRESENCE OF THE WATER UTILITY OPERATOR.
- ALL MATERIALS SHALL MEET THE VILLAGE OF JACKSON 'STANDARD MATERIAL SPECIFICATIONS' AS PRESENTED ON PLAN SHEET C3.0 OF THIS PLAN SET.

STORM DRAINAGE

- WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE STORM DRAINAGE SYSTEM AND ALL APPURTENANCES.
- ALL PUBLIC STORM DRAINAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND VILLAGE OF JACKSON DEVELOPMENT STANDARDS.
- ALL PRIVATE STORM DRAINAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND VILLAGE OF JACKSON DEVELOPMENT STANDARDS.
- REINFORCED CONCRETE PIPE (RCP) AND END SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 8.6.0 OF SSSWCW AND CONFORM TO ASTM C76 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM C443, UNLESS NOTED OTHERWISE, 12-INCH DIAMETER PIPE SHALL BE CLASS V, 15-INCH DIAMETER PIPE SHALL BE CLASS IV, AND 18-INCH DIAMETER

- PIPE AND LARGER SHALL BE CLASS III.
- CORRUGATED METAL PIPE (CMP) AND END SECTIONS SHALL BE 16 GAUGE CONFORMING TO ASTM A760.
- HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AND FITTINGS SHALL BE ADS N12 AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.
- POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 WITH PUSH-ON RUBBER GASKETED JOINTS CONFORMING TO ASTM D3212.
- MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.39.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
- CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
- INLETS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C913. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
- AREA DRAINS SHALL BE ADS NYLOPLAST AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.
- FRAMES AND GRATES SHALL BE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FRAMES AND GRATES ARE COMPATIBLE WITH PRECAST STRUCTURES PRIOR TO ORDERING.
- TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
- PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS.
- ALL CONNECTIONS TO EXISTING STORM SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE.
- CLEANOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. HEAVY DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE.
- TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 2.11.1 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC STORM SEWER PIPE, PRIVATE STORM INTERCEPTOR PIPE, AND BUILDING STORM SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.
- AFTER INSTALLATION OF STORM DRAINAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. CONDUCT TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SSSWCW. REPAIR ANY DAMAGE AND REPLACE ANY PIPE NOT PASSING TESTING.
- ALL MATERIALS SHALL MEET THE VILLAGE OF JACKSON 'STANDARD MATERIAL SPECIFICATIONS' AS PRESENTED ON PLAN SHEET C5.2 OF THIS PLAN SET.

CONCRETE PAVING

- WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF CONCRETE, AND CLEANUP.
- CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.
- CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS.
- WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M.
- AIR-ENTRAINING SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C260.
- LIQUID CURING COMPOUND SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS AND AASHTO M 148.
- CURBING SHALL BE IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
- SIDEWALK AND PATIO SHALL BE IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS.
- CONCRETE FORMS SHALL REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE INSTALLATION AND SHALL BE CLEANED AFTER EACH USE. CONCRETE FORMS SHALL BE COATED WITH RELEASE AGENT TO ALLOW SEPARATION WITHOUT DAMAGE TO CONCRETE.
- CONSTRUCTION AND CONTRACTION JOINTS SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS.
- ISOLATION JOINTS SHALL CONSIST OF PREFORMED JOINT FILLER STRIPS ABUTTING CURBING, INLETS, CATCH BASINS, MANHOLES, STRUCTURES, AND OTHER FIXED OBJECTS.
- EDGES OF CONCRETE PAVEMENT, CURBING, SIDEWALK, PATIOS, AND JOINTS SHALL BE TOOLED IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING AFTER APPLYING SURFACE FINISHES AND ELIMINATE TOOL MARKS ON SURFACES.
- FINISH, CURE, AND PROTECT CURBING IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
- FINISH (LIGHT BROOM), CURE, AND PROTECT SIDEWALK AND PATIOS IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS.
- FINISH (ARTIFICIAL TURF DRAG), CURE, AND PROTECT VEHICULAR PAVEMENT AND PADS IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS.
- MAINTAIN CONCRETE FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PRIOR TO SUBSTANTIAL COMPLETION INSPECTION.
- REMOVE AND REPLACE CONCRETE THAT IS BROKEN, DAMAGED, DEFECTIVE, OR DOES NOT COMPLY WITH THE REQUIREMENTS LISTED ABOVE.

