

AGENDA

PLAN COMMISSION MEETING

Thursday – April 26, 2018 – 7:00 p.m.

Jackson Village Hall

N168W20733 Main St

Jackson, WI 53037

1. Call to Order & Roll Call
2. Minutes – April 5, 2018, (March) Plan Commission Meeting
3. Petition for Direct Annexation – Bielinski Homes (Creekside Villas)
Jackson Drive at Cedar Creek Road
4. Planned Unit Development – Center Street Milling Co. – Site Plan
5. Conditional Use – Cathedral Builders – Building Addition
7. Planned Unit Development – Cobblestone Meadows – Preliminary Plat
8. Cobblestone Meadows – Developer’s Agreement
9. Citizens to Address the Plan Commission
10. Adjourn

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

**DRAFT MINUTES
PLAN COMMISSION MEETING (March Meeting)
Thursday – April 5, 2018 – 7:00 p.m.
Jackson Village Hall
N168W20733 Main St
Jackson, WI 53037**

1. Call to Order & Roll Call

Pres. Schwab called the meeting to order at 7:00 p.m.

Members present: Tr. Kruepke, Steve Schoen, Jeff Dalton, and Tr. Emmrich.

Members absent: Peter Habel.

Staff present: Brian Kober and John Walther.

Others present: Tr. Kurtz.

2. Minutes – February 22, 2018, Plan Commission Meeting

Motion by Jeff Dalton, second by Tr. Emmrich to approve the minutes of the February 22, 2018 Plan Commission meeting.

Vote: 6 ayes, 0 nays. Motion carried.

3. Conditional Use – Jackson Self-Storage Buildings – Dittmar Realty

Jason Bickert was present to provide an explanation of the project.

Motion by Pres. Schwab, second by Jeff Dalton to recommend to the Village Board the approval of the Conditional Use for Jackson Self-Storage Buildings, as presented and per staff comments.

Vote: 6 ayes, 0 nays. Motion carried.

4. Planned Unit Development Amendment – Building Addition – Infinity EDM, LLC – Design 2 Construct

Jordon O'Connor of Design 2 Construct was present to provide a summary explanation of the project.

Motion by Pres. Schwab, second by Jon Weil to recommend to the Village Board the approval of the PUD Amendment – Building Addition for Infinity EDM, as presented and per staff comments.

Vote: 6 ayes, 0 nays. Motion carried.

5. Concept Plan – Neumann Developments – Maplewood Farms

Steve DeCleene of Neumann Developments was present to provide an explanation of the project in order to be able to proceed with the engineering.

This subdivision is proposed to be a rural cross-section with ditches, the homes would have culverts, and that there would be no sidewalks. Pres Schwab recalled from a previous meeting that the concern was not that sidewalks be installed immediately, but that if sometime in the future sidewalks would be required, it wouldn't be a surprise to the landowners of the potential requirement. Mr.

DeCleene would rather match the surrounding community and would designate

(by painted line) a five foot bike lane on the street in lieu of a sidewalk. Pres Schwab believes it is a good compromise. Tr. Kruepke said we are starting to get a hodgepodge of developments and that outside certain lines; maybe we should come up with a standard. He believes the subdivision should have curb and gutter. He asked about plans for lighting. There were no plans, but that he would match the other developments. Mr. Dalton asked about parking. There would be no parking on the bike lane side of the street. Tr. Emmrich grew up in a subdivision like this and would prefer this type of subdivision. Mr. Dalton would be in favor of the walking path but would prefer curbing.

Motion by Tr. Kruepke, second by Mr. Dalton to recommend to the Village Board the concept plan for Neumann Developments to match Sherman Parc with curb and gutter, allowing the bike/walking path and some type of outdoor lighting to match Sherman Parc also.

Vote: 4 ayes, 2 nays (Schwab and Emmrich) Motion carried.

6. Concept Plan – Center St. Milling Co. – Restoration – Retail/Assembly

Kristine Jacklin and Shelley were present to explain the project. They have the property under contract and hope to close by June 1. They hope to keep the historic milling company and renovate it into a venue/event center possibly to be completed by January. It will have an outside bar area in the future – the project to be done in phases. All food will be catered in. There will be a kitchen area, but not a full kitchen. It will have a bar for events only and not for the general public. It will host ceremonies, celebrations of life, baby and bridal showers, do-it-yourself classes.

Motion by Pres Schwab, second by Tr. Emmrich to recommend to the Village Board the concept plan for Center St. Milling Co. as presented and per staff comments.

Vote: 6 ayes, 0 nays. Motion carried.

7. Planned Unit Development – Sign – Kettle Moraine Glass & Shower Door

This is for a new business located in Scheunemann Appliance Building and also for the sign.

Motion by Pres Schwab, second by Tr. Emmrich to recommend to the Village Board the PUD Amendment and sign as presented and per staff comments.

Vote: 6 ayes, 0 nays. Motion carried.

8. Citizens to Address the Plan Commission

None.

9. Adjourn

Motion by Pres. Schwab, second by Tr. Emmrich to adjourn.

Vote: 6 ayes, 0 nays. Meeting adjourned at 7:35 p.m.

Respectfully submitted by John M. Walther, Administrator.

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
 (Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Bielinski Homes, Inc
 Contact John Donovan Address/ZIP 1930 Meadow Ln. Ste A Pott WI Phone # 762-548-5570
 E-mail Address jdovovan@bielinski.com Fax # where Agenda/Staff comments are to be faxed 762-547-6697
 Name of Owner Bielinski Investments, LLC Address/ZIP same Phone# 762-547-9494
 Owner Representative/Developer John Donovan, Dev. Manager Bielinski Homes, Inc
 Proposed Use of Site Two-Family Condominiums R-6 Present Zoning Agriculture

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages) 2) Describe what you intend to do (paragraph)		XXX XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200')* 4) Owner acknowledgement of the request	Labels* 1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement 6) Location Map		XXX XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan 8) Preliminary Plat		XXX XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat 10) Certified survey Map		XXX XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition 12) Annexation Map	1	XXX XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan 14) Landscape Plan	4 (24x36)	XXX XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan 16) Water / Sewer / Storm Sewer Plans	4 (24x36) 4 (24x36)	XXX XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections 18) Erosion Control Plan	4 (24x36) 4 (24x36)	XXX XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials 20) Developers Agreement 21) Annexation Agreement (includes pre-annex agreements)		XXX XXX XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name John Donovan Signature [Signature] Date 4/13/18

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

Owner: Harry Bielinski [Signature] 4/13/18

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a Special Use Conditional Use Planned Unit Development

Permit to: Annexation

Name of Business/Applicant: Bielinski Homes, Inc

For a property located at (address): Jackson Drive + Cedar Creek Road

Phone number of Business/Applicant: 762-548-5570

For (land use, activity, sign, site plan, other): Two Family Condominiums (9) buildings with a total of 18 units.

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): —

Hours of Operation: 24/7

Comprehensive/Master Plan Compatibility: Consistent with the surrounding area.

Building Materials (type, color): see Attached Plans.

Setbacks from rights-of-way and property lines: Per zoning

Screening/Buffering: Natural screening to the north with wetlands & creek, landscape berm on south, fully grown mature tree line to the west on property border.

Landscape Plan (sizes, species, location): street trees on East side of property.

Signing (dimensions, colors, lighting, location): —

Lighting (wattage, style, pole location and height, coverage): —

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): Private road with utility easements + 28' wide pavement.

Storm-water Management: On-site storm water management conforming to Village & WDNR requirements. Practice includes (2) wet ponds + (2) rain gardens.

Erosion Control: To be provided per Village & WDNR requirements.

Fire Hydrant Location(s): Per plan & Village requirements

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: NA

Hazardous Material Storage: NA

Alarm Systems: NA

Site Features/Constraints: Wetland boundaries are accommodated in the site plan.

Parking (no. of spaces, handicapped parking, and dimensions): per site plan.

Tree and shrub preservation: Yes western border of property.

Setbacks/height limitations: per Village.

Wastewater Usage Projected: — gal/year Water Usage Projected: — gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period): Annexation process.

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

_____, Owner
Please print name

John Walther, Administrator

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades & runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

Washington County

Return to search results Property Summary

Owner (s):

BIELINSKI INVESTMENTS LLC

Location:

SE-SE,Sect. 7, T10N, R20E

Mailing Address:

**BIELINSKI INVESTMENTS LLC
1830 MEADOW LN STE A
PEWAUKEE, WI 53072**

School District:

6307 - WEST BEND SCHOOL

Tax Parcel ID Number:Tax District:

015200C**T7-TOWN OF JACKSON**

Status:

Active

Alternate Tax Parcel Number:Acres:

5.9400

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):

PT OF SE SE DOC 895401

Site Address (es): *(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)*

CEDAR CREEK RD

No permits were found for this tax parcel.

PETITION FOR DIRECT ANNEXATION BY UNANIMOUS APPROVAL

We the undersigned, constituting all of the electors and owners of certain real property in the Town of Jackson, Washington County, Wisconsin (the "Territory"), petition the Village Board of the Village of Jackson to annex the territory described below and shown on the attached scale map to the Village of Jackson, Washington County, Wisconsin:

Legal Description and scale map of the Territory is attached as Exhibit A and B.

The total population in the Territory is 0.

The total number of qualified electors residing in the Territory is 0.

We, the undersigned, elect that this annexation shall take effect to the full extent consistent with outstanding priorities of other annexation, incorporation or consolidation proceedings, if any.

Signature of Petitioner(s) and Electors	Date of Signing	Owner	Elector	Address
Bielinski Investments, LLC By: Bielinski, LLC By:  Harry Bielinski, Manager		X		1830 Meadow Lane, Suite A Pewaukee, Wisconsin 53072

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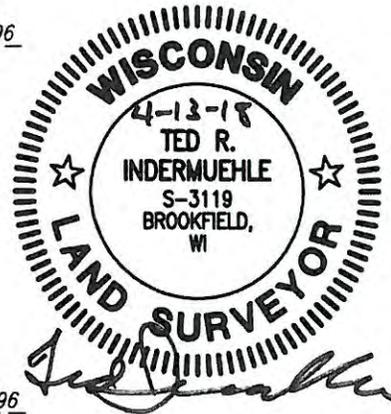
We, the undersigned, elect that this annexation shall take effect to the full extent consistent with outstanding priorities of other annexation, incorporation or consolidation proceedings, if any.

Signature of Petitioner(s) and Electors	Date of Signing	Owner	Elector	Address
Bielinski Investments, LLC By: Bielinski, LLC By:  Harry Bielinski, Manager		X		1830 Meadow Lane, Suite A Pewaukee, Wisconsin 53072

ANNEXATION EXHIBIT "A"



12660 W. North Avenue
 Building "D"
 Brookfield, WI 53005
 Phone: (262) 790-1480
 Fax: (262) 790-1481



UNPLATTED LANDS

N89°41'52"E 330.00

LOT 2
 C.S.M. 3685

LOT 1
 C.S.M. 5496

LOT 2
 C.S.M. 5496

LOT 3
 C.S.M. 5496

OUTLOT 1
WEINAND'S HIDDEN CREEK

N00°38'52"W 779.63

E. LINE, S.E. 1/4,
 SEC. 7-10-20

JACKSON DRIVE
 S00°38'52"E 787.70

TOTAL ANNEXATION AREA

258,606 S.F.
 5.9368 Ac.

PARCEL ID:
17-015200C

PARCEL 1
C.S.M. 5169

S. LINE, S.E. 1/4,
 SEC. 7-10-20

TOWN OF JACKSON

VILLAGE OF JACKSON

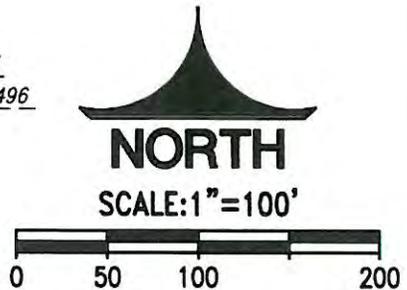
N88°54'08"W 330.15

CEDAR CREEK ROAD

VILLAGE OF JACKSON

(P.O.B.)
 SE. CORNER
 SEC. 7-10-20

OUTLOT 2
LAUREL SPRINGS



ANNEXATION EXHIBIT "B"

LEGAL DESCRIPTION:

Being a part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Town 10 North, Range 20 East, Washington County, Wisconsin, now being more particularly bounded and described as follows:

Beginning at the Southeast corner of the Southeast 1/4 of said Section; Thence North 88°54'08" West along the South line of said Southeast 1/4, 330.15 feet to a point on the East line of Parcel 1 of Certified Survey Map Number 5169 and it's extension; Thence North 00°38'52" West along said East line, 779.63 feet to a point; Thence North 89°41'52" East 330.00 feet to a point on the East line of said Southeast 1/4; Thence South 00°38'52" East along said East line, 787.70 feet to the place of beginning.

Said Parcel contains 258,606 Square Feet (or 5.9368 Acres) of land, more or less.

Date: 4/13/2018



A handwritten signature in black ink, appearing to read "Ted R. Indermuehle".

Ted R. Indermuehle, P.L.S.
Professional Land Surveyor
TRIO ENGINEERING, LLC
12660 W. North Avenue, Building "D"
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

Request for Annexation Review

Wisconsin Department of Administration

WI Dept. of Administration
Municipal Boundary Review
PO Box 1645, Madison WI 53701
608-264-6102 Fax: 608-264-6104
wimunicipalboundaryreview@wi.gov
<http://doa.wi.gov/municipalboundaryreview>

Petitioner Information

Name: **BIELINSKI INVESTMENTS, LLC**

Address: **1830 MEADOW LANE SUITE A**

PEWAUKEE, WI 53072

Email: **BIELINSKI.COM**

Office use only:

1. Town where property is located: **JACKSON, WI**

2. Petitioned City or Village: **VILLAGE OF JACKSON**

3. County where property is located: **WASHINGTON**

4. Population of the territory to be annexed: **0**

5. Area (in acres) of the territory to be annexed: **5.94**

6. Tax parcel number(s) of territory to be annexed
(if the territory is part or all of an existing parcel): **T7-015200C**

Petitioners phone:

262-542-9494

Town clerk's phone:

262-677-4048

City/Village clerk's phone:

262-677-9001 X11-

Contact Information if different than petitioner:

Representative's Name and Address:

JOHN DONOVAN

BIELINSKI DEVELOPMENT, INC.

1830 MEADOW LANE SUITE A

PEWAUKEE, WI 53072

Phone: **262-548-5570**

E-mail: **JDONOVAN@BIELINSKI.COM**

Surveyor or Engineering Firm's Name & Address:

JOSH PUDELKO

TRIO ENGINEERING

12660 W. NORTH AVE.

BROOKFIELD, WI 53005

Phone: **262-790-1480**

E-mail: **JPUDELKO@TRIOENG.COM**

Required Items to be provided with submission (to be completed by petitioner):

- Legal Description meeting the requirements of [s.66.0217 \(1\)\(c\)](#) [see attached annexation guide]
- Map meeting the requirements of [s. 66.0217 \(1\)\(g\)](#) [see attached annexation guide]
- Signed Petition or Notice of Intent to Circulate is included
- Indicate Statutory annexation method used:
 - Unanimous per [s. 66.0217 \(2\)](#), or,
OR
 - Direct by one-half approval per [s. 66.0217 \(3\)](#)
- Check or money order covering review fee [see next page for fee calculation]

Annexation Review Fee Schedule

A Guide for Calculating the Fee Required by ss.16.53 (4) and 66.0217, Wis. Stats.

Required Fees

There is an initial filing fee and a variable review fee

\$350. Initial Filing Fee (required with the first submittal of all petitions)

\$200 – 2 acres or less

\$350 – 2.01 acres or more

\$600 Review Fee (required with all annexation submittals except those that consist ONLY of road right-of-way)

\$200 – 2 acres or less

\$600 – 2.01 to 10 acres

\$800 – 10.01 to 50 acres

\$1,000 – 50.01 to 100 acres

\$1,400 – 100.01 to 200 acres

\$2,000 – 200.01 to 500 acres

\$4,000 – Over 500 acres

\$950 TOTAL FEE DUE (Add the Filing Fee to the Review Fee)

Attach check or money order here, payable to: **Department of Administration**

**THE DEPARTMENT WILL NOT PROCESS
AN ANNEXATION PETITION THAT IS NOT ACCOMPANIED
BY THE REQUIRED FEE.**

**THE DEPARTMENT'S 20-DAY STATUTORY REVIEW PERIOD
COMMENCES UPON RECEIPT OF THE PETITION AND REVIEW FEE**

Shaded Area for Office Use Only

Date fee received: _____

Payee: _____ Check Number: _____

Check Date: _____

Amount: _____

BIELINSKI[®]

H O M E S

SITE PLAN

**Creekside Villas- A Bielinski Planned Development
Multi-Family Residential (Condominiums); R-6 Zoning
Village of Jackson, WI**

DEVELOPMENT SUMMARY

Proposed Development:	2-Family Condominiums
Proposed Zoning:	R-6
Parcel Acreage Area:	4.95
Number of Lots (Units)	18
Lot Area:	12,000 s. f. /building
Density:	3.64 units per acre
Zoning Standards:	
Building Height:	35
Building Setback:	
Front Yard:	25'
Side Yard:	15'
Rear Yard:	25'
Distance Between Buildings:	20'
One Story Min. Sq. Ft.	Per zoning
Two Story/Bi- Level Min. Sq. Ft.	Per zoning
Parking	Per zoning
Proposed Openspace:	Per zoning
Total Green Space	60% of lot area
Lot & Home Assessed Value	\$225,000
Total Number of Homes	18
Estimated Project Value	\$4,050,000
Yr. Tax Revenue (20.00 rate)	\$81,000

Summary:

Enjoy the good life without the worry of lawn maintenance or snow removal at Creekside Villas. Located in the Village of Jackson, a private oasis featuring 18 ranch style condominium units in a classic but modernized Arts and Crafts style design.

Bielinski Homes is very excited about the future opportunity of constructing these ranch style condominiums with an anticipated starting date in 2018.

Proposed Condominiums:

The Carnation Ranch style with 1,412 s. f. / 2 bedroom / 2 bath

Open Concept with no-step down entrance at garage and front door, sunroom, first floor laundry, full basement and a 2 car attached garage.

The Carnation

Condominium

PLAN #1412

Ranch | 1,412 sq ft | 2 Bedroom | 2 Bath



Classical



Traditional

BIELINSKITM
HOMES

262.542.9494 • bielinski.com



SITE PLAN

CREEKSIDE VILLAS
VILLAGE OF JACKSON, WI

DEVELOPED BY:
BIELINSKI
HOMES

BEING A PART OF THE SE 1/4 OF THE SE 1/4 OF SECTION 7
T10N, R20E, TOWN OF JACKSON, WASHINGTON COUNTY, WISCONSIN

12660 W. NORTH AVE., BLDG D
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuvelko@trioeng.com



H:_0900\9666\16029-02-CREEKSIDE VILLAS\CONCEPTS\2018-01-10_UPDATED_SITE_PLAN\SITE_PLAN_2018-01-10.DWG

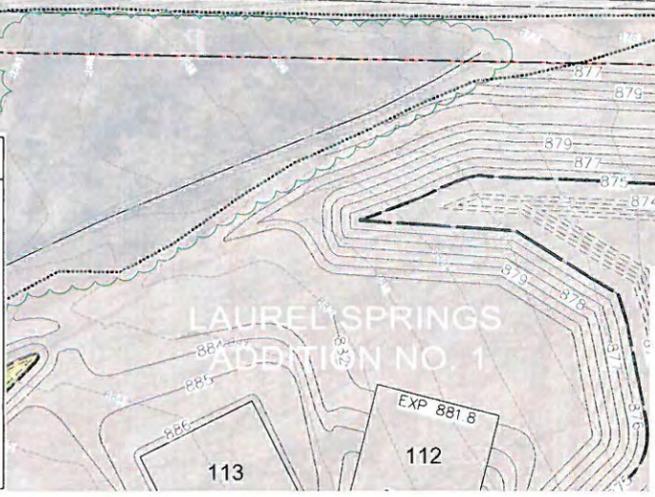
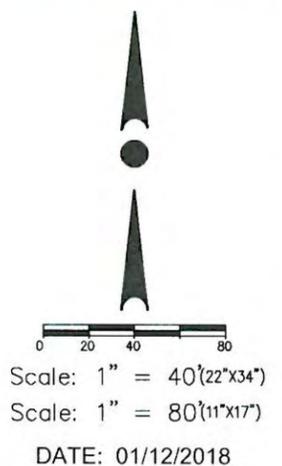
ZONING INFORMATION

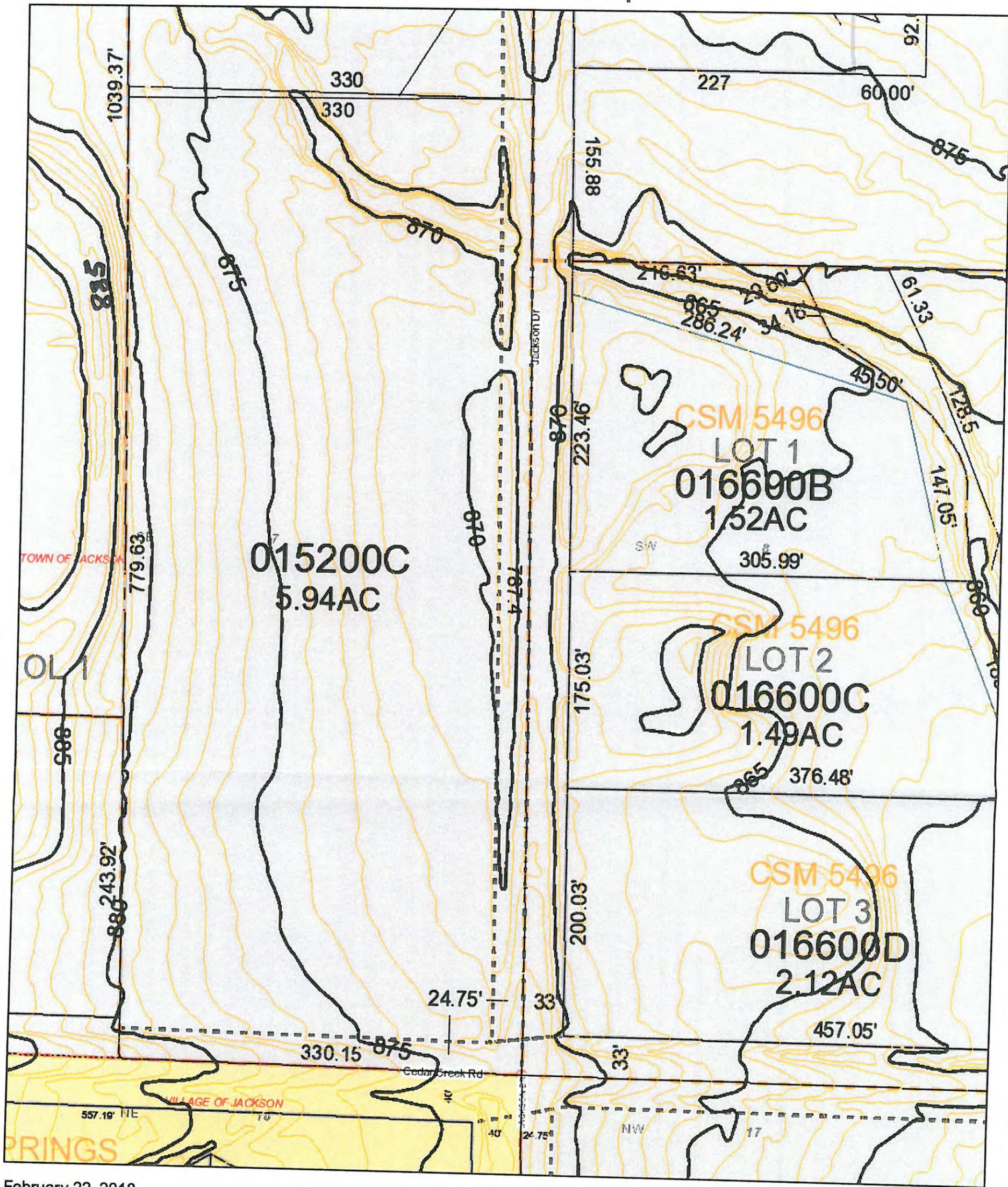
Proposed Zoning: R-6
Design Criteria:
 Lot Area= 12,000 s.f. (Min.)
 Lot Width = 85'

Setbacks:
 Front = 25'
 Collector Street = 30'
 Side = 15'
 Rear = 25'

DEVELOPMENT SUMMARY

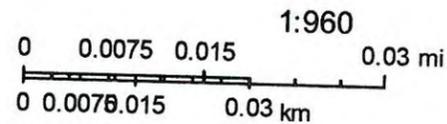
Proposed Site:
 Total Area - 215,500 sq. ft.
 4.95 acres
Proposed Zoning: R-6
Density: 3.64 units/acre



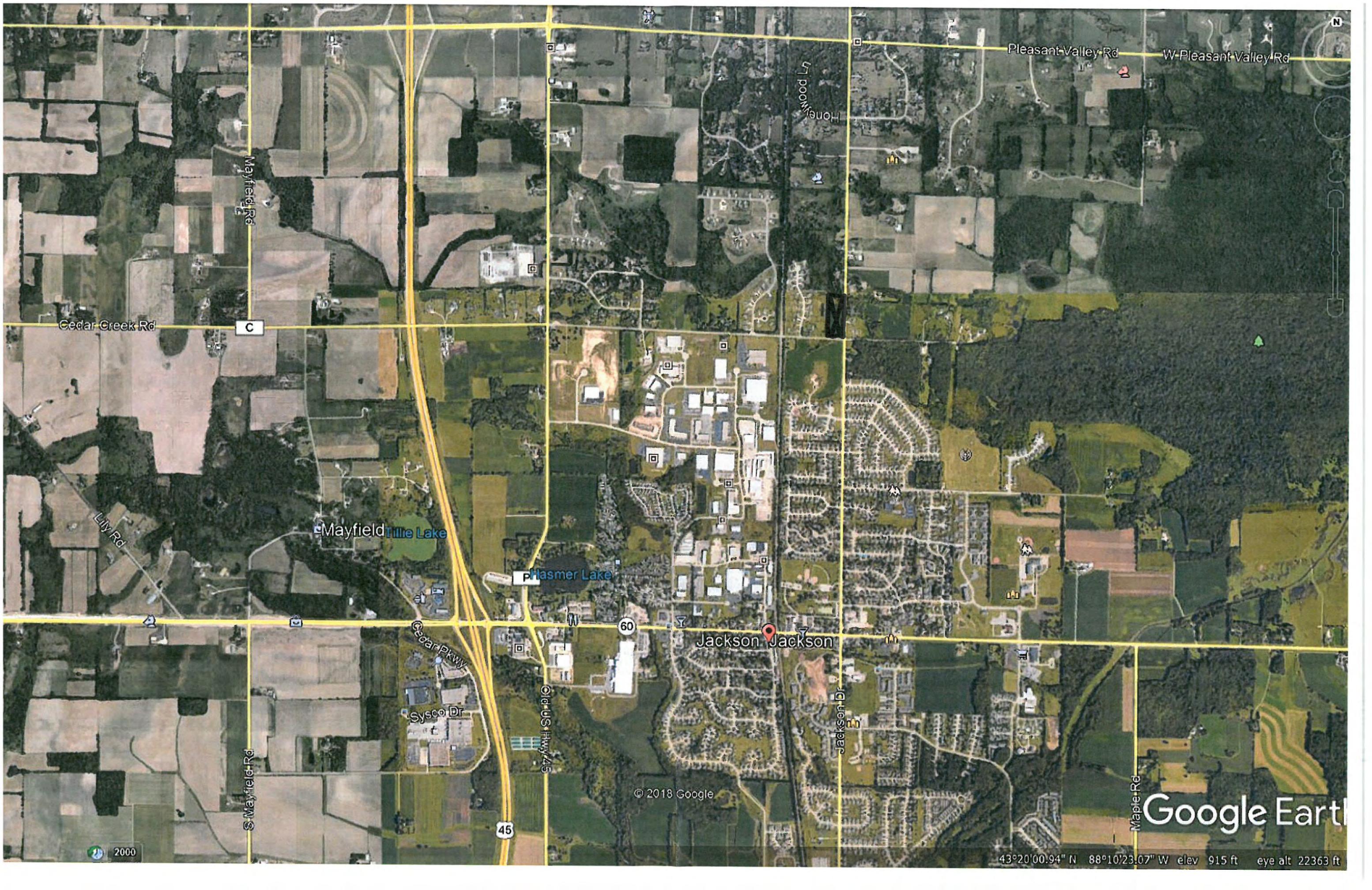


February 22, 2018

- | | |
|-----------------------------|-------------------------------|
| County Boundary | Road Centerline I, USH |
| City, Village or Town Hall | Road Centerline STH, CTH |
| Libraries | Road Centerline TWN, CVS, PVT |
| Washington County Landmarks | Landhook |
| Airports | Meander Line |
| Trails | PLSS Monument |
| Public Open Spaces | PLSS Boundary |
| 1' Contours | Text Leader Lines |
| <all other values> | Plat |
| Index | Lot |
| Intermediate | Municipality |
| Current Parcel | Retired Parcel |
| | Right-of-Way |



Washington County GIS
 Washington County



Pleasant Valley Rd
W-Pleasant Valley Rd

Mayfield Rd

Honeywood Ln

Cedar Creek Rd

C

Lily Rd

Mayfield Lake

Phasmer Lake

Jackson Jackson

Cedar Pkwy

60

Sysco Dr

Old US Hwy 45

Jackson Dr

S Mayfield Rd

45

Maple Rd

Google Earth

© 2018 Google

43°20'00.94" N 88°10'23.07" W elev 915 ft eye alt 22363 ft

2000



W208N16730 Center St. Jackson~Wi 53033

Our goal is to restore this historical Jackson Mill to serve as a unique gathering space for events. We plan on remodeling the property as follows:

Area A- Remove building (if any parts are salvageable- possible overhang/ greenspace/parking)

Building B- Leave as current use - Storage Area

Building C- Paint, update, add sink for catering area in basement, restore cement floors on main level

Building D- Add Women's and Men's Bathrooms to code, insulate exterior walls/ceiling

Building E- Construct a bar area, insulate exterior walls/ceiling, update sliding doors to weatherproof

Building F- Repair part of the missing floor, if possible insulate exterior walls/ceiling (if not, use as three season gathering space) paint, add electrical for lighting, clean basement area to utilize for storage

Area G- Clean, grade, level, landscape, add lighting, greenspace

General Repairs- Refresh with paint, update signage, refresh wood porch and ramps, grade, landscape, add lighting

Elevate

N Center St

Park St

Park St

Park St

Jackson

Miller Monument Co

Jackson Pub

Latest Edition Saloon

Main St

60

Main St

Sonya's Rose Creative
Florals & Gifts

Jackson Village Hall

Ray's Auto Body
Shop-Jackson

Jackson Dr

W208N16730
South Center Street

Reynolds St

S Center St

Jackson
Fire Dep

Jackson Dr

South St

South St

Blackberry Cir

Jackson Dr

Cranberry Creek
Apartments



WB-15 COMMERCIAL OFFER TO PURCHASE

LICENSEE DRAFTING THIS OFFER ON March 6, 2018 [DATE] IS (AGENT OF BUYER)
~~(AGENT OF SELLER/ LISTING BROKER)~~ ~~(AGENT OF BUYER AND SELLER)~~ **STRIKE THOSE NOT APPLICABLE**

GENERAL PROVISIONS The Buyer, My Church Richfield LLC
offers to purchase the Property known as [Street Address] W208N16730 S Center Street
of Jackson in the Village
County of Washington, Wisconsin

(Insert additional description, if any, at lines 109-115 or 277-286 or attach as an addendum per line 479), on the following terms:

■ **PURCHASE PRICE** _____ Dollars (\$ ~~XXXXXX~~)
■ **EARNEST MONEY** of \$ _____ accompanies this Offer and earnest money of \$ _____ will be
mailed, or commercially or personally delivered within _____ days of acceptance to listing broker or

■ **THE BALANCE OF PURCHASE PRICE** will be paid in cash or equivalent at closing unless otherwise provided below.

■ **INCLUDED IN PURCHASE PRICE:** Seller is including in the purchase price the Property, all Fixtures on the Property on the date of this Offer
not excluded at lines 20-22, and the following additional items: _____

All personal property included in purchase price will be transferred by bill of sale or _____

■ **NOT INCLUDED IN PURCHASE PRICE:** Seller's personal property

CAUTION: Identify trade fixtures owned by tenant, if applicable, and Fixtures that are on the Property (see lines 303-310) to be excluded
by Seller or which are rented and will continue to be owned by the lessor.

NOTE: The terms of this Offer, not the listing contract or marketing materials, determine what items are included/excluded.

ACCEPTANCE Acceptance occurs when all Buyers and Sellers have signed one copy of the Offer, or separate but identical copies of the Offer.

CAUTION: Deadlines in the Offer are commonly calculated from acceptance. Consider whether short term deadlines running from
acceptance provide adequate time for both binding acceptance and performance.

BINDING ACCEPTANCE This Offer is binding upon both Parties only if a copy of the accepted Offer is delivered to Buyer on or before
March 9, 2018. Seller may keep the Property on the market and accept
secondary offers after binding acceptance of this Offer.

CAUTION: This Offer may be withdrawn prior to delivery of the accepted Offer.

OPTIONAL PROVISIONS TERMS OF THIS OFFER THAT ARE PRECEDED BY AN OPEN BOX () ARE PART OF THIS OFFER ONLY IF
THE BOX IS MARKED SUCH AS WITH AN "X." THEY ARE NOT PART OF THIS OFFER IF MARKED "N/A" OR ARE LEFT BLANK.

DELIVERY OF DOCUMENTS AND WRITTEN NOTICES Unless otherwise stated in this Offer, delivery of documents and written notices to a
Party shall be effective only when accomplished by one of the methods specified at lines 37-54.

(1) **Personal Delivery** giving the document or written notice personally to the Party, or the Party's recipient for delivery if named at line 38 or 39.

Seller's recipient for delivery (optional): _____
Buyer's recipient for delivery (optional): _____

(2) **Fax** fax transmission of the document or written notice to the following telephone number:
Seller (_____) Buyer (_____)

(3) **Commercial Delivery** depositing the document or written notice fees prepaid or charged to an account with a commercial delivery
service, addressed either to the Party, or to the Party's recipient for delivery if named at line 38 or 39, for delivery to the Party's delivery address at
line 47 or 48.

(4) **U.S. Mail** depositing the document or written notice postage prepaid in the U.S. Mail, addressed either to the Party, or to the Party's
recipient for delivery if named at line 38 or 39, for delivery to the Party's delivery address at line 47 or 48.

Delivery address for Seller: _____
Delivery address for Buyer: _____

(5) **E-Mail** electronically transmitting the document or written notice to the Party's e-mail address, if given below at line 53 or 54. If this is a
consumer transaction where the property being purchased or the sale proceeds are used primarily for personal, family or household purposes,
each consumer providing an e-mail address below has first consented electronically to the use of electronic documents, e-mail delivery and
electronic signatures in the transaction, as required by federal law.

E-Mail address for Seller (optional): rbuser@charter.net
E-Mail address for Buyer (optional): brandon@mkerealtygroup.com

PERSONAL DELIVERY/ACTUAL RECEIPT Personal delivery to, or Actual Receipt by, any named Buyer or Seller constitutes personal delivery
to, or Actual Receipt by, all Buyers or Sellers.