ASPHALT PAVING

- WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP.
- CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.
- ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS.
- AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS.
- PAVEMENT MARKING PAINT SHALL BE IN ACCORDANCE WITH WISDOT APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON THIS PLAN.
- DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP; TEMPERATURE IS BELOW 30 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE INSTALLATION; TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION.
- COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE (NO MINUS).
- APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL/SY.
- NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED.
- FINAL ASPHALT SURFACE SHALL BE WITHIN A 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSED AREAS EXCEEDING TOLERANCE.
- APPLY PAVEMENT MARKINGS TO CLEAN AND DRY SURFACE, FREE FROM FROST, TO ENSURE PROPER BONDING. APPLY PAINT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS TO PRODUCE MARKINGS AS INDICATED WITH UNIFORM, STRAIGHT EDGES.

RETAINING WALLS

- WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT, SUPERVISION, AND DIRECTION TO CONSTRUCT RETAINING WALL SYSTEMS IN REASONABLY CLOSE CONFORMITY TO THE LINES, GRADES, AND DIMENSIONS SHOWN ON THIS PLAN. RETAINING WALLS SHOWN ON THIS PLAN ARE FOR GENERAL LOCATION AND MATERIAL REFERENCE ONLY.
- THE CONTRACTOR SHALL PROCURE DETAILED DESIGN CALCULATIONS AND DRAWINGS, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER EXPERIENCED WITH RETAINING WALL DESIGN AND LICENSED IN THE STATE IN WHICH THE RETAINING WALLS ARE TO BE CONSTRUCTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SURROUNDING STRUCTURES AND UTILITIES ARE PROTECTED FROM THE EFFECTS OF EXCAVATION AND PROVIDING ANY NECESSARY EXCAVATION SUPPORT.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ADJACENT TO THE RETAINING WALLS DOES NOT DISTURB OR PLACE TEMPORARY LOADS ON THE RETAINING WALLS THAT EXCEED DESIGN LOADS.



4100 N. CALHOUN RD.
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

PROJECT:
LAUREL SPRINGS VILLAS
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
12/08/2018	PLAN UPDATE
12/19/2019	PLAN UPDATE
2/20/2020	PER FEMA FLOOD MAP
3/11/2020	UTILITY EASEMENT UPDATE
3/18/2020	UTILITY REVISIONS
3/26/2020	GRADING REVISIONS
8/19/2020	PER VILAGE COMMENTS

DATE:

AUGUST 13, 2020

JOB NUMBER:

16029-02

DESCRIPTION:

PROJECT SPECIFICATIONS

SHEET

C4.1

RESOLUTION #20-12

A RESOLUTION ADOPTING THE 2019 COMPLIANCE MAINTENANCE ANNUAL REPORT FOR THE JACKSON WASTEWATER TREATMENT FACILITY

WHEREAS, the State of Wisconsin Department of Natural Resources requires a Compliance Maintenance Annual Report for the Village of Jackson Wastewater Treatment Plant; and

WHEREAS, the Village of Jackson Wastewater Treatment Plant Superintendent, the Village’s Engineer, the Village Clerk and the Village Treasurer have completed the necessary information requested in the annual report; and

NOW, THEREFORE, BE IT RESOLVED, that the Village Board of the Village of Jackson, Washington County, Wisconsin, does hereby resolve that the Village Board has reviewed the Compliance Maintenance Annual Report, and has approved it for submission.

Introduced by: _____

Seconded by: _____

Vote: _____ Aye _____ Nay

Passed and Approved: _____

Michael E. Schwab – Village President

Attest: _____
Jilline S. Dobratz – Village Clerk

Proof of Posting:

I the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post Office, and one other location in the Village.

Village Official

Date

RESOLUTION #20-13

A RESOLUTION ACCEPTING THE SANITARY SEWER AND WATER SYSTEM ASSOCIATED WITH THE LAUREL SPRINGS ADDITION #1 DEVELOPMENT.

The Village Board of the Village of Jackson, Washington County, Wisconsin, does resolve as follows:

BE IT RESOLVED that the Village hereby accepts, pursuant to the provisions of Chapter 44 of the Village Code, the Sanitary Sewer and Water System associated with the Laurel Springs Addition #1 Development in the Village of Jackson, Washington County, Wisconsin.

Introduced by: _____

Seconded by: _____

Vote: _____ Ayes _____ Nays

Passed and Approved: _____

Michael E. Schwab – Village President

Attest: _____

Jilline S. Dobratz – Village Clerk

Proof of Posting:

I, the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post Office, and one other location in the Village.

Village Official

Date

costs arising from the enforcement of this section shall be paid by the person or corporation owning, controlling, using and/or responsible for the vehicle. The village shall not be liable for damage to vehicles removed, towed or stored as a result of the enforcement of this section. (Prior Code, § 5.05)

Sec. 42-86. Limited parking in certain areas; loading zones.

When signs or parking meters are erected on any street giving notice thereof, no person shall park a vehicle for other than the period specified by the sign or meter. Parking is restricted as indicated in the following areas of the village:

(1) *No parking.*

a. No parking at any time in the following areas:

<i>Street/Location</i>	<i>Area</i>
Main Street (South 60)	North and south side from the eastern village limits to the western village limits.
Jackson Drive	East side, south of Main Street (South 60) 165 feet south.
	East side, north of Wilshire Drive to 38 feet north.
	East side, south of Wilshire Drive to 15 feet south.
	West side, south of Main Street (South 60) 700 feet south.
	West side, north of Main Street (South 60) to six feet north of the alley.
Industrial Drive	West side, south of Tower Drive, 110 feet south.
	East side, between Main Street (South 60) to the entrance to Green Valley III.
Tower Drive	North side, east of Industrial Drive, 50 feet east.
	South side, from Industrial Drive to Center Street.
Eagle Drive	East and west sides from Main Street (South 60) to Hickory Lane.
Cedar Run Drive	South and west side from just west of to the intersection of Lea Fon Circle as posted.
Glen Brooke Drive	East and west side from Main Street (South 60) to South Street.
	East and west sides from Sherman Road to approximately 100 feet south of Glen Hill Drive.
Reynolds Street	North side from Western Avenue to Center Street.
South Street	South side from Western Avenue to Center Street.
Western Avenue	West side form Main Street to South Street.
Cedar Parkway	West side north of Sysco Drive approximately 275 feet north.
North Ridgeway Drive	West side, south of Willow Ridge Drive, south to approximately 50 feet north of the south lot line W198 N17011 North Ridgeway Drive.
North Center Street	East side from Main Street approximately 188 feet north.
Hickory Lane	North side of Hickory Lane from the east entrance of the Jackson Area Community Center parking lot west to Jackson Drive.
Stonewall Drive	East side of Stonewall Drive from Georgetown Drive to 380 feet north along Stonewall Drive.

PROPERTY LINE

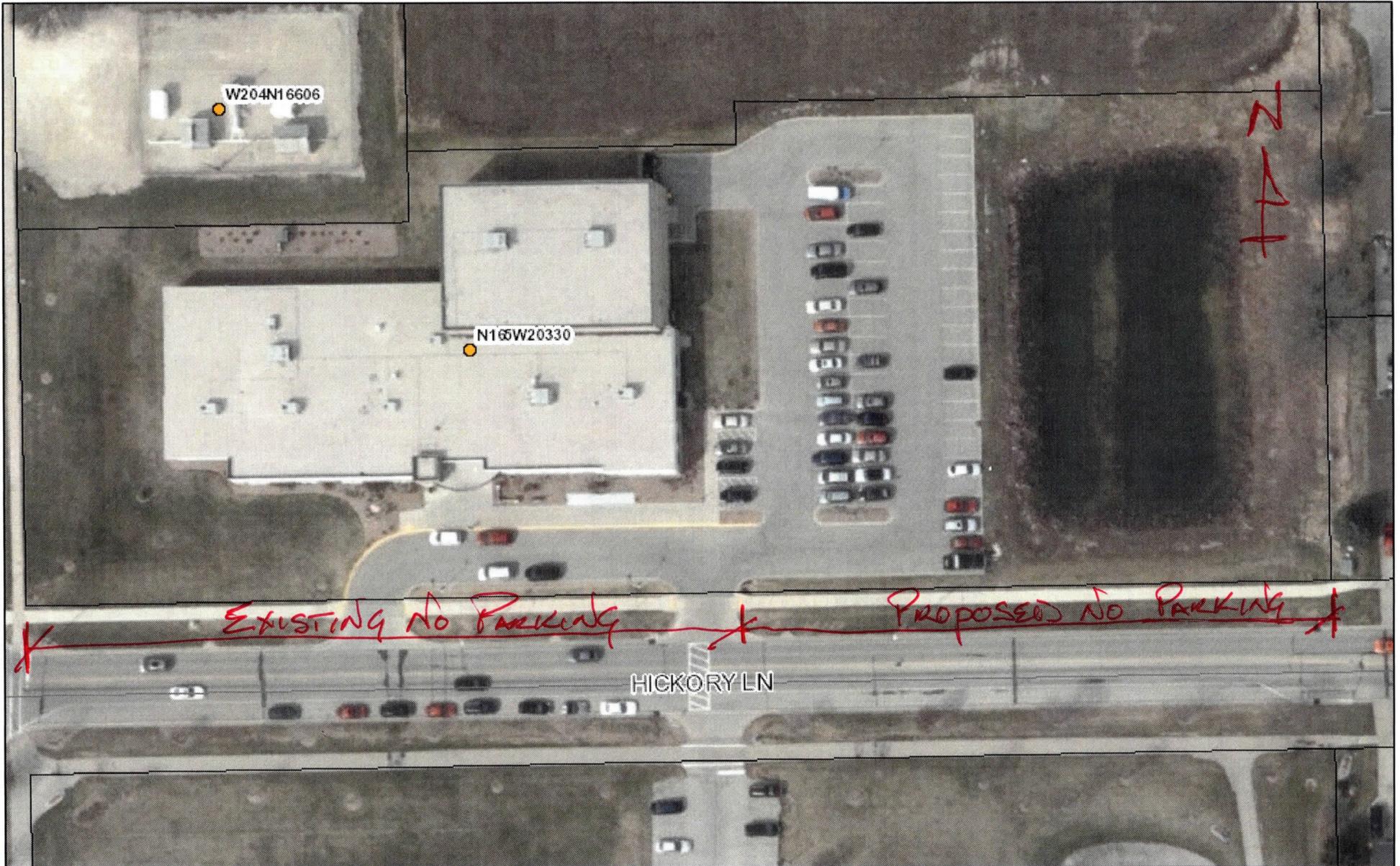
b. No person shall park or leave standing any vehicle on:

1. Municipal public property.

(i) Village hall.

A. On the east or west side of the driveway into the village hall off of Main Street (STH 60).

Village of Jackson

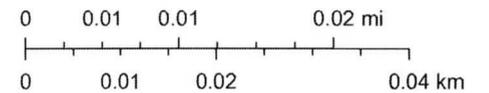


8/13/2020, 12:21:00 PM

Address Points

- City of Milwaukee
- Town of Barton
- Town of Germantown
- Town of Kewaskum
- <all other values>
- City of West Bend
- Town of Erin
- Town of Hartford
- Town of Polk
- City of Hartford
- Town of Addison
- Town of Farmington
- Town of Jackson
- Town of Trenton

1:790



Washington County, Washington County, Wisconsin

§ 941.01; uniform traffic citations, Wis. Stats. § 345.11; non-moving violations, Wis. Stats. § 345.28; deposits, Wis. Stats. § 345.26; information to persons charged, Wis. Stats. § 345.27; when registration to be suspended, Wis. Stats. § 341.63.

Secs. 42-4—42-24. Reserved.

ARTICLE II. SIGNS, SIGNALS AND STREET USE DESIGNATIONS

Sec. 42-25. Compliance with traffic signs and signals required.

When official signs or automatic traffic signals are erected at any location they shall be complied with.

(Prior Code, § 4.02(intro.))

State law reference—Traffic signs, signals, and markings, Wis. Stats. § 346.37 et seq.

Sec. 42-26. Stop and yield intersections designated.

(a) The following village streets are designated arterial and collector streets. All traffic entering such streets is to stop or yield for the posted signs. Arterial and collector streets are:

- (1) Center Street (Tower Drive to Parkway Drive).
- (2) Chateau Drive (Wilshire to Willow Ridge Drive).
- (3) County Highway P (North to South Limits).
- (4) Eagle Drive (Main to Hickory), except for the four-way stop intersection at Hickory.
- (5) Glen Brooke Drive (Main to Glen Hill Drive).
- (6) Glen Hill Drive (Parkway Drive to Glen Brook Drive).
- (7) Hickory Lane (Sherman Road to Jackson Drive).
- (8) Highland Road (Jackson Drive to East Limits).
- (9) Hunters Road (Jackson Drive to Chateau Drive).
- (10) Industrial Drive (Main to Metro Court).
- (11) Jackson Drive (North to South Limits), except at the intersection of Main Street (STH 60) which is controlled by automatic traffic signals.
- (12) Main Street (STH 60) (East to West Limits), except at its intersection with CTH P and its intersection with Jackson Drive which are controlled by automatic traffic signals.
- (13) Parkview Drive (Hazelwood Lane to Ridge Road).
- (14) Ridgeway Drive (Main Street to Highland Road).
- (15) Sherman Road (East to West Limits).
- (16) Western Avenue (Main Street to Parkway Drive).

*CEEDAR CREEK ROAD
(CTH P TO JACKSON DR)*

- (17) Wilshire Drive (Georgetown Drive to Jackson Drive).
- (18) Riverview Drive (Jackson Drive to The Northern Intersection With Songbird Circle).
- (19) Francis Drive from Raymond Drive to Creekside Drive.

(b) In addition, all traffic entering the following streets is to stop or yield for the posted signs:

- (1) Ash Drive at Pine Drive.
- (2) Cedar Park Court at Cedar Parkway.
- (3) Colonial Lane at Westfield Drive.
- (4) Georgetown Drive at Wilshire Drive/Park Court.
- (5) Hemlock Street at Spruce Street.
- (6) Juniper Street at Pine Drive.
- (7) Oakland Drive at Cedar Run Drive.
- (8) Parkview Drive at Ridge Road.
- (9) Parkway Drive at Glencoe Lane.
- (10) Scot Court at South Street.
- (11) Valley Drive at North View Drive.