CENTER STREET MILL CO : *Event Space*

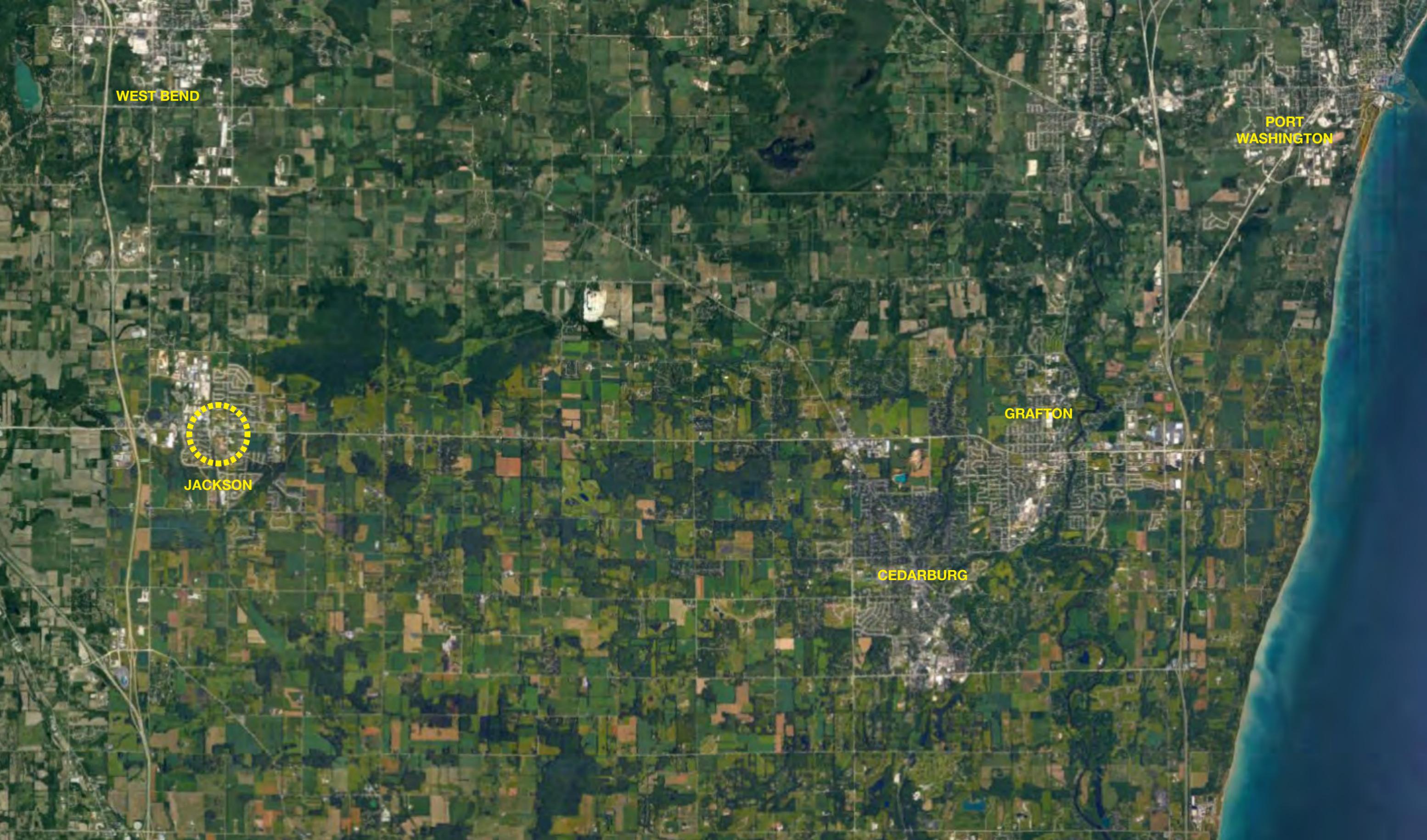
Village Approval
04.18.2018

outside

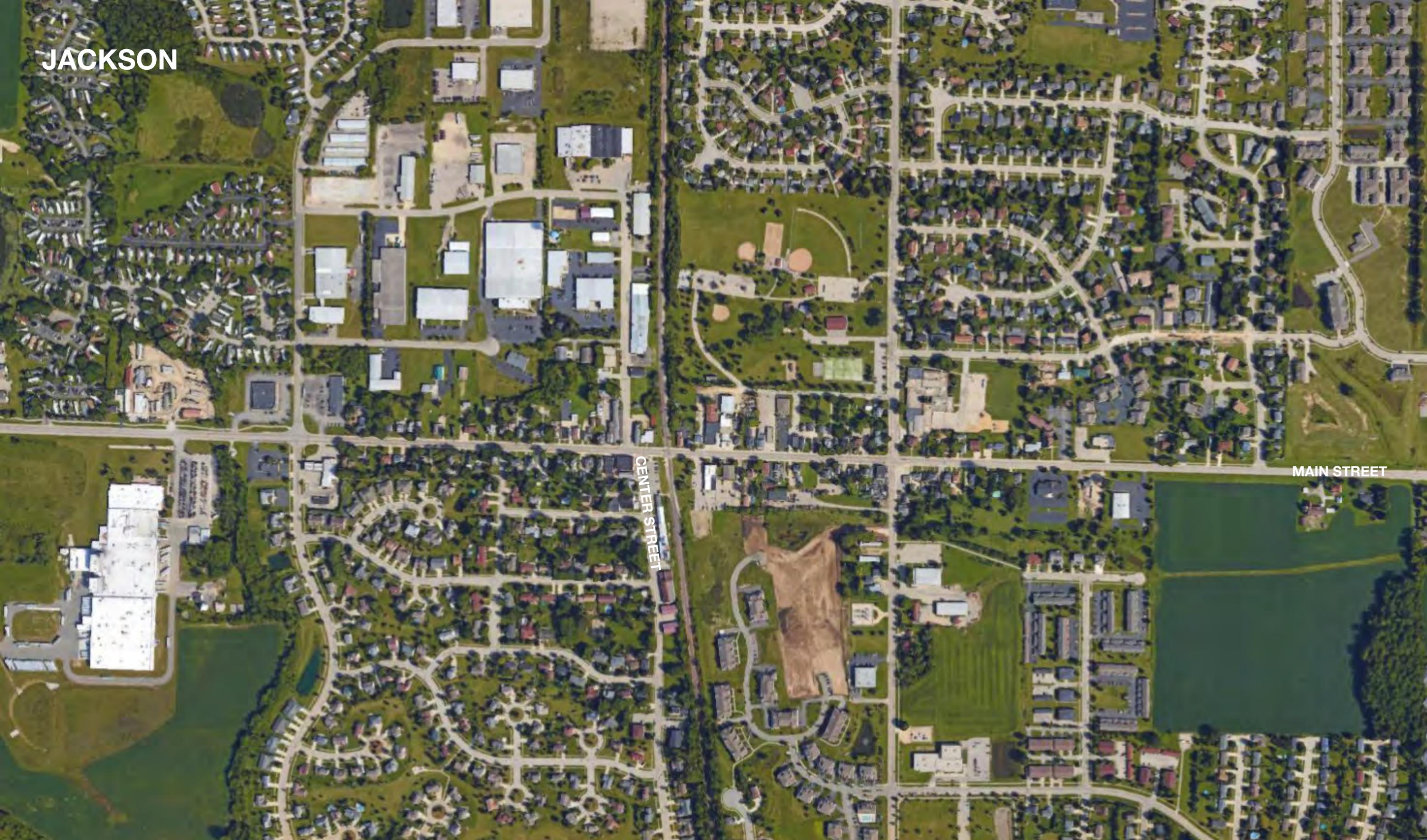
CENTER STREET MILL CO : *Event Space*

Village Approval
04.18.2018

outside

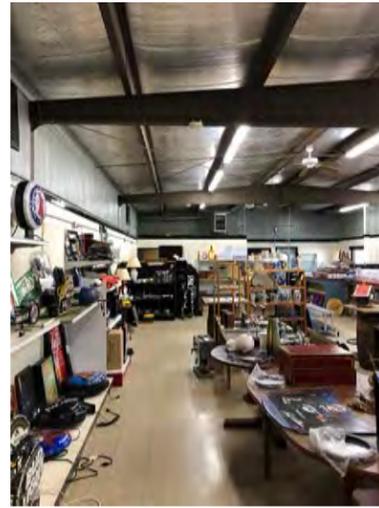


JACKSON



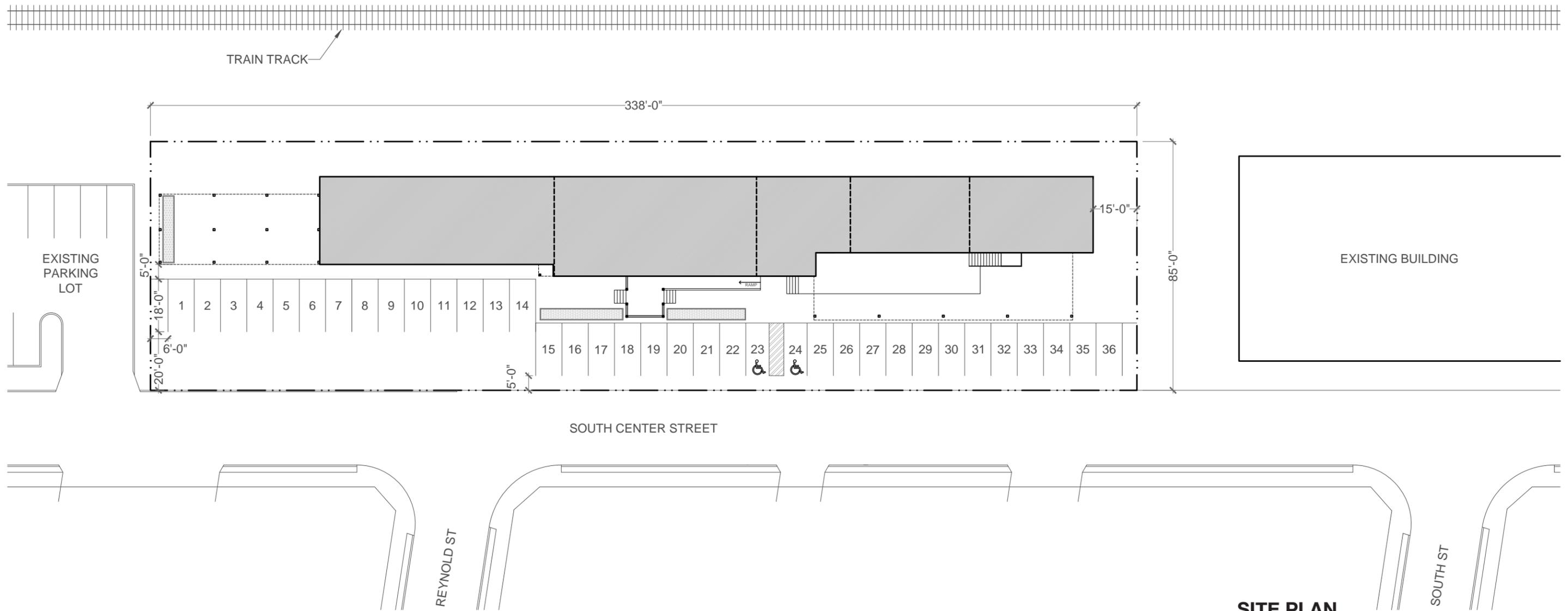
CENTER STREET

MAIN STREET

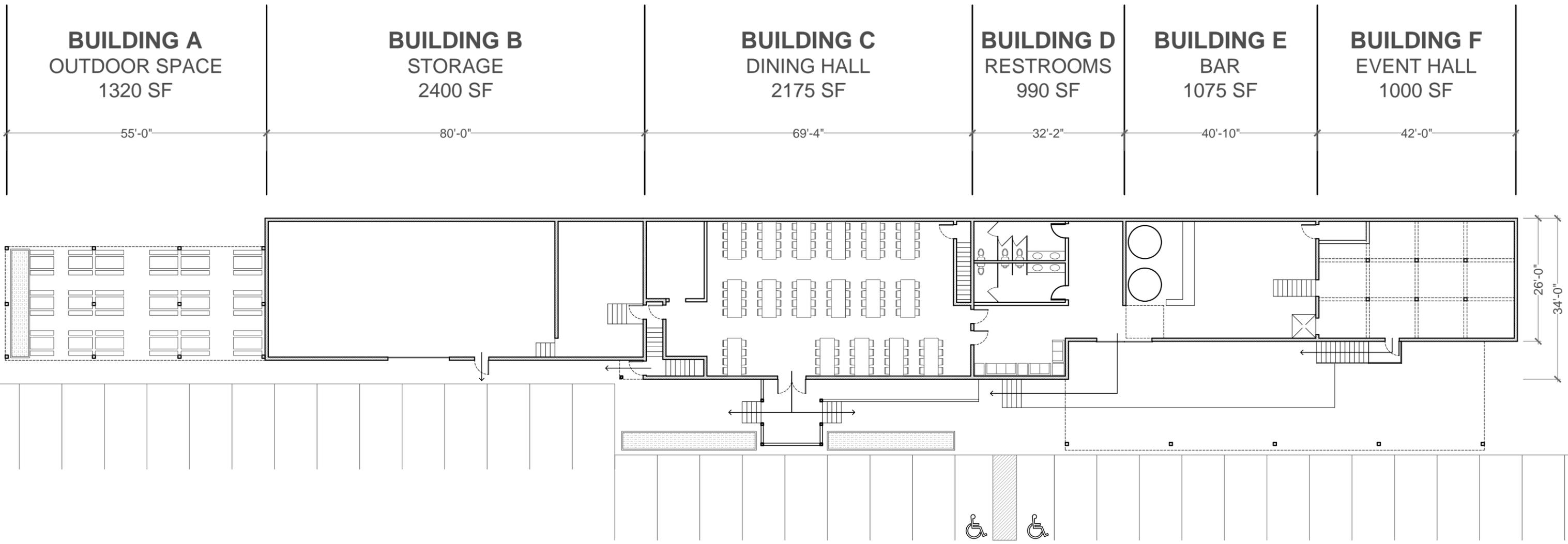








SITE PLAN
 1/32" = 1'-0"



FLOOR PLAN
1" = 20'-0"



EXTERIOR PAINT COLORS - TIMELESS BLACK & WHITE
Leaving the southern most building with its distressed charm & elegance



EXTERIOR LIGHTING - RUSTIC YET ELEGANT
Accent lighting will complement the existing building's industrial nature.



EXTERIOR SIGNAGE

We will restore the original sign and add a vintage painted logo on the northern exposure of the building facing Highway 60. The building will be painted white with black accents. We will have black warehouse lights with bistro lights hanging beneath the canopy.



CENTER STREET MILL CO : *Event Space*

Village Approval
04.18.2018

outside



W208N16730 Center St. Jackson~Wi 53033

Impact Statement

- A. Annual Water Consumption - Less than 100,000 gallons
- B. Annual Sewage - Less than 100,000 gallons
- C. Vehicle Trip Generation – 225 per large event, less than 70 per small event
- D. # Vehicles stored on Site - 0
- E. Proposed Signage - Please see Plan provided
- F. Operational Hours - Sunday to Thursday 9am-10pm
Friday/Saturday 9am-12pm
- G. User Profiles - N/A
- H. Proposed Dates of Construction & Completion -
Contingent on Offer & Approvals - 6 month completion
- I. Unusual Conditions:

Hazardous Materials - N/A

Fire Hazards - N/A

Odors - N/A

Noise - All outdoor music ends at 10pm

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

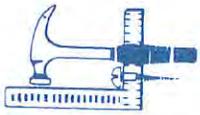
Name of Applicant Cathedral Builders
 Contact Dean Giacomini Address/ZIP N169 W 21170 Tower Dr. Phone # 262-250-1985
 E-mail Address Dean@Cathedralbuilders.com Fax # where Agenda/Staff comments are to be faxed _____
 Name of Owner Dean Giacomini Address/ZIP N169 W 21170 Tower Dr. Phone# 262-250-1985
 Owner Representative/Developer _____
 Proposed Use of Site Industrial Building addition & out building Present Zoning M1

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u>	<u>TYPE OF INFORMATION DESCRIBED</u> (See page 5)	<u>PAPER COPIES</u>	<u>CD</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
* CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	<u>Engineering Review - Infrastructure</u>		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Dean Giacomini Signature Dean Giacomini Date 4-6-18

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____



Cathedral Builders, Inc.

N169W21170 Tower Dr.
Jackson, WI 53037

Phone: 262-250-1985
Fax: 262-674-1944

April 6, 2018

To: Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

From: Cathedral Builders, Inc.

Purpose: Concept Plan

Subject: LETTER OF INTENT

Dear Village,

Please accept this letter of intent as the description of use at the property located at N169W21170 Tower Drive, Jackson, WI 53037. The tax key parcel identifier associated with this property is V3009400E.

We are proposing a 60'x125' addition to our existing building plus a 60'x25' enclosed drive-in loading dock both to be used for the purpose of added manufacturing space. Materials will be to match existing building including steel siding, and steel roof.

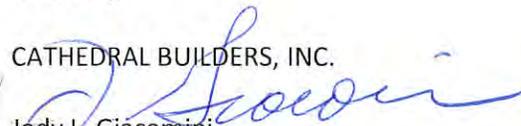
Also, to match existing building, a proposed 40'x64' outbuilding to be for storage of equipment and vehicles.

We have relocated to Jackson from Menomonee Falls in 2016, and are looking forward to many more productive years at our company here in the Village of Jackson.

Thank you for your consideration.

Sincerely,

CATHEDRAL BUILDERS, INC.


Jody L. Giacomini
President


Dean A. Giacomini
Owner

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development

Permit # _____

The Village of Jackson, hereby grants a Special Use Conditional Use Planned Unit Development

Permit to:

Name of Business/Applicant: Cathedral Builders

For a property located at (address): 1169 W 21170 Tower Drive

Phone number of Business/Applicant: 262-250-1985

For (land use, activity, sign, site plan, other): Building Addition & out Building

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): None

Hours of Operation: M-F 5:30-5:00 Sat 5:30-3:00

Comprehensive/Master Plan Compatibility: yes

Building Materials (type, color): metal building to match existing metal building TAN color

Setbacks from rights-of-way and property lines: _____

Screening/Buffering: N/A

Landscape Plan (sizes, species, location): None

Signing (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): Building lighting

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), sidewalk/pedestrian way width and material): parking on north & west of Building

Storm-water Management: Existing

Erosion Control: _____

Fire Hydrant Location(s): Existing

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: Knox Box installed on the front of the existing Building 414-688-5799

Hazardous Material Storage: None.

Alarm Systems: Sprinkler system.

Site Features/Constraints: _____

Parking (no. of spaces, handicapped parking, and dimensions): 25 space. to be layed out & striped after addition

Tree and shrub preservation: N/A.

Setbacks/height limitations: _____

Wastewater Usage Projected: min. gal/year Water Usage Projected: _____ gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period): Continuous and Review upon complaint

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

John Walther, Administrator

_____, Owner

Please print name

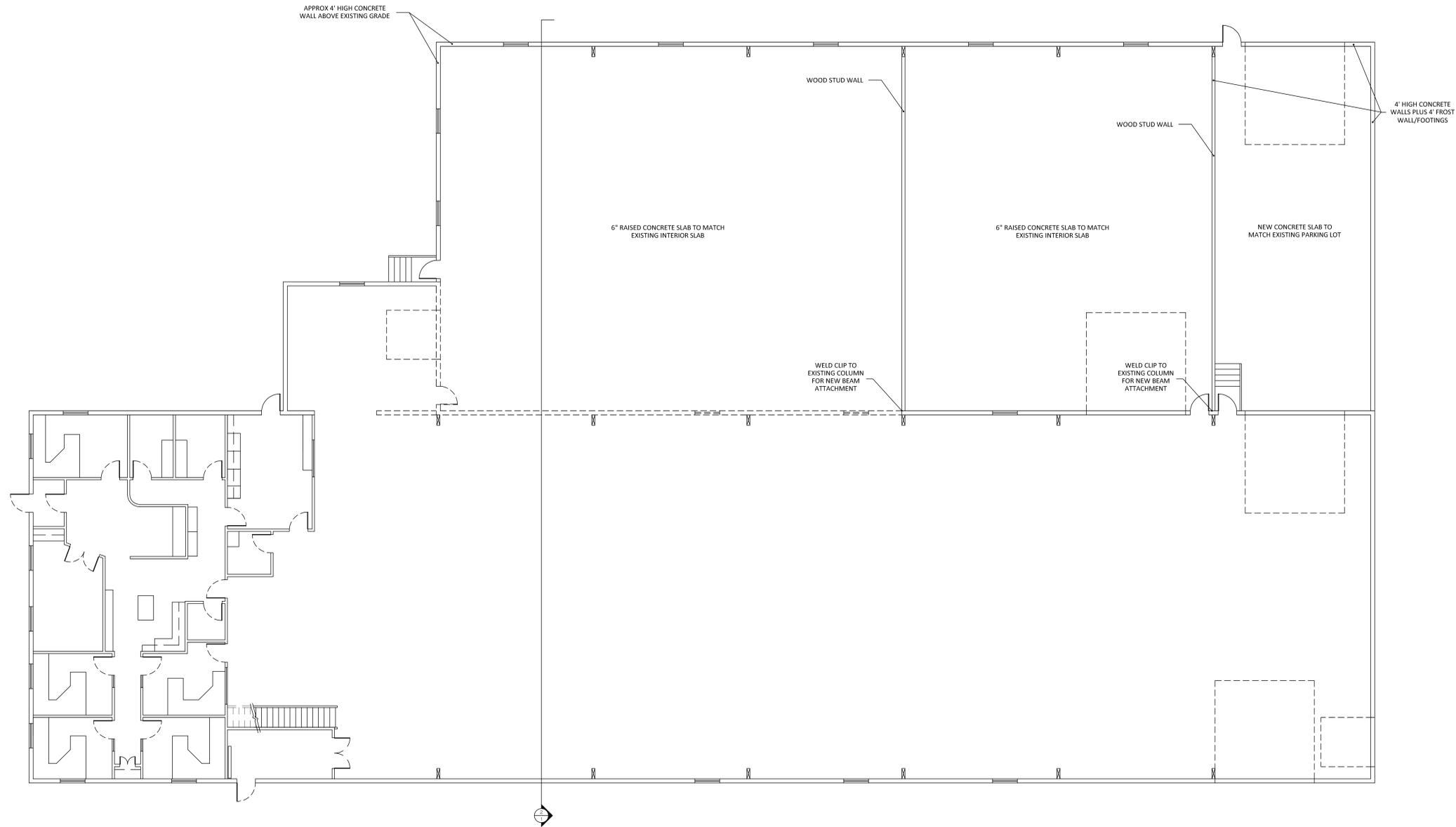
Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

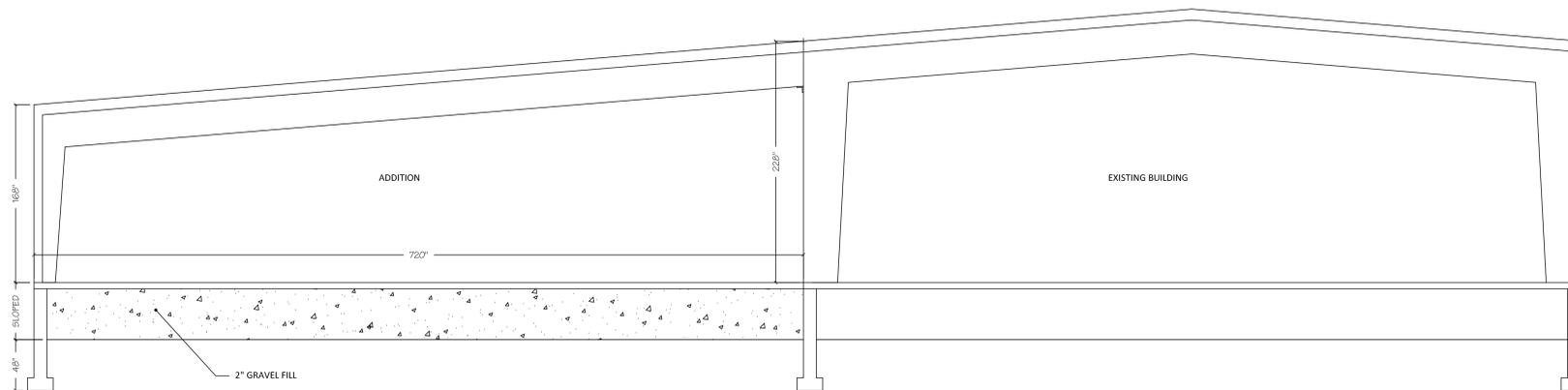
EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades & runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.