12) LAUREL SPRINGS CIRCLE @ HIDDEN CREEK ROAD

13) CRESTVIEW DRIVE @ HAD LAUREL SPRINGS CIRCLE

14) CRESTVIEW DRIVE @ PARKVIEW DRIVE

(Prior Code, § 4.02A, B)

State law reference—Traffic signs, signals, and markings, Wis. Stats. § 346.37 et seq.

Sec. 42-27. One-way streets.

One-way streets may be designated by the police chief upon the posting of an official sign following approval by the village board.

(Prior Code, § 4.09)

Sec. 42-28. School bus warning light use when no traffic signal exists.

The operation of school buses within the village may use the flashing red warning lights of the bus in a residential or business district where pupils or other authorized passengers are to be loaded or unloaded at a location where there are no traffic signals and where such person or persons must cross the street or highway before being loaded or after being unloaded.

(Prior Code, § 4.08A; Ord. No. 01-07; Ord. No. 01-14)

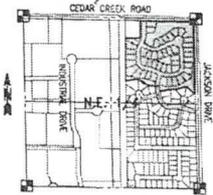
Secs. 42-29—42-59. Reserved.

07/29/20 *[Signature]*

LAUREL SPRINGS ADDITION NO. 1

BEING A REVISION OF LOTS 9-44, LOTS 45-68, OUTLOTS 1-4 AND DISCONTINUED ROADS BY RESOLUTION DOC. NO. 19-13, DATED JUNE 12, 2019, BEING A PART OF LAUREL SPRINGS SUBDIVISION, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

OWNER
 BELMERE HOMES, INC.
 1830 MEADOW LN. SUITE A
 FOND DU LAC, WISCONSIN 53072
 PHONE: (262) 548-5570



SCALE: 1" = 60'
 0 60 120

GENERAL NOTES:

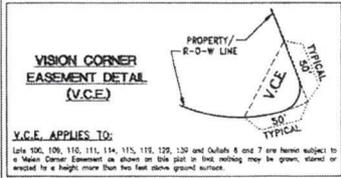
- Indicates 5/8" inside diameter 1/2" long Reinforcing Bar (w/spacing 4.33 ft. per foot foot. All other (L and O) corners are shown with 0.750" outside diameter x 1/2" long Reinforcing Bar (w/spacing 1.52 ft. per foot foot).
- All linear measurements have been made in the nearest one-hundredths of a foot.
- All angular measurements have been made to nearest second and compiled to the nearest half-second.
- All bearings are referenced to the grid north of the Wisconsin State Plane Coordinate System (NAD 1983 datum) - South Zone, in which the East line of the N.E. 1/4 of Section 16, T. 10 N., R. 20 E. is taken to bear North 00°45'47" West.
- The Public Storm Sewer and Drainage Easements, Public Watermain Easement and Public Sanitary Sewer Easement are hereby granted to the Village of Jackson.
- The existing Utility Easements that were shown on the "Laurel Springs" Subdivision Plat, recorded in the Office of the Register of Deeds for Washington County on Month 10, 2008 as Document No. 1184426, and located within the exterior boundary of "Laurel Springs" Addition No. 1 Subdivision Plat, were released per Document No. 1169075.
- The "Laurel Springs" Subdivision Home Owners Association shall own all Outlots in this Subdivision. Washington County shall not be liable for them as special charges in the event they become the owner of any Lot or Outlot in the Subdivision by reason of tax delinquency.
- Stormwater Management Facilities are located on Outlots 5, 6 and 7 of this Subdivision. The "Laurel Springs" Subdivision Home Owners Association shall be liable for the cost to repair, maintain or restore said Stormwater Management Facilities within this Subdivision. Solid trash, mulch and other material shall be performed by the "Laurel Springs" Subdivision Home Owners Association.
- Outlot 7 contains open space.
- Outlot 8 contains open space and a Wetland Preservation Area.
- Wetland Preservation Areas shown on Outlots 5, 6 and 8 were field delineated by TRC and referenced in their January 12, 2017 report and were field located by TRC Engineering, LLC on October 7, 2018.
- Lots 107 thru 111, Lot 112 and Outlots 3, 6 and 7 are hereby reserved so that no owner, purchaser, leasee, licensee or other person may have any right of direct, indirect ingress from or egress to any land (any within the right-of-way of Jackson Drive and Cedar Creek Road), if being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to a 234.23 of the Wisconsin Statutes and shall be enforced by the Village of Jackson.