1 ADDITION PLAN VIEW
SCALE 1/8" = 1'



2 ADDITION BUILDING SECTION
SCALE 3/8" = 1'

ALTA/NSPS LAND TITLE SURVEY

Situated on Industrial Drive and Tower Drive, in the Village of Jackson, Washington County, Wisconsin.

PARCEL I

That part of the Southeast One-quarter (14) of the Southwest One-quarter (14) of Section Eighteen (18), in Township Ten (10) North, Range Twenty (20) East, Village of Jackson, Washington County, Wisconsin, described as follows:
Commencing at the South 1/4 of Section 18, thence North 1° 37' West along the South 1/4 line of Section 18, 1172.68 feet to the place of beginning of this description; thence North 1° 37' West, 148.92 feet; thence South 89° 50' 30" West, 329.96 feet; thence South 1° 37' East, 148.01 feet; thence East, 330.00 feet to the place of beginning.

Tax Key No. V3 00703
Address: W213 N17010 Industrial Drive

PARCEL II

Parcel Two (2) of Certified Survey Map No. 4871, recorded in the Washington County Registry on August 27, 1997 in Volume 33 of Certified Survey Maps, pages 193 through 196, inclusive, as Document No. 755166, being a subdivision of Parcel One (1) of Certified Survey Map No. 4576 and Parcel One (1) of Certified Survey Map No. 2722, and located in the Northwest One-quarter (14) of the Southeast One-quarter (14) and the Southwest One-quarter (14) of the Southeast One-quarter (14), all in Section Eighteen (18), in Township Ten (10) North, Range Twenty (20) East, Village of Jackson, Washington County, Wisconsin.

Tax Key No. V3 009400E
Address: N189 W21170 Tower Drive

PARCEL III

Parcel One (1) of Certified Survey Map No. 5127, recorded in the Washington County Registry on August 3, 1999 in Volume 35 of Certified Survey Maps, pages 343-346, inclusive, as Document No. 833549, being a subdivision of Parcel One (1) of Certified Survey Map No. 4871, as recorded at the Washington County Register of Deeds Office in Volume 33 of Certified Survey Maps, pages 193 through 196, inclusive, as Document No. 755166 and being a part of the Northwest One-quarter (14) of the Southeast One-quarter (14) of Section Eighteen (18), in Township Ten (10) North, Range Twenty (20) East, Village of Jackson, Washington County, Wisconsin, and a subdivision of Parcel One (1) of Certified Survey Map No. 4576 as recorded at the Washington County Register of Deeds Office in Volume 30 of Certified Survey Maps, pages 336 through 339, inclusive, as Document No. 703935.

Tax Key No. V3 009400Q
Address: Industrial Drive

Prepared for: Cathedral Builders, Inc.

Survey No. 168846-RMK

A. Basis of Bearings

Bearings are based on the West line of the Southeast 1/4 of Section 18-10-20, which is assumed to bear North 00° 51' 09" West.

B. Title Commitment

This survey was prepared based on Wisconsin Title Service Company, Inc. an agent for Fidelity National Title Insurance Company title commitment number 160670024. Amended, effective date of June 13, 2016, which lists the following easements and/or restrictions from schedule B-II:

1. 6-8, 12. Visible evidence shown, if any.
2. 5. 9-11. Not survey related.
13. Easement recorded on December 28, 1916 in Volume 77 of Deeds on page 498 as Document No. 113441. (Affects Parcel I). May affect site by location - Jackson Mayfield Road is unknown.
14. Easement Agreement recorded on June 6, 1932 in Volume 110 of Deeds on page 574 as Document No. 151495. (Affects Parcel I). Affects site by location - tile drain is not visible.
15. Utility Easement recorded on January 14, 1987 in Volume 925 of Records, at Page 362, as Document No. 504820. (Affects Parcel II). Affects site by location - shown.
16. Distribution Easement Underground Joint recorded on June 18, 1997 in Volume 1706 of Records, at Page 641, as Document No. 749214. (Affects Parcel II). Affects site by location - shown.
17. Distribution Easement Underground Joint recorded on February 14, 2000 as Document No. 848935. (Affects Parcel III). Affects site by location - shown.
18. Wetlands shown on the recorded plat of Certified Survey Map No. 5127. (Affects Parcel III).

C. Flood Note

According to flood insurance rate map of the Village of Jackson, community panel number 55131C0258D, effective date of November 20, 2013, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain) and zone X other (area of 0.2% annual chance flood hazard).

D. Parking Spaces

There are 128 regular and 4 handicapped parking spaces marked on this site. The striping on the North end of the asphalt lot is very faded. The striping in the South of the asphalt lot is conflicted with stripes going 2 different ways, the most dominant striping was located in this area.

E. Municipal Zoning

A Zoning Report was not provided for this property.

F. Notes

There is no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

There is evidence of wetlands on the site observed in the process of conducting the fieldwork.

The lead-in ties on Certified Survey Maps 4871 and 5127 appear to be in error. The lead-in distance of 1875.09 feet from the South 1/4 corner to the South line of Industrial Drive which is recorded on Certified Survey Map 3673 was used in the survey. This lead-in distance is also recorded as 1876.10 feet on Certified Survey Map 4576. The found field monumentation agrees with this lead-in distance.

Certified Survey Map 3673 and the description in Parcel I above create a 3.00 foot jog in Industrial Drive. The found field monumentation agrees with this jog.

According to Certified Survey Map No. 4576, the wetlands were marked by Pat Murphy on 3/20/95. There are no bearings or distances for the wetland lines on Certified Survey Map No. 4576. Therefore, this line is scaled on this map. The WDNR considers wetland lines current for 5 years. Since this line was marked in 1995, it is not current.

To: Cathedral Builders, Inc., or assigns, Wisconsin Title Service Company, Inc. and Fidelity National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 6(b), 7(a), 8, 9, 16, 17 and 20 of Table A thereof. The fieldwork was completed on July 1, 2016.

Date of Plat or Map: July 7, 2016

Stephen G. Southwell
Stephen G. Southwell
Professional Land Surveyor
Registration Number 1939
steve.southwell@asmithnational.com

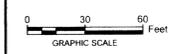
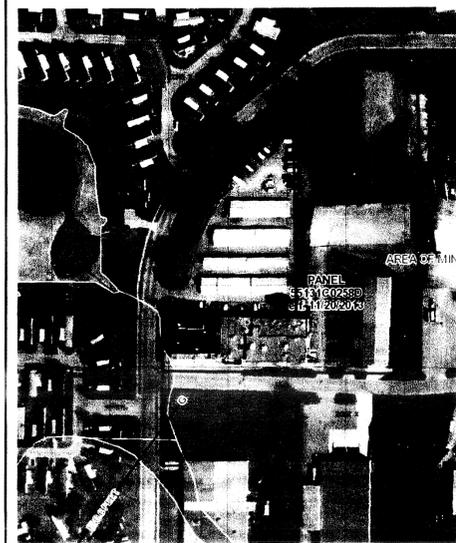
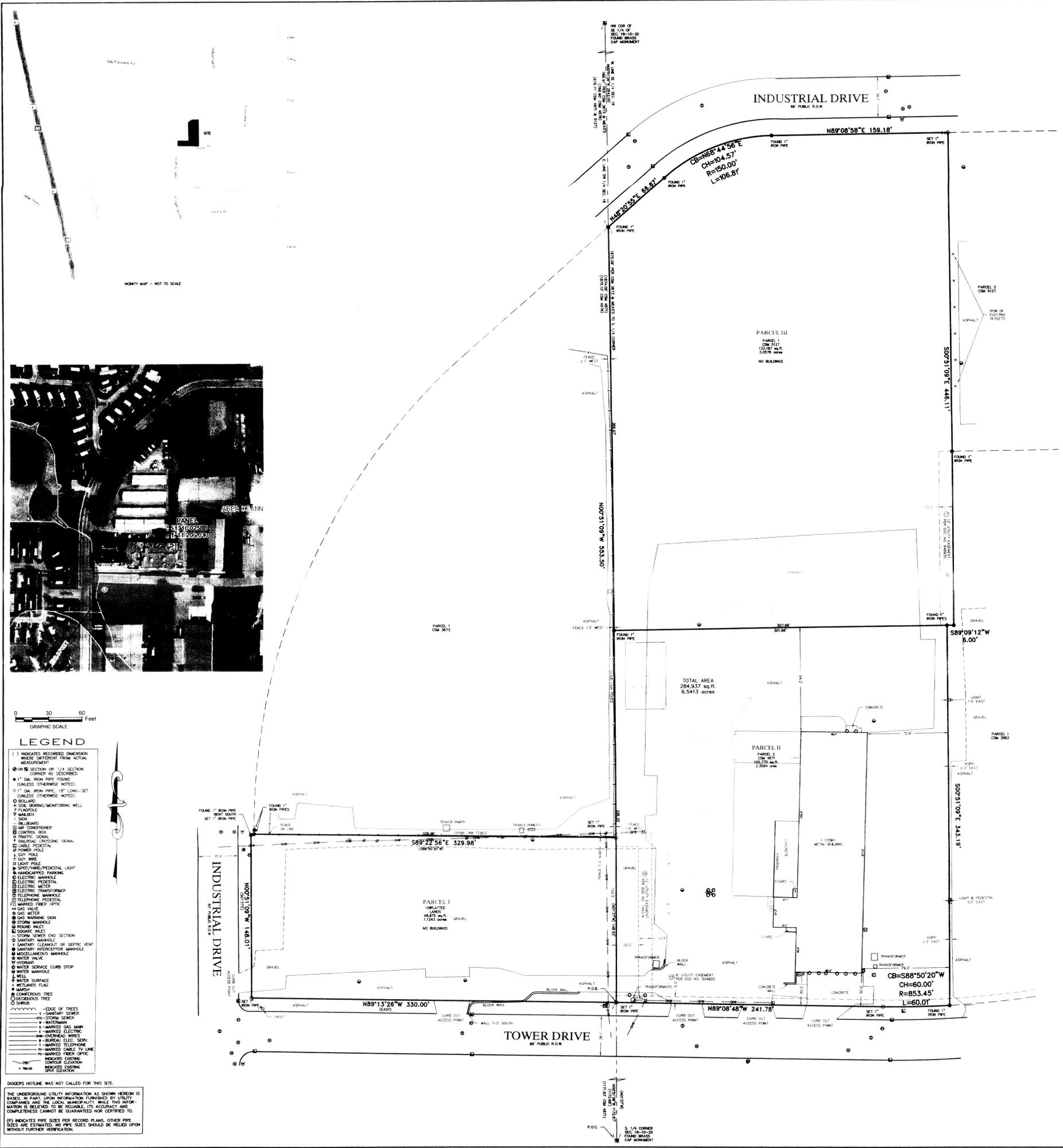


R.A. Smith National, Inc.

Beyond Surveying
and Engineering

16176 W. Grandwood Road, Brookfield, WI 53005-1000
262.783.1200 Fax: 262.783.7271 www.asmithnational.com
Approved by: Steve G. Southwell, PLS
S:\516846\4\alt\AS101F30.dwg | TOWER.DWG

SHEET 1 OF 1



LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR RE SECTION OR 1/4 SECTION (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 0.1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- COILS
- SOIL BORING/MONITORING WELL
- FLAG
- MAILBOX
- SIGN
- BILLBOARD
- LAND CONDITIONER
- CONTROL BOX
- TRAFFIC SIGNAL
- RAILROAD CROSSING SIGNAL
- POWER SIGNAL
- POWER POLE
- UTILITY POLE
- SPIT/FLUO/PEDESTAL LIGHT
- HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- MARKED FIBER OPTIC
- GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- WATER METER
- WATER SERVICE CURB STOP
- WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- CONDENSING TOWER
- DECEADOUS TREE
- CHIMNEY
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BURIED ELECT. CABLE
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- INDICATES ELEVATION
- INDICATES EXISTING SPOT ELEVATION

DIGGERS HOTLINE WAS NOT CALLED FOR THIS SITE.

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

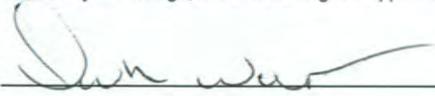
R.A. Smith National, Inc.

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Cobblestone Builders
 Contact Dirk Wildt Address/ZIP N88 W16791 Main Street, Menomonee Falls 53051 Phone # 262-502-9344
 E-mail Address cobblestone@cobblestone-bldrs.com Fax # where Agenda/Staff comments are to be faxed N/A
 Name of Owner NEI Jackson, LLC Address/ZIP 19125 Glen Kerry Road, Brookfield 53045 Phone# 262-782-1373
 Owner Representative/Developer Cobblestone Builders / Dirk Wildt
 Proposed Use of Site 22 Single Family Homesites Present Zoning PUD

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages) 2) Describe what you intend to do (paragraph)		XXX XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') * 4) Owner acknowledgement of the request	Labels* 1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement 6) Location Map		XXX XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan 8) Preliminary Plat		XXX XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat 10) Certified survey Map		XXX XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition 12) Annexation Map	1	XXX XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan 14) Landscape Plan	4 (24x36)	XXX XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan 16) Water / Sewer / Storm Sewer Plans 17) Street / Right of Way cross sections	4 (24x36) 4 (24x36) 4 (24x36)	XXX XXX XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan 19) Proposed colors / materials	4 (24x36)	XXX XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement 21) Annexation Agreement (includes pre-annex agreements)		XXX XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Dirk Wildt Signature  Date 4.5.2018

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a Special Use Conditional Use Planned Unit Development
Permit to:

Name of Business/Applicant: Cobblestone Builders

For a property located at (address): Washington County CSM Doc # 1047909, Parcel 4

Phone number of Business/Applicant: 262-502-9344

For (land use, activity, sign, site plan, other): Single family homes / PUD

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): Normal levels of noise and dust that are generated during new home construction

Hours of Operation: 7am to 7pm Monday thru Saturday

Comprehensive/Master Plan Compatibility: Compliant

Building Materials (type, color): Siding: Fiber cement, LP SmartSide, Vinyl
Veneer: Stone, brick, cultured stone Soffit/Fascia: Aluminum, Fiber cement,
LP SmartSide Roof: Dimensional shingles Trim: Minotek, LP SmartSide
All in a variety of colors. All to be approved by Cobblestone Builders as Acc
Setbacks from rights-of-way and property lines: Per site plan, 25'

Screening/Buffering: N/A

Landscape Plan (sizes, species, location): 2-trees, bushes, shrubs, sod or seed per homeowner selection. Plan to be approved by Cobblestone Builders as Acc

Signage (dimensions, colors, lighting, location): Monument stone at entry, low voltage lighting focused on stone. Temporary sign showing development at entry

Lighting (wattage, style, pole location and height, coverage): None

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): Two exits, 24' street width (private roads), no sidewalks

Storm-water Management: Per master grading plan

Erosion Control: Silt fence or silt sock as required

Fire Hydrant Location(s): Onsite per engineering

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: N/A

Hazardous Material Storage: N/A

Alarm Systems: N/A

Site Features/Constraints: Tree lined perimeter, possible walkout + partial
lock and lots

Parking (no. of spaces, handicapped parking, and dimensions): Garage, driveway + street

Tree and shrub preservation: N/A

Setbacks/height limitations: Front 25', rear 25' + 10', side 15', PUD
35' height

Wastewater Usage Projected: 1-Ru per lot gal/year Water Usage Projected: 1-Ru per lot gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):
Continuous and reviewed upon complaint

April 5, 2018

Intention for The Development of Cobblestone Meadows

It is our intention to develop all 8.59 acres on the Washington County CSM Document #1047909, Parcel 4 into 22 single family homesites. This development will be directly north and adjacent of our current development Cobblestone Trails Condominiums.

Regards,

Dirk Wildt - President
Cobblestone Builders

Resident
N164 W20891 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20871 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20841 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20810 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20800 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20900 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20880 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20830 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20821 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20811 Glen Hill Drive
Jackson, WI 53037

Resident
N164 W20801 Glen Hill Drive
Jackson, WI 53037

Resident
W207 N16421 Glen Hill Drive
Jackson, WI 53037

Resident
W207 N16411 Glen Hill Drive
Jackson, WI 53037

Resident
W207 N16420 Glen Hill Drive
Jackson, WI 53037

Resident
W207 N16430 Glen Hill Drive
Jackson, WI 53037

Resident
W208 N16460 Glen Hill Drive
Jackson, WI 53037

Resident
W208 N16480 Glen Hill Drive
Jackson, WI 53037

Resident
W208 N16482 Glen Hill Drive
Jackson, WI 53037

Resident
W208 N16461 Glen Hill Drive
Jackson, WI 53037

Resident
W208 N16481 Glen Hill Drive
Jackson, WI 53037

Resident
W208 N16460 St. Andrews Ct.
Jackson, WI 53037

Resident
W208 N16470 St. Andrews Ct.
Jackson, WI 53037

Resident
W208 N16480 St. Andrews Ct.
Jackson, WI 53037

Resident
W208 N16481 St. Andrews Ct.
Jackson, WI 53037

Resident
W208 N16471 St. Andrews Ct.
Jackson, WI 53037

Resident
W208 N16461 St. Andrews Ct.
Jackson, WI 53037

Resident
3425 Jackson Drive
Jackson, WI 53037

Resident
W206 N16285 Marshland Drive
Jackson, WI 53037

Resident
W206 N16321 Marshland Drive
Jackson, WI 53037

Resident
W206 N16333 Marshland Drive
Jackson, WI 53037

Resident
W206 N16354 Marshland Drive
Jackson, WI 53037

Resident
W206 N16366 Marshland Drive
Jackson, WI 53037

Resident
W206 N16389 Marshland Drive
Jackson, WI 53037

Resident
W206 N16401 Marshland Drive
Jackson, WI 53037

Residence
W206 N16239 MelRoy Place
Jackson, WI 53037

Residence
W207 N16255 Elliot Drive
Jackson, WI 53037

Resident
W206 N16251 MelRoy Place
Jackson, WI 53037

Resident
W207 N16233 Elliot Drive
Jackson, WI 53037

Resident
N162 W20732 Sharon Lee Lane
Jackson, WI 53037

Resident
W206 N16212 MelRoy Place
Jackson, WI 53037

Resident
N162 W20776 Sharon Lee Lane
Jackson, WI 53037

Resident
W207 N16205 Elliot Drive
Jackson, WI 53037

Resident
W207 N16247 Elliot Drive
Jackson, WI 53037

Resident
W206 N16267 MelRoy Place
Jackson, WI 53037

Resident
N162 W20688 Sharon Lee Lane
Jackson, WI 53037

Resident
N162 W20725 Sharon Lee Lane
Jackson, WI 53037

Resident
W206 N16235 MelRoy Place
Jackson, WI 53037

Resident
W207 N16216 Elliot Drive
Jackson, WI 53037

Resident
W206 N16222 MelRoy Place
Jackson, WI 53037

Resident
N162 W20744 Sharon Lee Lane
Jackson, WI 53037

Resident
W207 N16256 Elliot Drive
Jackson, WI 53037

Resident
W207 N16223 Elliot Drive
Jackson, WI 53037

Resident
W206 N16215 MelRoy Place
Jackson, WI 53037

Resident
W206 N16272 MelRoy Place
Jackson, WI 53037

Resident
N162 W20685 Sharon Lee Lane
Jackson, WI 53037

Resident
W207 N16237 Elliot Drive
Jackson, WI 53037

Resident
N162 W20768 Sharon Lee Lane
Jackson, WI 53037

Resident
W206 N16218 MelRoy Place
Jackson, WI 53037

Resident
W206 N16274 MelRoy Place
Jackson, WI 53037

Resident
W206 N16206 Elliot Drive
Jackson, WI 53037

[Return to search results](#)

[Property Summary](#)

Owner (s): NFI JACKSON LLC		Location: Section, Sect. 19, T10N, R20E	
Mailing Address: NFI JACKSON LLC 19745 W GEBHART RD BROOKFIELD, WI 53045		School District: 6307 - WEST BEND SCHOOL	
Tax Parcel ID Number: 052900D	Tax District: V3-VILLAGE OF JACKSON	Status: Active	
Alternate Tax Parcel Number:		Acres: 8.7000	
Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.): PT OF E1/2 SE CSM 5727 PAR 4 DOC 1088984 SEC 19-10-20 8.70 AC			
Site Address (es): (Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.) GLEN BROOKE DR			

Select Detail --> <Select Detail>

[Make Default Detail](#) [Printer Friendly Page](#)
[View Interactive Map](#)

Summary of Subject Details:

NOTE: Not all subject details are available at every county.

Assessments:

Assessment detail by year.

Taxes:

Tax history by year, links to tax payment history, and payoff calculator.

Zoning:

Rural zoning map for the selected parcel. Zoning is intended to be used as a reference only. Only rural zoning information is provided. For information about city or village zoning, please contact local officials.

Districts:

Special District information (Lake, Sanitary, TIF, BID).

Parcel History:

History of tax parcel changes. Parcel history is not available for changes made prior to January 15, 2006. Changes made prior to this are available only by visiting the County.

Documents:

Documents related to selected tax parcel. There may be other documents related to this parcel that are not shown.

Survey History:

List of surveys performed on selected parcel or on parents of selected parcel. There may be surveys performed that are not available electronically through this portal.

Sales History:

List of all sales related to the selected parcel. There may be documents related to this parcel that are not shown.

Parcel Map:

Interactive map of the selected tax parcel. Maps are available for 'Active' parcels only.

Permits:

Listing of sanitary and/or land use permits associated with the parcel.

[Log in](#)

[View Disclaimer](#)

[Database Versions](#)

Washington County

Owner (s):

NFI JACKSON LLC

Location:

Section, Sect. 19, T10N, R20E

Mailing Address:

NFI JACKSON LLC

19745 W GEBHART RD

BROOKFIELD, WI 53045

School District:

6307 - WEST BEND SCHOOL

Tax Parcel ID Number: Tax District:

052900D

V3-VILLAGE OF JACKSON

Status:

Active

Alternate Tax Parcel Number: Acres:

8.7000

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):

PT OF E1/2 SE CSM 5727 PAR 4 DOC 1088984 SEC 19-10-20 8.70 AC

Site Address (es): *(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)*

GLEN BROOKE DR

STATE BAR OF WISCONSIN FORM 1 - 2000
WARRANTY DEED

Document Number

This Deed, made between CEDAR DEVELOPMENT III LLC, a Wisconsin limited liability company, Grantor, and NEL JACKSON, LLC, a Wisconsin limited liability company, Grantee.

Grantor, for a valuable consideration, conveys to Grantee the following described real estate in Washington County, State of Wisconsin (the "Property") (if more space is needed, please attach addendum):

Parcel 4 of Certified Survey Map No. 5727, recorded in Volume 41 of Certified Survey Maps on Page 329, as Document No. 1047909, on May 11, 2004, in the Washington County Registry, being part of the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 19, Town 10 North, Range 20 East, Village of Jackson, Washington County, Wisconsin.

Recording Area

Name and Return Address

Together with all appurtenant rights, title and interests.

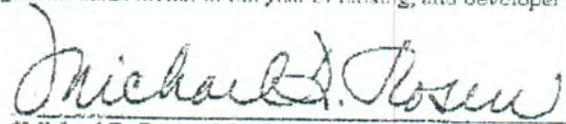
V3-0529-00D

Parcel Identification Number (PIN)

This is not homestead property.

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except municipal and zoning ordinances and agreements entered under them, recorded easements for the distribution of utility and municipal services, recorded building and use restrictions and covenants, and general taxes levied in the year of closing, and developer's agreement.

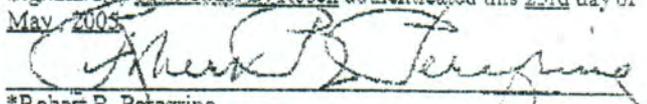
Dated this 23rd day of May, 2005.



*Michael D. Rosen, Member-Manager of Cedar Development III LLC

AUTHENTICATION

Signature(s) of Michael D. Rosen authenticated this 23rd day of May, 2005.



*Robert B. Perrine
TITLE: MEMBER STATE BAR OF WISCONSIN
(If not, _____ authorized by § 706.06, Wis. Stats.)

THIS INSTRUMENT WAS DRAFTED BY
Attorney Robert B. Perrine
Perrine & Roth, S.C.
(Signatures may be authenticated or acknowledged. Both are not necessary.)

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) ss.
____ County)

Personally came before me this _____ day of _____, _____ the above named _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin
My Commission is permanent. (If not, state expiration date: _____.)

*Names of persons signing in any capacity must be typed or printed below their signature.

April 3, 2018

IMPACT STATEMENT

- A. 1 RU/Lot
- B. 1 RU/Lot
- C. 3 trips per day per homesite x 22 lots = 66 vehicle trips generated
- D. 2.5 vehicles per homesite = 55 vehicles. All recreational and commercial vehicles must be garaged
- E. 1 - sign @ 3' x 3' for each model. Also, open for inspection sign at designated model during open hours
- F. General hours of operation: 7am to 7pm Monday thru Saturday for construction. Wednesday 1 to 4pm open house for sales. Saturday and Sunday 12pm to 4pm open house for sales
- G. General demographics of homeowners will be approximately 30 to 70 years of age. Single or married. We expect a low number of children in the project because of the type and price range.
- H. Dates of construction are projected to be June 1, 2018 to August 1, 2021
- I. N/A

Cobblestone Meadows

Location is 3/4 mile to 1/2 mile South of Main Street off Glen Brooke Drive, North of Sherman Road

Legend

GlenBrooke Drive

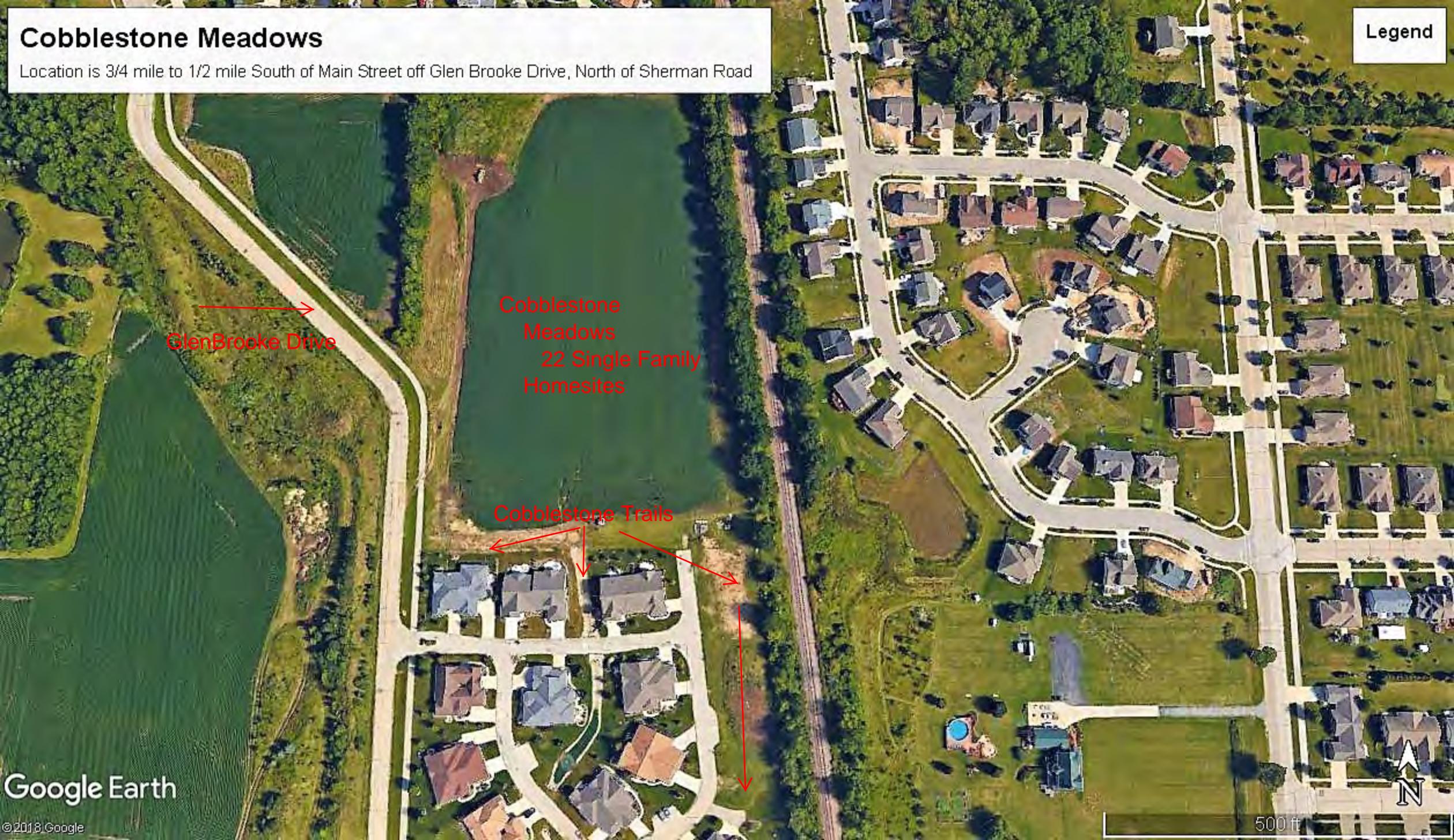
Cobblestone Meadows
22 Single Family Homesites

Cobblestone Trails

Google Earth

©2018 Google

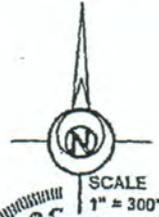
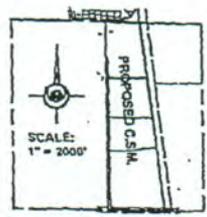
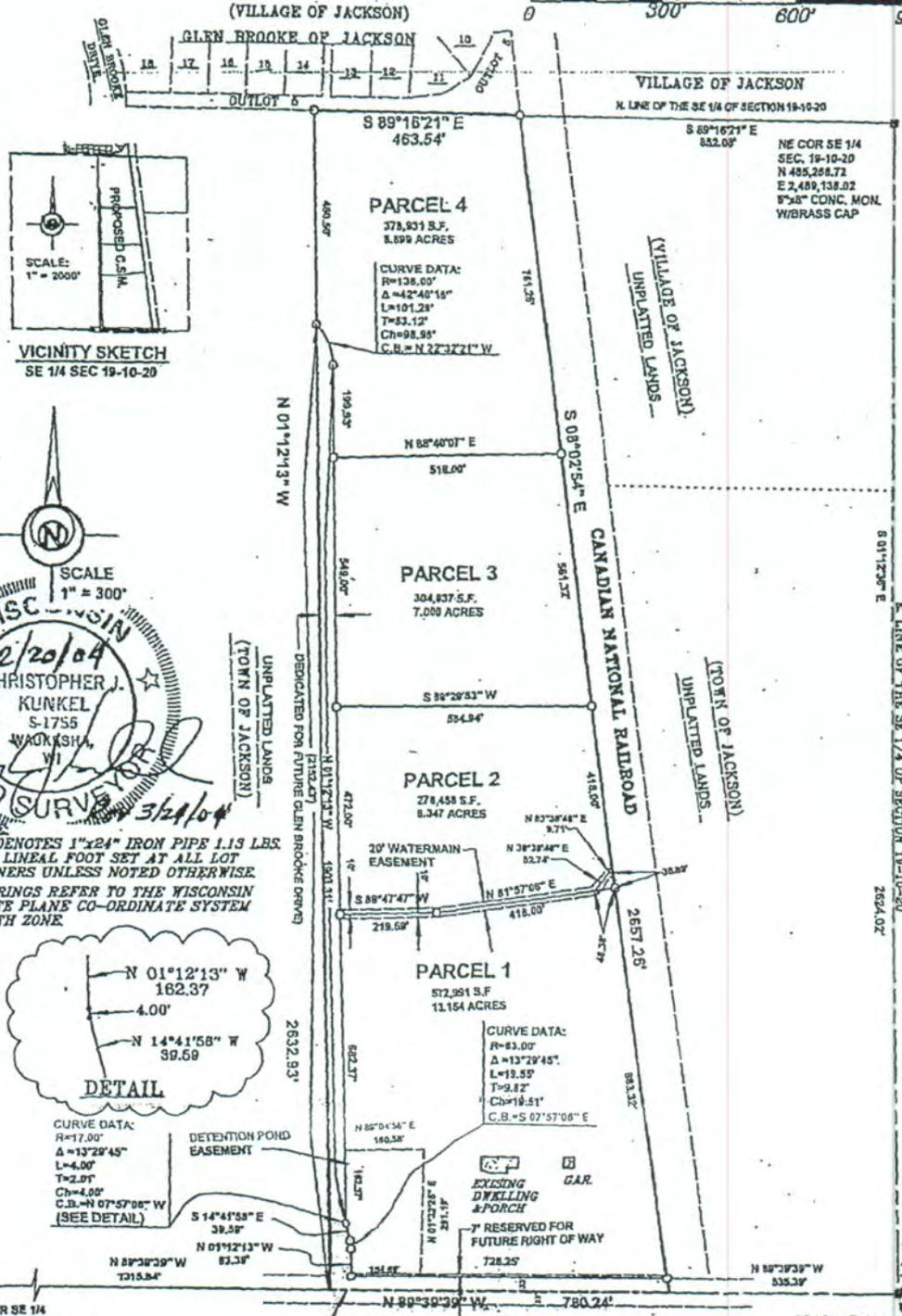
500 ft



WASHINGTON COUNTY CERTIFIED SURVEY MAP

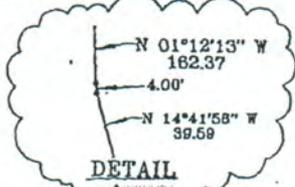
Part of the NE 1/4 and SE 1/4 of the SE 1/4 of Section 19, T10N, R20E, in the Village of Jackson, Washington County, Wisconsin

SCALE: 1"=300'



WISCONSIN
2/20/04
CHRISTOPHER J. KUNKEL
S-1755
WACKKSHA, WI
LAND SURVEYOR

NOTE:
5 - DENOTES 1" x 24" IRON PIPE 1.15 LBS. PER LINEAL FOOT SET AT ALL LOT CORNERS UNLESS NOTED OTHERWISE.
BEARINGS REFER TO THE WISCONSIN STATE PLANE CO-ORDINATE SYSTEM SOUTH ZONE.



CURVE DATA:
R=17.00'
Δ=13°29'45"
L=4.00'
T=2.22'
Cb=19.51'
C.B.=N 07°57'06" W
(SEE DETAIL)

DETENTION POOND EASEMENT

5 14°41'58" E
39.59'

N 01°12'13" W
82.38'

N 89°39'39" W
1215.84'

SW COR SE 1/4
SEC. 19-10-20
N 782,859.14
E 2,489,562.48
8" x 8" CONC. MON.
WBRASS CAP

SE COR SE 1/4
SEC. 19-10-20
N 482,843.58
E 2,489,192.43
8" x 8" CONC. MON.
WBRASS CAP

EDGEWOOD ENGINEERING GROUP, INC.
2121 WASHINGTON AVE. STE. 8 WISCONSIN COUNTY WISCONSIN
(262) 542-8200 FAX (262) 542-5012

THIS INSTRUMENT DRAFTED BY CHRISTOPHER J. KUNKEL S-1755
E:\CSM\WASHINGTON\WAS-04-ROSEN.scp Sheet 1 of 3

MAP NO. 5727 VOL. 41 PAGE 329

DOC# 1047909

CONCEPT PLAN
 COBBLESTONE MEADOWS
 PARCEL 4, CSM NO. 5727
 VILLAGE OF JACKSON, WISCONSIN



PREPARED FOR:
 COBBLESTONE BUILDERS



NOTE:
 THE BUILDING PADS ARE REPRESENTATIVE ONLY.
 THEY ARE SUBJECT TO MODIFICATION PER SITE
 SPECIFIC BUILDING REGULATIONS.
 1" = 40' = 4356.0 SQUARE FEET

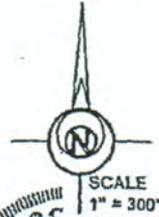
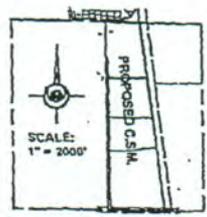
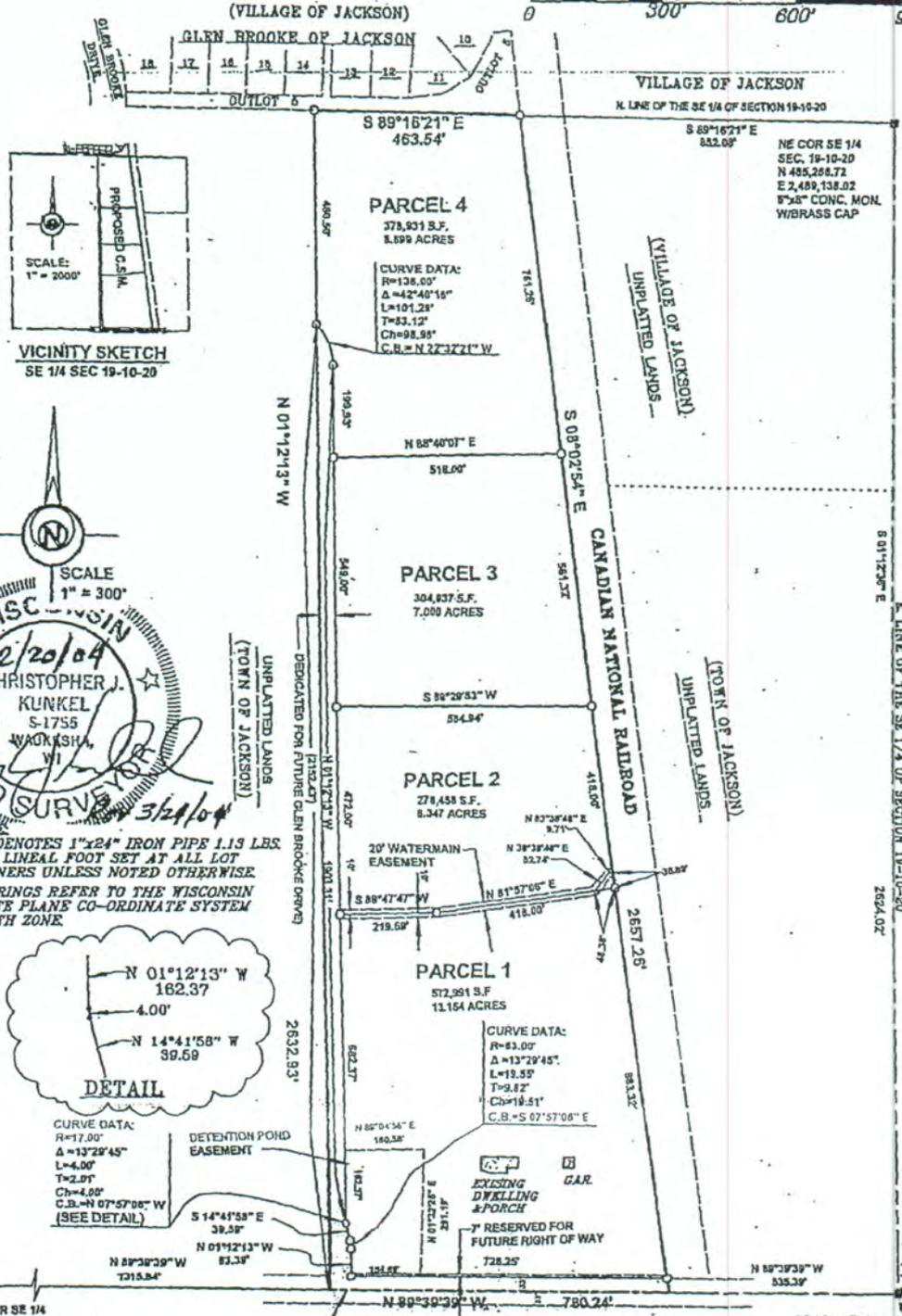
CANADIAN NATIONAL PARKWAY
 S 08°07'56" E 78'1.24'

WILSON PLACE

WASHINGTON COUNTY CERTIFIED SURVEY MAP

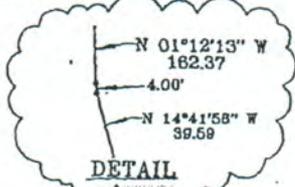
Part of the NE 1/4 and SE 1/4 of the SE 1/4 of Section 19, T10N, R20E, in the Village of Jackson, Washington County, Wisconsin

SCALE: 1"=300'



WISCONSIN
2/20/04
CHRISTOPHER J. KUNKEL
S-1755
WACKKSHA, WI
LAND SURVEYOR

NOTE:
 5 - DENOTES 1"X24" IRON PIPE 1.15 LBS. PER LINEAL FOOT SET AT ALL LOT CORNERS UNLESS NOTED OTHERWISE.
 BEARINGS REFER TO THE WISCONSIN STATE PLANE CO-ORDINATE SYSTEM SOUTH ZONE.