EASEMENT LEGEND:

(A)	20' WIDE (UNLESS OTHERWISE NOTED) PUBLIC STORM SEWER AND DRAINAGE EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)
(B)	20' WIDE PUBLIC WATERMAIN EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)
(C)	20' WIDE PUBLIC SANITARY SEWER CASING (GRANTED TO THE VILLAGE OF JACKSON)

ZONING DATA:

CATEGORY	RS-3
Minimum Lot Area	4,800 S.F.
Minimum Lot Width	20 ft. @ 75'
Minimum Building Setback:	
Front Setback/Street	25 ft.
Side/Corner Setback	10 ft.
Rear Yard	8 ft.
Rear Front	15 ft.



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stat. as provided by s. 216.12, Wis Stat.

Certified _____ 20____

Department of Administration



Public Works Report

August 25, 2020

Treatment Plant - Designed Capacity – 1.67 million gallons per day
Peak Flow Capacity – 6.0 million gallons per day

Year 2018

January	Avg. Flow 893,258 g.p.d.	Min. Flow 693,000 g.p.d.	Max. 1.541 MGD
February	Avg. Flow 1.072 MGD	Min. Flow 651,000 g.p.d.	Max. 2.476 MGD
March	Avg. Flow 1.011 MGD	Min. Flow 702,000 g.p.d.	Max. 1.365 MGD
April	Avg. Flow		
May	Avg. Flow 1.577 MGD	Min. Flow 982,000 g.p.d.	Max. 2.807 MGD
June	Avg. Flow 1.053 MGD	Min. Flow 703,000 g.p.d.	Max. 1.422 MGD
July	Avg. Flow 942,871 g.p.d.	Min. Flow 699,000 g.p.d.	Max. 1.228 MGD
August	Avg. Flow 1.342 MGD	Min. Flow 700,000 g.p.d.	Max. 3.93 MGD
September	Avg. Flow 1.608 MGD	Min. Flow 1.07 MGD	Max. 3.47 MGD
October	Avg. Flow 1.540 MGD	Min. Flow 960,000 g.p.d.	Max. 2.67 MGD
November	Avg. Flow 1.268 MGD	Min. Flow 940,000 g.p.d.	Max. 2.12 MGD
December	Avg. Flow 1.218 MGD	Min. Flow 880,000 g.p.d.	Max. 1.82 MGD

Year 2019

January	Avg. Flow 1.270 MGD	Min. Flow 900,000 g.p.d.	Max. 2.660 MGD
February	Avg. Flow 1.229 MGD	Min. Flow 850,000 g.p.d.	Max. 1.980 MGD
March	Avg. Flow 1.379 MGD	Min. Flow 910,000 g.p.d.	Max. 2.790 MGD
April	Avg. Flow 1.483 MGD	Min. Flow 1.020 MGD	Max. 2.660 MGD
May	Avg. Flow 1.542 MGD	Min. Flow 1.320 MGD	Max. 1.960 MGD
June	Avg. Flow 2.144 MGD	Min. Flow 1.300 MGD	Max. 2.700 MGD
July	Avg. Flow 1.251 MGD	Min. Flow 970,000 g.p.d.	Max. 1.850 MGD
August	Avg. Flow 1.098 MGD	Min. Flow 830,000 g.p.d.	Max. 1.470 MGD
September	Avg. Flow 1.253 MGD	Min. Flow 800,000 g.p.d.	Max. 2.050 MGD
October	Avg. Flow 1.699 MGD	Min. Flow 1.060 MGD	Max. 4.010 MGD
November	Avg. Flow 1.499 MGD	Min. Flow 1.14 MGD	Max. 2.26 MGD
December	Avg. Flow 1.372 MGD	Min. Flow 910,000 g.p.d.	Max. 2.14 MGD

Year 2020

January	Avg. Flow 1.280 MGD	Min. Flow 1.055 MGD	Max. 1.720 MGD
February	Avg. Flow 1.221 MGD	Min. Flow 1.000 MGD	Max. 1.630 MGD
March	Avg. Flow 1.581 MGD	Min. Flow 1.010 MGD	Max. 2.290 MGD
April	Avg. Flow 1.283 MGD	Min. Flow 940,000 g.p.d.	Max. 2.210 MGD
May	Avg. Flow 1.607 MGD	Min. Flow 1.010 MGD	Max. 4.090 MGD
June	Avg. Flow 1.178 MGD	Min. Flow 980,000 g.p.d.	Max. 1.510 MGD
July	Avg. Flow 1.269 MGD	Min. Flow 800,000 g.p.d.	Max. 2.370 MGD

Years Summary of Water Consumption

2006 Total Pumpage 207,719,000 gallons	2007 Total Pumpage 217,224,000 gallons
2008 Total Pumpage 229,613,000 gallons	2009 Total Pumpage 231,160,000 gallons
2010 Total Pumpage 239,326,000 gallons	2011 Total Pumpage 240,268,000 gallons
2012 Total Pumpage 253,492,000 gallons	2013 Total Pumpage 228,371,000 gallons
2014 Total Pumpage 230,973,000 gallons	2015 Total Pumpage 222,621,000 gallons
2016 Total Pumpage 254,531,000 gallons	2017 Total Pumpage 251,387,000 gallons
2018 Total Pumpage 241,322,000 gallons	2019 Total Pumpage 253,427,000 gallons

Year 2018

Jan.	Avg.	674,710 g.p.d.	Highest Day 831,000 gals.	Total	20,916,000 gallons
Feb.	Avg.	660,820 g.p.d.	Highest Day 762,000 gals.	Total	18,503,000 gallons
March	Avg.	646,810 g.p.d.	Highest Day 784,000 gals.	Total	20,051,000 gallons
April	Avg.	656,300 g.p.d.	Highest Day 1.122 MGD	Total	19,689,000 gallons
May	Avg.	682,065 g.p.d.	Highest Day 840,000 gals.	Total	21,144,000 gallons
June	Avg.	694,600 g.p.d.	Highest Day 891,000 gals.	Total	20,838,000 gallons
July	Avg.	759,160 g.p.d.	Highest Day 1.172 MGD	Total	23,534,000 gallons
August	Avg.	728,450 g.p.d.	Highest Day 963,000 gals.	Total	22,582,000 gallons
Sept	Avg.	605,200 g.p.d.	Highest Day 842,000 gals.	Total	18,156,000 gallons
Oct	Avg.	619,320 g.p.d.	Highest Day 896,000 gals.	Total	19,199,000 gallons
Nov	Avg.	596,000 g.p.d.	Highest Day 907,000 gals.	Total	17,880,000 gallons
Dec	Avg.	607,419 g.p.d.	Highest Day 785,000 gals.	Total	18,830,000 gallons

Year 2019

Jan.	Avg.	638,230 g.p.d.	Highest Day 791,000 gals.	Total	19,785,000 gallons
Feb.	Avg.	605,820 g.p.d.	Highest Day 758,000 gals.	Total	16,963,000 gallons
March	Avg.	616,230 g.p.d.	Highest Day 946,000 gals.	Total	19,103,000 gallons
April	Avg.	697,800 g.p.d.	Highest Day 1.112 MGD	Total	20,934,000 gallons
May	Avg.	707,810 g.p.d.	Highest Day 889,000 gals.	Total	21,942,000 gallons
June	Avg.	766,200 g.p.d.	Highest Day 969,000 gals.	Total	22,986,000 gallons
July	Avg.	843,710 g.p.d.	Highest Day 1.174 MGD	Total	26,155,000 gallons
August	Avg.	747,230 g.p.d.	Highest Day 1.061 MGD	Total	23,164,000 gallons
Sept	Avg.	689,300 g.p.d.	Highest Day 830,000 gals.	Total	20,679,790 gallons
Oct.	Avg.	696,520 g.p.d.	Highest Day 1.116 MGD	Total	21,592,000 gallons
Nov.	Avg.	643,970 g.p.d.	Highest Day 830,000 gals.	Total	19,319,000 gallons
Dec.	Avg.	671,100 g.p.d.	Highest Day 875,000 gals.	Total	20,805,000 gallons

Year 2020

Jan.	Avg.	662,650 g.p.d.	Highest Day 769,000 gals.	Total	20,542,000 gallons
Feb	Avg.	682,280 g.p.d.	Highest Day 886,000 gals.	Total	19,786,000 gallons
March	Avg.	702,030 g.p.d.	Highest Day 837,000 gals.	Total	21,763,000 gallons
April	Avg.	731,070 g.p.d.	Highest Day 1.153 MGD	Total	21,932,000 gallons
May	Avg.	691,030 g.p.d.	Highest Day 915,000 gals.	Total	21,422,000 gallons
June	Avg.	806,030 g.p.d.	Highest Day 1.057 MGD	Total	24,181,000 gallons
July	Avg.	841,970 g.p.d.	Highest Day 1.431 MGD	Total	26,101,000 gallons

Pump Capacity - Well #1- 400 g.p.m. Well #3 -900 g.p.m. Well #4 - 1200 g.p.m. Well #5 – 1,100 g.p.m. Well #6 – 800 g.p.m.