CURVE DATA:
 R=17.00'
 Δ=13°29'45"
 L=4.00'
 T=2.22'
 Ch=4.22'
 C.B.=N 07°57'06" W (SEE DETAIL)

DETENTION POOND EASEMENT

5 14°41'58" E 39.59'
 N 01°12'13" W 82.38'
 N 89°39'39" W 1215.84'

SW COR SE 1/4 SEC. 19-10-20
 N 782,859.14
 E 2,489,562.48
 8"X8" CONC. MON. WBRASS CAP

SE COR SE 1/4 SEC. 19-10-20
 N 482,843.58
 E 2,489,192.43
 8"X8" CONC. MON. WBRASS CAP

EDGEWOOD ENGINEERING GROUP, INC.
 371 WILSON NATIONAL AVE. STE. 8 WISCONSIN COUNTY WISCONSIN
 (262) 542-2000 FAX (262) 542-5012

THIS INSTRUMENT DRAFTED BY CHRISTOPHER J. KUNKEL S-1755

MAP NO. 5727 VOL. 41 PAGE 329

DOC# 1047909

April 5, 2018

Improvement Agreement:

Per April 3, 2018 phone conversation with John Walther, Village Administrator, the Development agreement between VOJ and Cobblestone Builders is in process.

COBBLESTONE MEADOWS

PART OF THE SOUTHEAST $\frac{1}{4}$,
SECTION 19, TOWNSHIP 10N, RANGE 20E
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

PROJECT CONTACTS:

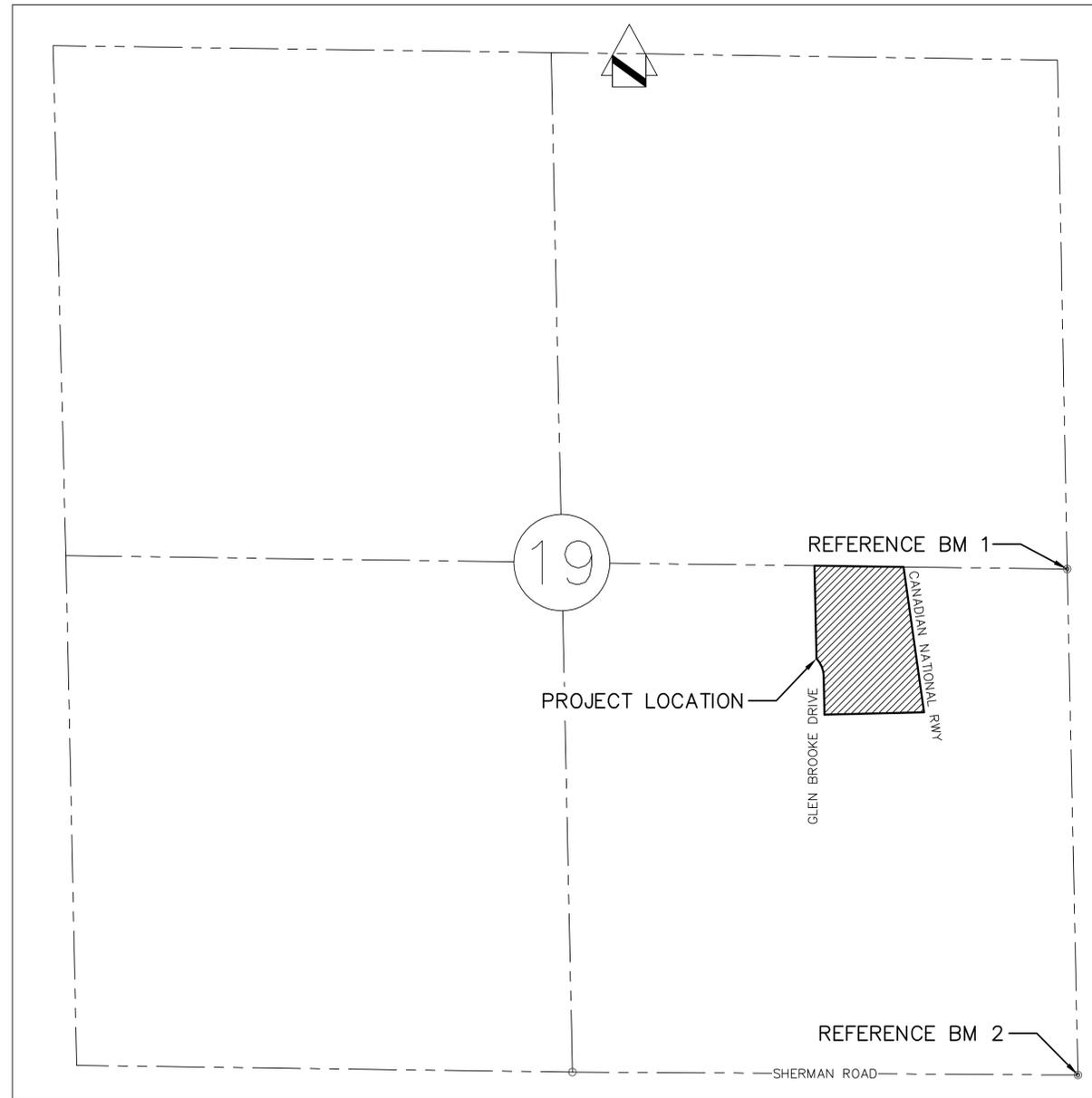
OWNER/DEVELOPER: NFI JACKSON, LLC
ATTN: JOE NIEBLER
19745 W GEBHARDT RD
BROOKFIELD, WI 53045-2117

SURVEYOR/ENGINEER: JAHNKE AND JAHNKE ASSOCIATES, INC.
ATTN: PAUL J. JENSWOLD, PE
JOHN R. STIGLER, PLS
711 W. MORELAND BLVD
WAUKESHA, WI 53188
TELE: (262) 542-5797
EMAIL: PJenswold@JahnkeAndJahnke.com

MUNICIPAL CONTACTS:

NOTE: ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THESE PLANS SHALL CONFORM TO THE VILLAGE OF JACKSON DEVELOPER'S HANDBOOK. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.

VILLAGE OF JACKSON: BRIAN KOBER, DIR. OF PUBLIC WORKS
N168 W20733 MAIN ST
JACKSON, WI 53037
TELE: (262) 677-9001 x14
EMAIL: dirpubwks@VillageOfJackson.com



REFERENCE BEARING: NORTH LINE OF THE S $\frac{1}{4}$ OF SEC. 19:
N 89° 16' 21" W (NAD-27, WIS. SOUTH ZONE;
SEWRPC CSSD)

REFERENCE BENCHMARK: NE CORNER OF THE SE $\frac{1}{4}$ OF SEC. 19:
CONC. MONUMENT W/ BRASS CAP,
ELEV = 895.88 (NGVD-29, SEWRPC CSSD)

SE CORNER OF THE SE $\frac{1}{4}$ OF SEC. 19:
CONC. MONUMENT W/ BRASS CAP,
ELEV = 849.41 (NGVD-29, SEWRPC CSSD)

SITE BENCHMARK(S): HYDRANT ON EAST SIDE GLEN BROOKE DRIVE, 122'
NORTH OF SW CORNER OF PROJECT SITE:
BONNET BOLT NEAREST 'OPEN' ARROW,
ELEV = 866.27 (NGVD-29)

INDEX OF SHEETS	
SHEET	
1	COVER
2	EXISTING CONDITIONS AND SITE PLAN
3	MASTER GRADING PLAN
4	PLAN & PROFILE - EAST
5	PLAN & PROFILE - WEST
6	PLAN & PROFILE - NORTH
7	CONSTRUCTION DETAILS
8	CONSTRUCTION DETAILS

VICINITY SKETCH
SCALE: 1" = 400'
SECTION: 19-10-20

EXP. 7/31/18

PROJECT MANAGER

"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO."

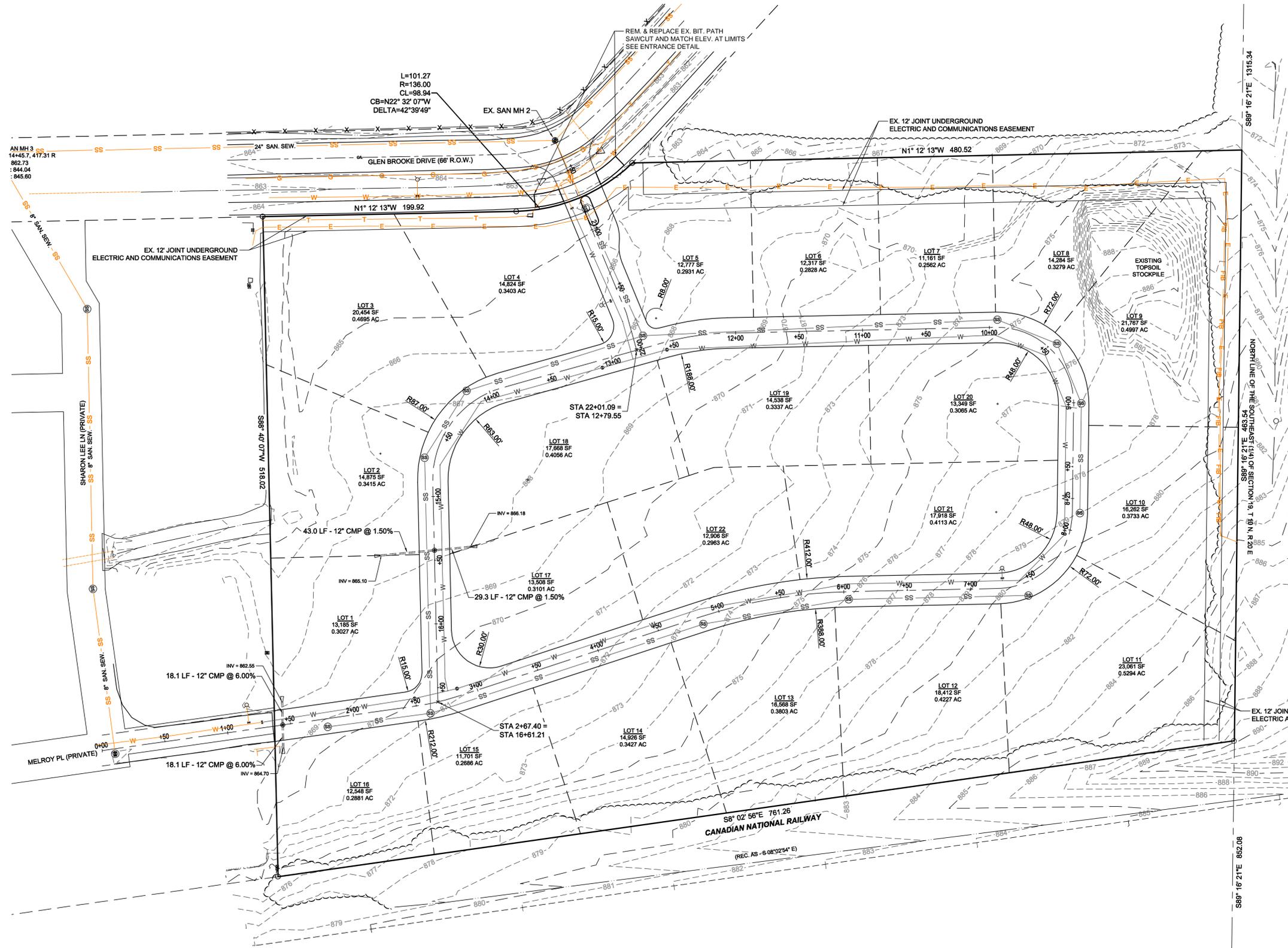
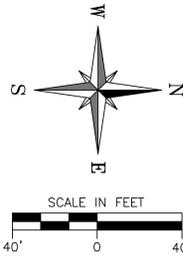
LEGEND:

- ⊕ PLS SECTION MONUMENT
- ⊙ SANITARY MANHOLE
- ⊕ STORM MANHOLE
- ⊙ CATCH BASIN ROUND
- ⊙ CATCH BASIN SQUARE
- ⊙ TELEPHONE MH
- ⊙ AIR CONDITIONER
- ⊙ ELECTRICAL METER
- ⊙ LIGHT POLE
- ⊙ GAS METER
- ⊙ BOLLARD
- ⊙ WATER VALVE
- ⊙ TELEPHONE PEDESTAL
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC TRANSFORMER
- ⊙ CABLE TV PEDESTAL
- ⊙ EX. CONIFEROUS TREE / REMOVAL
- ⊙ EX. DECIDUOUS TREE / REMOVAL
- ⊙ EX. SANITARY SEWER MAIN
- ⊙ EX. SANITARY SEWER SERVICE
- ⊙ EX. RETAINING WALL
- ⊙ EX. WATER MAIN
- ⊙ EX. WATER SERVICE
- ⊙ EX. FENCE LINE
- ⊙ EX. RAILING
- ⊙ PROP. SAW-CUT LINE
- ⊙ PROP. CURB AND GUTTER

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181



TOTAL PROJECT AREA:	378,936 SF
TOTAL DISTURBED AREA:	351,152 SF (92.7%)
PROPOSED IMPERVIOUS SURFACE COVERAGE:	
ROADWAY PAVEMENT:	39,911 SF
MAX. LOT COVERAGE:	6,349 SF
*X22 LOTS:	139,678 SF
TOTAL PROPOSED IMPERVIOUS:	179,589 SF (47.4%)
PREVIOUSLY PERMITTED SURFACE COVERAGE:	
ROADWAY PAVEMENT:	40,091 SF
ROOFS:	92,758 SF
DRIVES & WALKS:	46,740 SF
TOTAL PERMITTED IMPERVIOUS:	179,589 SF (47.4%)

- PAVING NOTES:**
1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2018 EDITION.
 2. AGGREGATE BASE SHALL BE 3" AGGREGATE BASE DENSE PER SECTION 305 OF THE STANDARD SPECIFICATIONS.
 3. DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED PER SECTIONS 415 AND 416 OF THE STANDARD SPECIFICATIONS.
 4. ASPHALT PAVEMENT SHALL BE CONSTRUCTED PER SECTIONS 455-460 OF THE STANDARD SPECIFICATIONS.
 5. PAVEMENT THICKNESS SHALL BE AS FOLLOWS: (SEE TYPICAL SECTION)
 - 4" ASPHALT PAVEMENT
 - 5" 1/2" AGGREGATE BASE
 - 5" 1-1/2" AGGREGATE BASE
 6. ASPHALT PAVEMENT SHALL BE INSTALLED IN TWO LIFTS. SURFACE: 4MT 58-28 S (12.5MM) BINDER: 3MT 58-28 S (19 MM)
 7. ADJUST ALL MANHOLES AND VALVE BOXES TO 3/8 INCH TO 1/2 INCH BELOW FINAL PAVEMENT GRADE.
 8. A PROOF ROLL IS REQUIRED ON THE SUBGRADE AND THE STONE BASE WITH A 40 TON VEHICLE. AREAS EXHIBITING A DEFLECTION GREATER THAN 1/2 INCH SHALL BE RECONSTRUCTED WITH GEOTEXTILE TENSAR TX 160 AND 3 INCH TB.
 9. NO ASPHALT BINDER PAVEMENT SHALL BE PLACED: WHEN THE AIR TEMPERATURE IS BELOW 35 DEGREES FAHRENHEIT; ON FROZEN BASE; OR DURING RAIN EVENTS UNLESS SPECIFICALLY DIRECTED BY THE ENGINEER. THE BASE IS CONSIDERED TO BE FROZEN WHEN THE SURFACE TEMPERATURE OF THE BASE IS AT OR BELOW 32 DEGREES FAHRENHEIT AS MEASURED BY THE FIELD REPRESENTATIVE WITH AN INFRARED TEMPERATURE GAUGE. NO ASPHALT SURFACE PAVEMENT SHALL BE PLACED: AFTER OCTOBER 15, WHEN THE TEMPERATURE IS BELOW 55 DEGREES FAHRENHEIT; OR DURING RAIN EVENTS UNLESS SPECIFICALLY DIRECTED BY THE ENGINEER.
 10. ALL STREETS SHALL BE TACKED WITH CSS-1 OIL AT THE RATE OF 0.05 TO 0.15 GALLONS PER SQUARE YARD PRIOR TO PAVING IN ACCORDANCE WITH STATE SPECIFICATION 455.3.2. TACK MUST BE APPLIED BETWEEN EACH LAYER OF ASPHALTIC CONCRETE UNLESS OTHERWISE APPROVED BY THE ENGINEER. THE TACK MUST BE ALLOWED TO CURE BEFORE PAVING.