WWTP – Holding & Septage Receiving

2005	\$ 87,562.01	2006	\$101,115.11	2007	\$152,201.07	2008	\$210,441.47
2009	\$183,815.34	2010	\$197,653.66	2011	\$220,576.28	2012	\$236,224.70
2013	\$235,336.46	2014	\$203,938.32	2015	\$210,644.47	2016	\$220,473.17
2017	\$232,358.23	2018	\$245,767.74	2019	\$219,822.80		

2018	Holdings (gals)	Grease (gals)	G Decant (gals)	Septage (gals)	S Decant (gals)	Total Billings
Jan	1,627,400			2,250	70,400	\$14,055.51
Feb	1,632,750			1,750	69,850	\$14,061.88
March	1,589,150			6,450	197,600	\$17,943.45
April	1,451,750			16,750	234,400	\$18,227.75
May	1,849,700			21,050	354,100	\$24,597.35
June	1,636,850			38,900	351,450	\$23,631.55
July	1,662,650			37,150	230,750	\$20,741.70
August	1,861,850			58,650	315,400	\$25,419.05
September	1,510,000			37,000	249,500	\$19,982.50
October	1,676,000			38,000	462,900	\$26,690.50
November	1,433,250			29,500	397,100	\$22,721.00
December	1,481,500			13,550	209,350	\$17,695.50

2019	Holdings (gals)	Grease (gals)	G Decant (gals)	Septage (gals)	S Decant (gals)	Total Billings
Jan	1,230,000			2,000	77,700	\$11,872.50
Feb	1,432,250			1,000	70,100	\$13,255.50
March	1,614,450			11,750	161,800	\$17,489.35
April	1,485,950			48,700	335,350	\$22,462.85
May	1,589,200			27,600	349,400	\$22,690.60
June	1,338,900			36,950	243,400	\$18,458.95
July	1,504,450			17,000	302,900	\$20,373.10
August	1,599,950			27,800	293,200	\$21,380.60
September	1,405,900			14,000	217,450	\$17,313.45
October	1,517,950			19,500	335,900	\$21,418.60
November	1,265,950			11,500	256,950	\$17,071.10
December	1,647,650			6,500	102,500	\$16,036.20

2020	Holdings (gals)	Grease (gals)	G Decant (gals)	Septage (gals)	S Decant (gals)	Total Billings
Jan	1,426,900				71,000	\$11,872.50
February	1,310,500			2,250	88,500	\$12,786.50
March	1,471,600	900		5,000	173,650	\$16,429.05
April	1,263,950			29,000	326,170	\$19,570.85
May	1,168,670			4,450	308,250	\$17,255.86
June	1,253,900			9,900	196,550	\$15,390.45
July	1,459,700			16,450	212,650	\$17,734.10

Rosewood Drive/TIF Expansion Project

Rosewood Apartments are being constructed. Streetlights and sidewalk on the north side of Rosewood Lane still need to be installed. A schedule is being created for the installation with the developer of the TIF.

CTH P and STH 60 Intersection Project and old Park-n-Lot Property

Ownership has been determined to be WisDOT. An appraisal was completed by WisDOT, and the Village of Jackson is negotiating the purchase of land.

Jackson Park Alley Project

The punch list has a few items remaining. Once completed the final pay request will be created.

Maplewood Farms

Maplewood Farms Subdivision Phase 1 has very wet sub-soil, and the grading cannot be completed until dewatering is done. The Developer is having a hydraulic study of ground water being done for the land. Results will not be done until August.

Morning Meadows Subdivision

The plans are being finalized to start construction.

Laurel Springs Addition No. 1

Laurel Springs Subdivision is now complete, and the sanitary sewer and water systems can be accepted. Two houses are being built with more to follow.

Laurel Springs Villas

The Condo Development is back on for this year with units being built in October. Finalizing the plans for construction.

Trilogy Consulting - Study / Impact Fees

We are working on collection the necessary items for the study. The Park and Open Space Plan, and the bids from the new Police and Fire Building portion are items necessary for the impact fee study.

Jackson Municipal Complex

The new Jackson Municipal Complex site continues this week with footings, foundations, and plumbing being completed. The road project of Spruce St and Ridgeway Dr. has all underground utilities installed. Next, is storm sewer pond excavation, and grading for curb and gutter installation.

Chateau Dr/Hickory Lane Reconstruction Project

The punch list has a few items remaining. Once completed the final pay request will be created.

Spruce Street/Ridgeway Drive Extension Project

The road project of Spruce St and Ridgeway Dr. has all underground utilities installed. Next, is storm sewer pond excavation, and grading for curb and gutter installation.

Hunters Road Reconstruction Project and Highland Road Storm Sewer Project

Onsite inspections for sanitary lateral televising and storm sewer lateral location has begun. Construction has started.

Respectfully submitted, Brian W. Kober, P.E.