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1-800-242-8511
TOLL FREE
WIS. STATUTE 182.075(1974)
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NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

FOR: NFI JACKSON, LLC
EXISTING CONDITIONS AND SITE PLAN
COBBLESTONE MEADOWS
PART OF THE SE 1/4 OF SECTION 19, T 10 N, R 20 E,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD. WAUKESHA, WI 53188
TEL No. (262) 542-5797 FAX (262) 542-7698 (E-MAIL Pjenswold@JahnkeAndJahnke.com)

NO.	REVISIONS	DATE

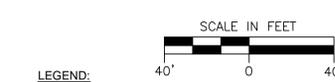
SCALE: 1"=40' DATE: APRIL 6, 2018
DRAWN BY: GEM CHECKED BY: PJJ FILE NO.: WASHINGTON 419
BOOK NO.: WASHINGTON 56 / PG 1 JOB: S-8713 SHEET 2 OF 8

PROJECT NUMBER: S-8713
PLOTTED: 4/6/2018 1:03 PM

FILE NAME: S:\PROJECTS\S8713\DWG\S8713.DWG



SCALE IN FEET



LEGEND

—E—	EX. UNDERGROUND ELECTRIC
—G—	EX. UNDERGROUND GAS
—SS—	SANITARY SEWER
—T—	EX. UNDERGROUND TELEPHONE
—W—	WATER MAIN
—FIB—	EX. FIBER OPTIC CABLE
—SF—	PROP. SILT FENCE
□	PROP. DITCH CHECK
□	PROP. SEDIMENT TRAP

GRADING & EROSION CONTROL NOTES:

- A. ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE VILLAGE OF JACKSON AND THE WISCONSIN DNR TECHNICAL STANDARDS.
- B. ALL DISTURBED AREAS ON SITE SHALL BE TOPSOILED (4" THICK), SEEDED AND STABILIZED WITH EROSION MAT CLASS I FOR SLOPES FLATTER THAN 4:1. SLOPES OF 4:1 OR GREATER AND AREAS WITH SWALES SHALL BE STABILIZED WITH EROSION MAT CLASS II.
- C. TEMPORARY STABILIZATION IS REQUIRED FOR ANY AREA LEFT INACTIVE FOR MORE THAN SEVEN DAYS. TOPSOIL AND SPOIL STOCKPILES SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF LAYUP USING AGRICULTURAL RYE WITH A SEEDING RATE OF 3 LBS/1000 SQUARE FEET. INSTALL SILT FENCE ON THE DOWNSLOPE SIDE OF THE PILE TO REDUCE SEDIMENT RUNOFF.
- D. ALL CONSTRUCTION TRAFFIC IS TO ENTER/EXIT THE SITE OVER THE TRACKING PAD. ALL PUBLIC AND PRIVATE STREETS ARE TO BE KEPT CLEAN AT ALL TIMES. THE STREETS ARE TO BE SWEEPED CLEAN ONCE A DAY, AT A MINIMUM OR AS REQUIRED BY VILLAGE.
- E. THE PERMANENT SEED MIXTURE SHALL BE WIS DOT SEED MIXTURE NO. 40 AND SOWN AT THE RATE OF 4 LBS/1000 SQ. FT. SEED MIXTURE NO. 40 CONSISTS OF 30% KENTUCKY BLUEGRASS, 20% RED FESCUE, 20% HARD FESCUE AND 25% IMPROVED FINE PERENNIAL RYEGRASS. THE TEMPORARY SEED MIX SHALL BE WINTER WHEAT.
- F. FERTILIZE SOIL WITH 10 LBS/1000 SQ. FT. OF 20-10-10 FERTILIZER.
- G. ANY DEWATERING THAT MAY BE REQUIRED DUE TO UTILITY OR BUILDING CONSTRUCTION SHALL BE COMPLETED SO THAT THE WATER IS PUMPED INTO A TYPE II GEOTEXTILE BAG CONFORMING TO DNR TECHNICAL STANDARD 1061. THE GEOTEXTILE BAG SHALL BE PLACED ON VEGETATED/STABILIZED GROUND AND DISCHARGED TO A SEDIMENT BASIN OR TRAP. SHOULD NO BASIN EXIST, THE GEOTEXTILE BAG SHALL BE PLACED ON FILTER FABRIC AND SURROUNDED BY A SEDIMENT BARRIER CONFORMING TO WORK TECHNICAL STANDARDS 1065.
- H. ALL BUILDING AND WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE TO PREVENT RUNOFF OF MATERIAL INTO THE STORM SEWER SYSTEM.
- I. DUST CONTROL SHOULD BE ADDRESSED PER DNR TECHNICAL STANDARD 1068. AT A MINIMUM USE WATER. USE POLYMERS, TACKIFIER AND SOIL STABILIZERS IF NEEDED. INSPECT DAILY TO DETERMINE THE NEED TO IMPLEMENT A CONTROL.

CONSTRUCTION SEQUENCE (SEE SOIL LOSS & SEDIMENT DISCHARGE CALCULATION TOOL FOR SPECIFIC DATE REQUIREMENTS)

1. INSTALL SILT FENCE AND TRACKING PAD. CONTINUOUS INSPECTIONS THROUGHOUT THE PROJECT. THE BUILDER SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE IN A 24 HOUR PERIOD. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION OR MAINTENANCE PERFORMED IN RESPONSE TO THE INSPECTION. USE WISCONSIN DNR REPORT FORM 3400-187. REMEDY/REPAIR ANY ISSUE WITHIN 48 HOURS.
2. CLEAR AND GRUB SITE. TREES AND STUMPS SHALL BE REMOVED FROM SITE.
3. STRIP TOPSOIL FROM SITE AND GRADE SWALES. ROUGH GRADE BUILDING PADS AND PRIVATE ROADS. IMMEDIATELY RESTORE SWALES WITH SEED, EROSION MAT AND DITCH CHECKS AS SHOWN ON THE PLAN.
4. INSTALL SANITARY SEWER AND WATER MAIN WITH LATERALS. INSTALL CULVERTS AND STORM SEWER. USE SPOIL MATERIAL FROM TRENCH TO FINISH GRADING BUILDING PADS AND YARDS. IMMEDIATELY RESTORE THESE AREAS WITH TEMPORARY SEED AND MULCH.
5. STONE ROADWAYS.
6. BEGIN BUILDING CONSTRUCTION. BACKFILL BUILDING AND INSTALL TEMPORARY SEED AND MULCH ON DISTURBED AREA AROUND BUILDING WITHIN 30 DAYS OF LAND DISTURBANCE.
7. PAVE BINDER LAYER AS SOON AS PRACTICAL.
8. LOTS TO RECEIVE FINAL GRADING AND RESTORATION AS PART OF INDIVIDUAL HOME CONSTRUCTION.
9. CONTRACTOR TO REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES ONCE THE SITE IS STABILIZED.

ESTIMATED START DATE: JUNE 2018
 ESTIMATED COMPLETION DATE: NOVEMBER 2018
 ESTIMATED DISTURBED AREA = 8.6 ACRE
 ESTIMATED NEW IMPERVIOUS AREA = X.XX ACRE



TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS STATUTE, 182.075(1974)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MIL W. AREA 259-1181

FOR: NFI JACKSON, LLC
 GRADING AND EROSION CONTROL PLAN
 COBBLESTONE MEADOWS
 PART OF THE SE 1/4 OF SECTION 19, T 10 N, R 20 E,
 VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. WAUKESHA, WI 53188
 TEL. NO. (262) 542-5797 FAX (262) 542-7698 (E-MAIL Pjenswold@JahnkeAndJahnke.com)

REVISIONS		

SCALE: 1"=40'	DATE: APRIL 6, 2018
DRAWN BY: GEM	CHECKED BY: PJJ
BOOK NO.: WASHINGTON 56 / PG 1	FILE NO.: WASHINGTON 419
JOB: S-8713	SHEET 3 OF 8

AN MH 3
 14+45.7, 417.31 R
 862.73
 844.04
 845.00

L=101.27
 R=136.00
 CL=98.94
 CB=N22° 32' 07"W
 DELTA=42° 39' 49"

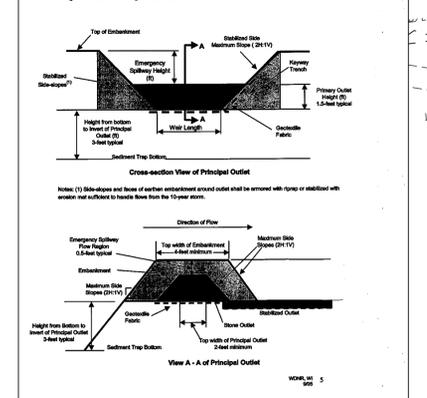
EX. 12' JOINT UNDERGROUND
 ELECTRIC AND COMMUNICATIONS EASEMENT

SHARON LEE LN (PRIVATE)

MELROY PL (PRIVATE)

INLET PROTECTION
 TYPE B
 (TYP.)

Figure 1: Sediment Trap Outlet Detail



SEDIMENT TRAP NOTES:

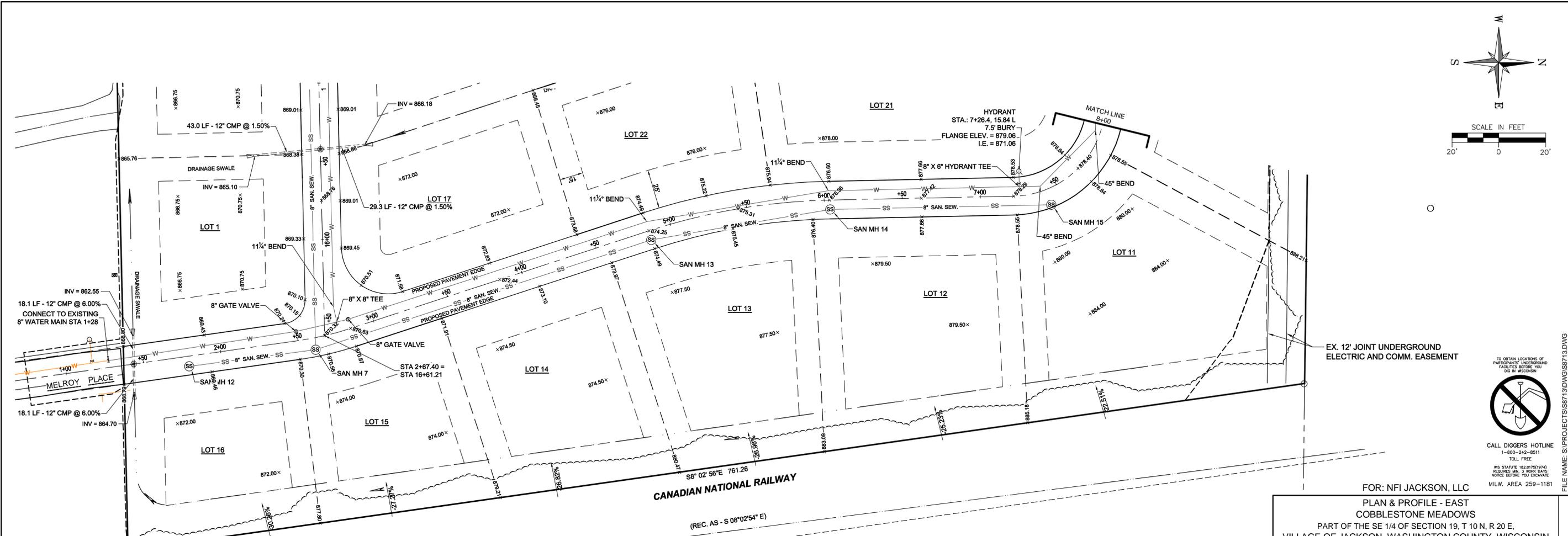
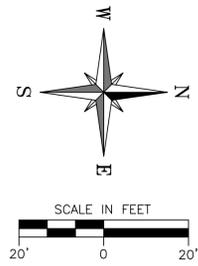
1. WEIR LENGTH SHALL BE 4 FEET.
2. PRIMARY OUTLET HEIGHT SHALL BE 3 FEET.
3. DEPTH OF TRAP SHALL BE 3 FEET.
4. PRINCIPAL OUTLET SHALL BE CONSTRUCTED WITH 3-INCH TO 6-INCH CLEAR WASHED STONE ON GEOTEXTILE FABRIC.
5. SIDE SLOPES SHALL BE 2:1.
6. SEDIMENT TRAP DIMENSIONS SHALL BE:
 TRAP # 1 = 44' X 90'
 TRAP # 2 = 47' X 94'

STORM SEWER NOTES:

1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION (SWS), THE WISCONSIN ADMINISTRATIVE CODE, AND THE REQUIREMENTS OF THE VILLAGE OF JACKSON.
2. CONTRACTORS SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. ALL UTILITY WORK SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. UTILITY CONTRACTOR IS RESPONSIBLE FOR LEVELING THE EXCESS SPOIL MATERIAL FROM THE TRENCH UNLESS OTHERWISE DIRECTED BY THE GENERAL CONTRACTOR.
4. ALL INLET STRUCTURES SHALL BE PRECAST. FOR ADJUSTMENTS, FRY RINGS MUST BE USED WITH FULL BED OF MORTAR AT FRAME AND BETWEEN RINGS. WOOD WEDGES AND DRY STAKING OF ADJUSTING RINGS ARE NOT ACCEPTABLE.
5. CONNECTIONS TO INLETS SHALL USE BLOCK-BRICK AND MORTAR TO ENCLOSE OPENING AND BACK PLASTER INTERIOR AND EXTERIOR.
6. STORM SEWERS AND CULVERTS IN PRIVATE ROADS AND OUTSIDE OF THE RIGHT-OF-WAY SHALL BE CMP CONFORMING TO CHP. 8.14.0 OF THE SWS UNLESS OTHERWISE NOTED.
7. STORM SEWER WITHIN THE RIGHT-OF-WAY SHALL BE REINFORCED CONCRETE SEWER PIPE (RCP) AND SHALL MEET THE REQUIREMENTS OF ASTM C-76 AND SWS 8.6.0. JOINTS SHALL BE CEMENT MORTARED TYPE JOINTS, AS PER SWS 3.2.16 OR RUBBER GASKET JOINTS AS PER SWS 3.2.11.
8. CLASS C BEDDINGS REQUIRED FOR BEDDING AND COVER.
9. ALL STORM SEWERS SHALL HAVE MECHANICALLY COMPACTED GRANULAR BACKFILL IN PAVED AREAS AND WITHIN 5 FEET OF THE PAVED AREAS. SPOIL BACKFILL WILL BE ALLOWED IN NON-PAVED AREAS.
10. ADJUST MANHOLES IN ROADWAY TO 3/8 TO 1/2 INCH BELOW FINAL PAVEMENT GRADE.

PROJECT NUMBER: S-8713
 PLOTTED: 4/6/2018 1:03 PM

FILE NAME: S:\PROJECTS\S8713\DWG\S8713.DWG



EX. 12' JOINT UNDERGROUND
ELECTRIC AND COMM. EASEMENT



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PLAN & PROFILE - EAST
COBBLESTONE MEADOWS
PART OF THE SE 1/4 OF SECTION 19, T 10 N, R 20 E,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

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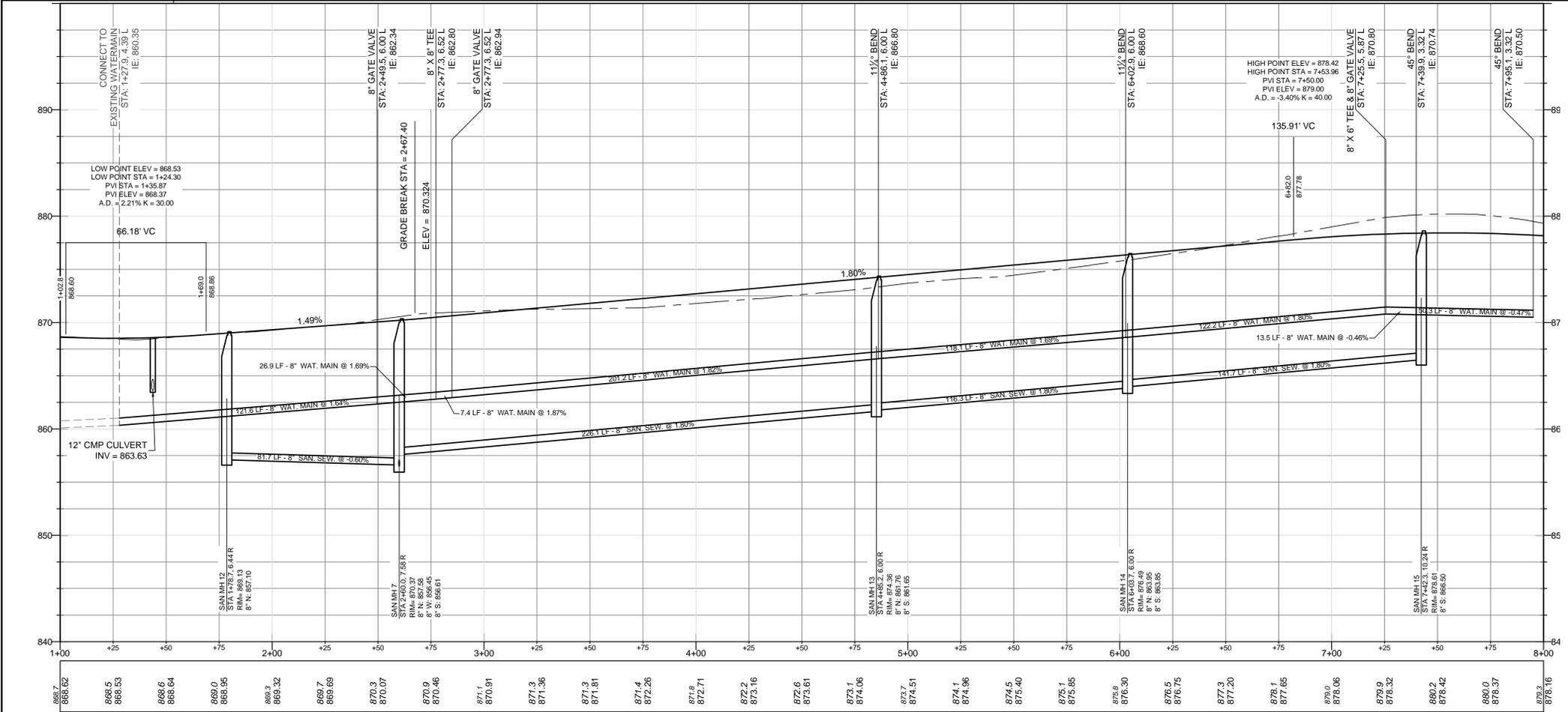
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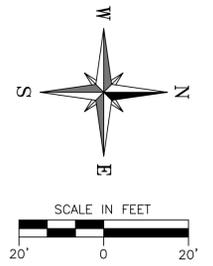
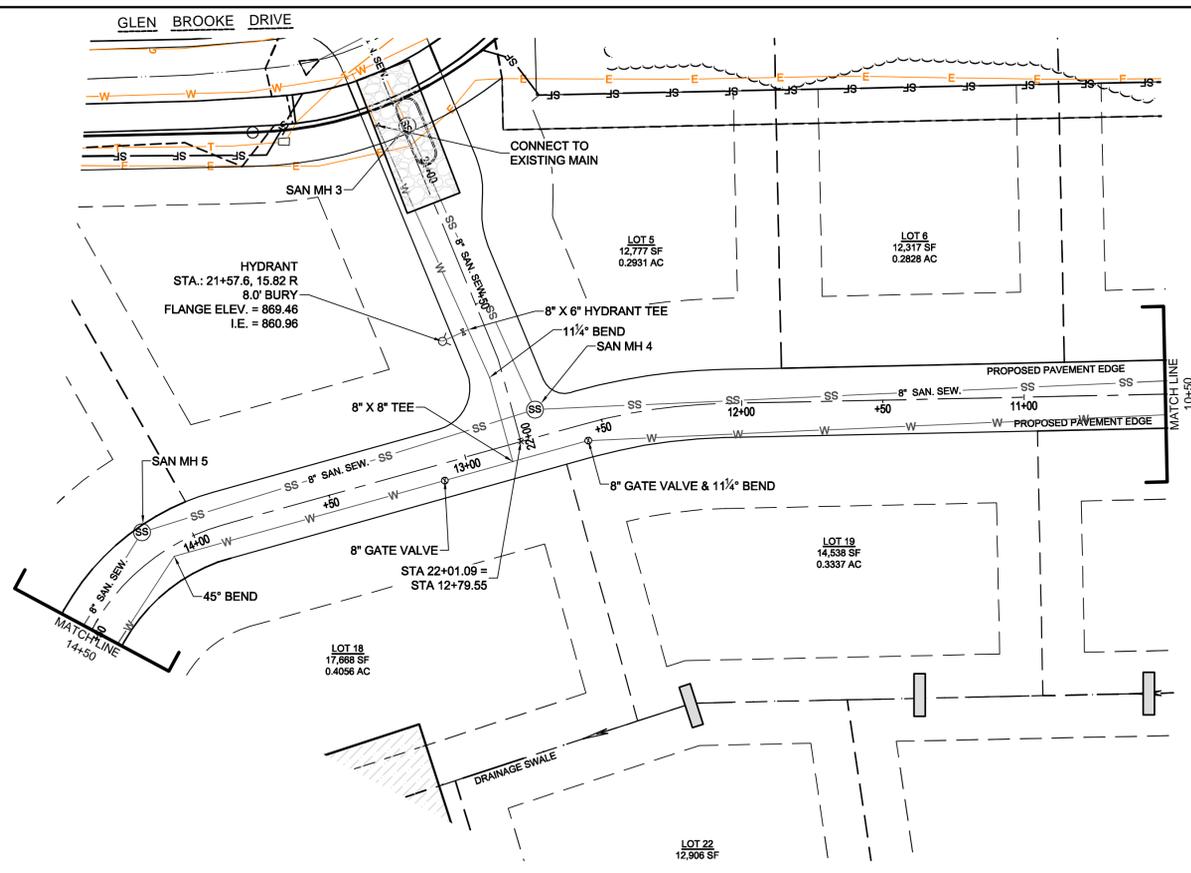
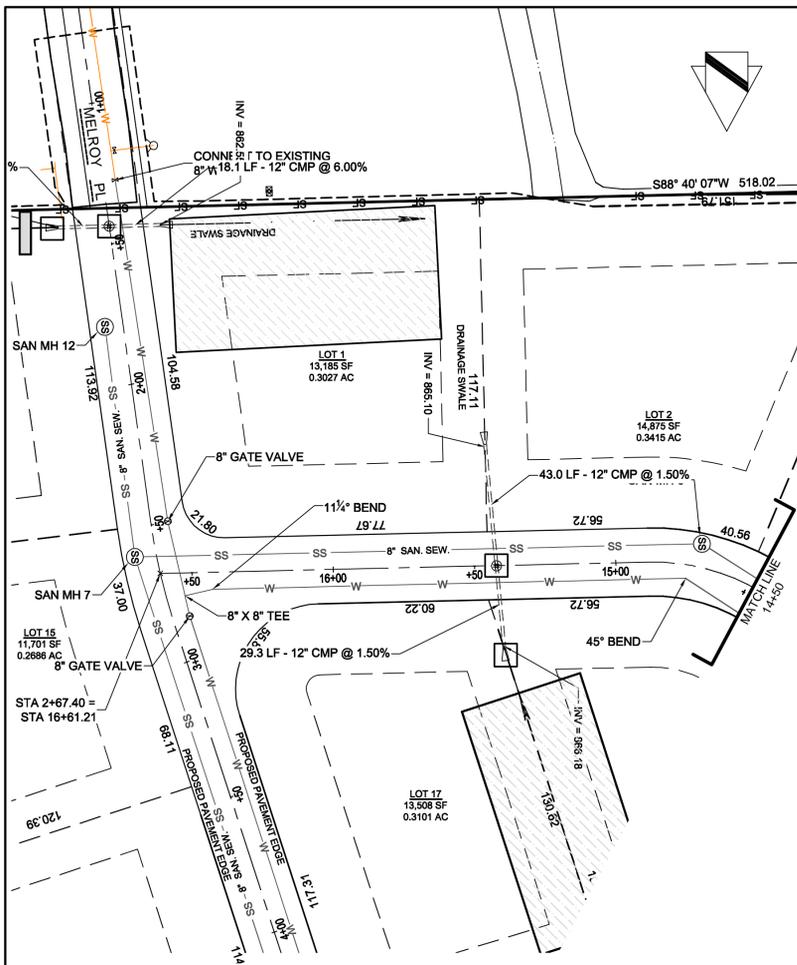
UTILITY NOTES:

- GENERAL:
 - ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION (SWS). THE WISCONSIN ADMINISTRATIVE CODE, THE REQUIREMENTS OF THE VILLAGE OF JACKSON.
 - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 - ALL BEDDING AND COVER MATERIAL SHALL BE CRUSHED STONE CHIPS PER THE STANDARD SPECS. SECTION 8.43.8.
 - COORDINATE THE WATER CUT IN WITH THE UTILITY SUPERINTENDENT (MINIMUM 72 HR NOTICE).
- SANITARY LATERAL:
 - THE SANITARY SEWER PIPE SHALL BE PVC ASTM D-3034 SDR 35 WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS CONFORMING TO ASTM D3212.
 - SANITARY MANHOLES SHALL BE 48" DIAMETER PRECAST CONCRETE PER FILE NO. 12 OF SWS. "RAMNEK", KENT SEAL OR APPROVED EQUAL SHALL BE USED FOR BARREL JOINTS. MANHOLE CASTINGS SHALL BE NEENAH R-1500A. INTERNAL RUBBER CHIMNEY SEALS SHALL BE INSTALLED. HDPE RECYCLED ADJUSTING RINGS SHALL BE USED IN LIEU OF CONCRETE RINGS.
 - ALL SANITARY SEWERS AND LATERALS ARE TO BE BEDDED WITH STONE CHIPS PER SWS 8.43.2(A) AND BACKFILLED WITH MECHANICALLY COMPACTED GRANULAR BACKFILL PER SWS 8.43.4 IN PAVED AREAS/SHOULDERS AND WITHIN 5 FEET OF THE PAVED AREAS. SPOIL BACKFILL WILL BE ALLOWED IN NON-PAVED AND NON-SHOULDERED AREAS.
- WATER MAIN:
 - WATER MAIN SHALL BE AWWA C-900 CLASS 150 PVC.
 - NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL THE FOLLOWING REQUIREMENTS ARE MET. THE CONTRACTOR SHALL MAKE A CONNECTION TO THE MAIN WHEN THE SAFE SAMPLE IS OBTAINED. ALL SERVICES HAVE BEEN INSTALLED AND PRESSURE TESTED (150 PSI FOR AN HOUR). THE CONTRACTOR WILL THEN START A NEW GAP IN THE MAIN BEFORE CONTINUING TO INSTALL PIPE BEYOND THE LENGTH THAT HAS BEEN SAFE WATER TESTED AND PRESSURE TESTED.
 - THE CONTRACTOR IS REQUIRED TO CONTACT THE WATER UTILITY PRIOR TO PREPARING TO SAMPLE. THE CONTRACTOR IS REQUIRED TO FILL AND FLUSH THE NEW MAIN. THE WATER UTILITY STAFF WILL COLLECT THE SAMPLE AND SEND IT TO THE APPROVED LAB.
 - ALL WATER MAIN AND SERVICES ARE TO BE BEDDED AND COVERED WITH STONE CHIPS PER SWS 8.43.2(A) AND BACKFILLED WITH MECHANICALLY COMPACTED GRANULAR BACKFILL PER SWS 8.43.4 IN PAVED AREAS/SHOULDERS AND WITHIN 5 FEET OF THE PAVED/SHOULDER AREAS. SPOIL BACKFILL WILL BE ALLOWED IN NON-PAVED AND NON-SHOULDERED AREAS.
 - CHLORINATION TABLETS SHALL BE GLUED TO THE INSIDE OF THE PIPE PER SWS 4.3.12. CHLORINATION POWDERS OR OTHER LOOSE MATERIAL ARE NOT ALLOWED.
 - ALL WATER MAINS WILL HAVE BUTTRESSES INSTALLED AT ALL BENDS, THRUST POINTS OR ANY OTHER APPROPRIATE PLACE. THE BUTTRESS SHALL BE POURED CONCRETE AND INSTALLED PER THE REQUIREMENTS IN THE STANDARD SPECIFICATIONS (GREEN BOOK FILE NO. 44).
 - HARDWOOD AND/OR CONCRETE BLOCKS ENCASED IN CONCRETE IS ALSO ACCEPTABLE.
 - ANCHOR TEES OR ELBOWS MAY BE MECHANICAL JOINT FITTINGS. MECHANICAL JOINTS SHALL BE MADE WITH COR-BLU NUTS AND BOLTS WHICH CONFORM TO C-111, AWWA SPECIFICATIONS. ALL NON-STAINLESS STEEL ANCHOR FITTINGS OR RODS SHALL BE SPRAYED OR COATED WITH A RUBBERIZED OR TAR BASED SEALANT TO PREVENT CORROSION.
 - ALL HYDRANTS SHALL BE EITHER WATERLOUS PAPER OR MUELLER CENTURION.
 - HYDRANTS SHALL HAVE A MECHANICAL JOINT CONNECTION. TURN LEFT TO OPEN.
 - HYDRANTS SHALL BE PAINTED RED AND MARKED WITH A HYDRANT MARKER. HYDRANTS SHALL BE BREAK-FLANGE TYPE. THE BREAK-FLANGE MUST BE PLACED AT FINISH GRADE.
 - HYDRANTS SHALL HAVE A 5-1/4" MAIN VALVE OPENING. SHALL HAVE A NATIONAL STANDARD TWO 2-1/2" HOSE NOZZLES AND A 4-1/2" PUMPER NOZZLE.
 - HYDRANTS SHALL BE ATTACHED TO A HYDRANT TEE BY MEANS OF A CLOW F1217 ANCHORING TEE OR EQUAL. ALL HYDRANTS SHALL INCLUDE A 6" SHUT OFF VALVE. VALVES SHALL MEET THE VALVE SPECIFICATION LISTED ABOVE.
 - ALL HYDRANTS SHALL BE THRUST BLOCKED. A POURED CONCRETE BUTTRESS SHALL BE INSTALLED ENSURING THAT NO CONCRETE PLUGS THE WEEP HOLE. PLEASE REFER TO THE STANDARD SPECIFICATIONS FILE NO. 38 (GREEN BOOK).
 - HYDRANT ASSEMBLIES SHALL BE WRAPPED IN POLYETHYLENE FILM.
 - ALL VALVES SHALL BE PLACED IN VALVE BOXES. VALVE BOXES SHALL BE EQUAL TO TYLER 6860, SIGMA VB630DD, STAR VB DHD DW, THREE-PIECE ASSEMBLY, SIZE DD WITH COVER MARKED "WATER". PVC VALVE BOXES ARE NOT ACCEPTABLE.
 - VALVES SHALL BE RESILIENT SEAT GATE VALVES (AWWA C-509); ALL UNDERGROUND TRIM (NUTS, BOLTS, ETC.) FOR VALVES SHALL BE STAINLESS STEEL.
 - A VALVE BOX ADAPTOR SHALL BE USED TO PREVENT SETTLING OR SHIFTING OF VALVE BOXES.
 - ALL VALVES SHALL HAVE NON-RISING STEMS, MECHANICAL JOINT ENDS, TURN LEFT TO OPEN, AND HAVE 2" SQUARE OPERATING NUT.
 - ALL VALVES SHALL HAVE STAINLESS STEEL BOLTS.
 - VALVES SHALL BE PLACED IN VALVE BOXES. VALVE BOXES SHALL BE EQUAL TO TYLER 6860, SIGMA VB630DD, STAR VB DHD DW, THREE-PIECE ASSEMBLY, SIZE DD WITH COVER MARKED "WATER". PVC VALVE BOXES ARE NOT ACCEPTABLE.
 - TRACER WIRE IS TO BE:
 - ALONG THE MAIN AND LATERALS.
 - DIRECT BURIAL RATED COATING (HIGH DENSITY POLYETHYLENE (HDPE) OR HIGH MOLECULAR WEIGHT POLYETHYLENE (HMWPE), MINIMUM 90 MIL. NYLON COATING IS NOT ACCEPTABLE.
 - INSULATED AWG#10 COPPER CONDUCTOR, HIGH STRENGTH WITH MINIMUM 600 POUND BREAK LOAD.
 - THE PROTECTIVE COATING MUST BE BLUE IN COLOR.
 - SPICES (BURIED) AND WATER PROOFED USING SHRINK-WRAP PER SWS FILE NO. 24 OR CITY APPROVED WATERPROOF UNDERGROUND SPLICE KIT. ALL OTHER SPLICE TECHNIQUES MUST BE APPROVED BY THE UTILITY SUPERINTENDENT. SPLICES SHALL BE KEPT TO A MINIMUM.
 - TRACER WIRE BOXES SHALL BE INSTALLED BEHIND HYDRANTS AND SHALL BE VALVCO BRAND.
 - CONDUCTIVITY TESTING (CONTINUITY) OF THE WIRE SHALL BE PERFORMED PRIOR TO ACCEPTANCE.



PROJECT NUMBER: S-8713
PLOTTED: 4/16/2018 1:03 PM

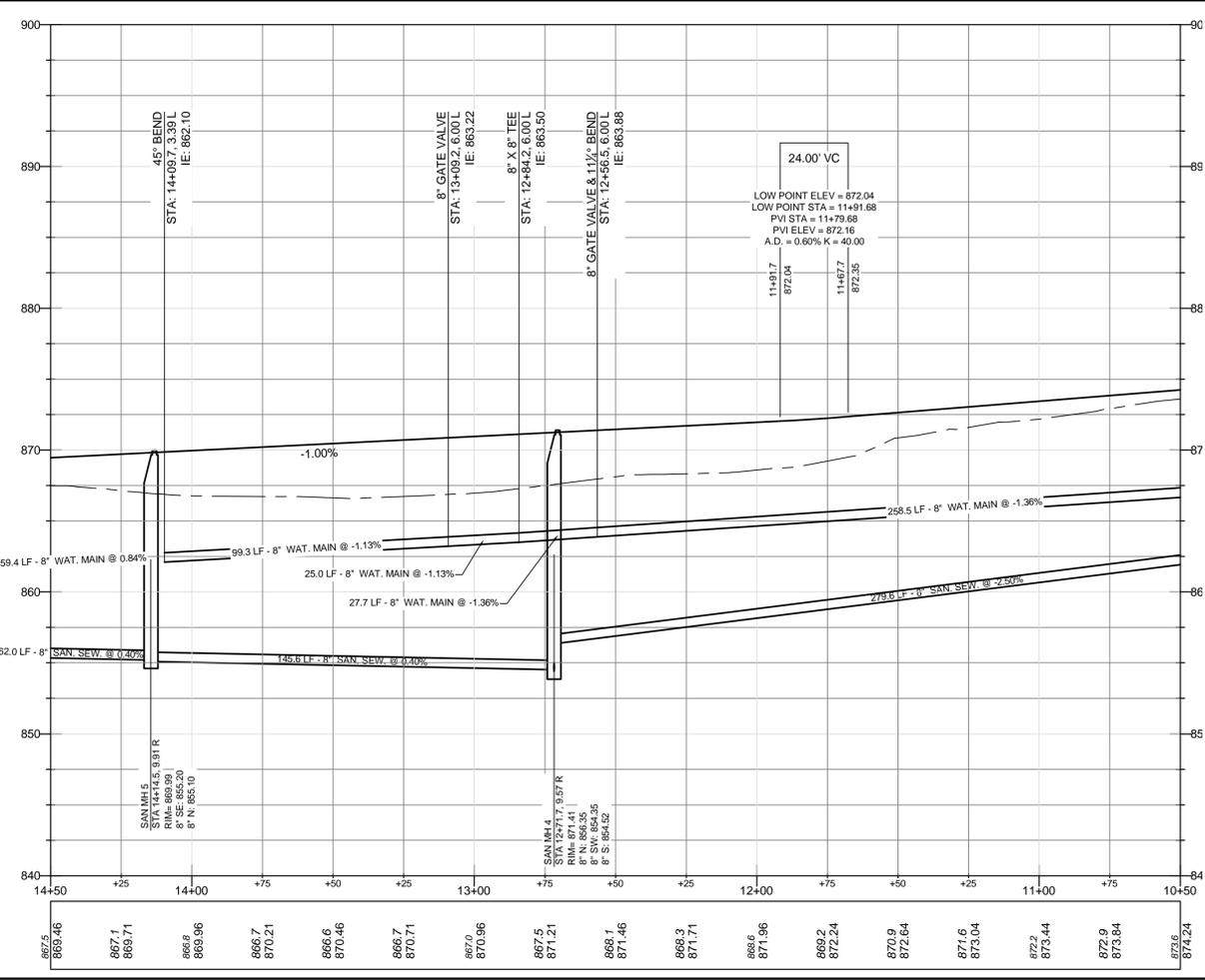
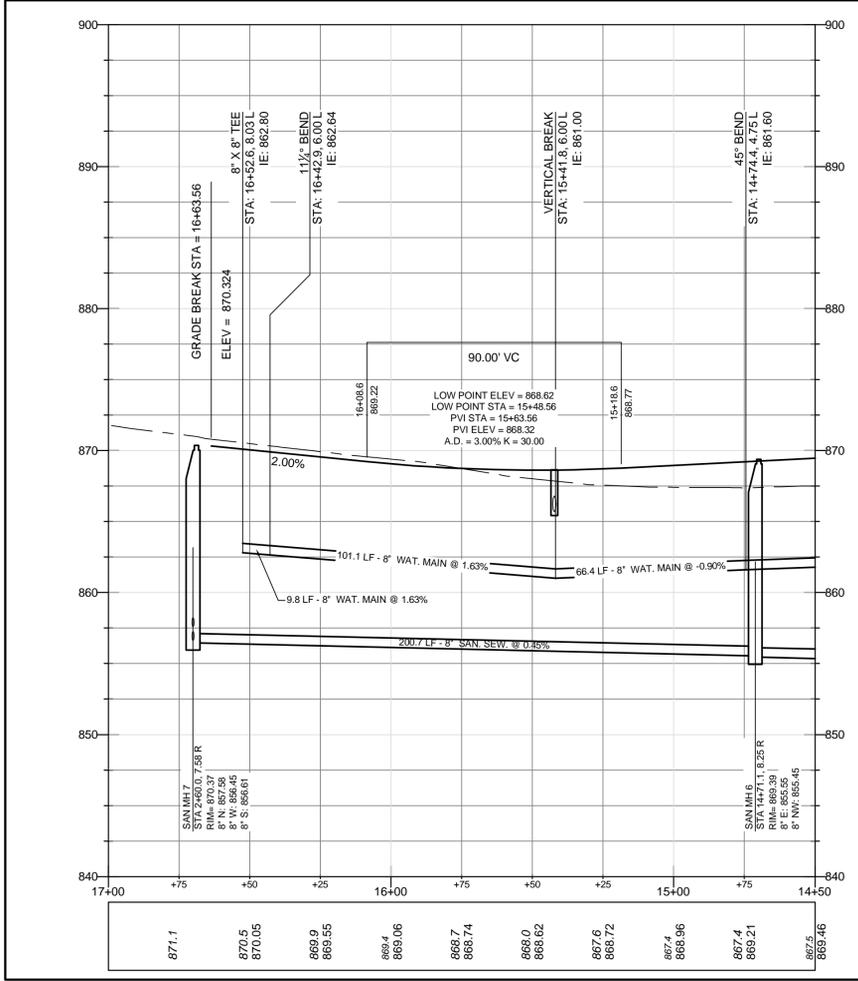
FILE NAME: S:\PROJECTS\S8713\DWG\S8713.DWG



TO OBTAIN LOCATION OF PARTICIPATING UNDERGROUND UTILITIES, CONTACT THE LOCAL UTILITY COMPANIES.
 CALL DIGGERS HOTLINE 1-800-242-8911 TOLL FREE
 WIS. STATUTE 182.075(1974) REQUIRES ALL WORK DURING NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

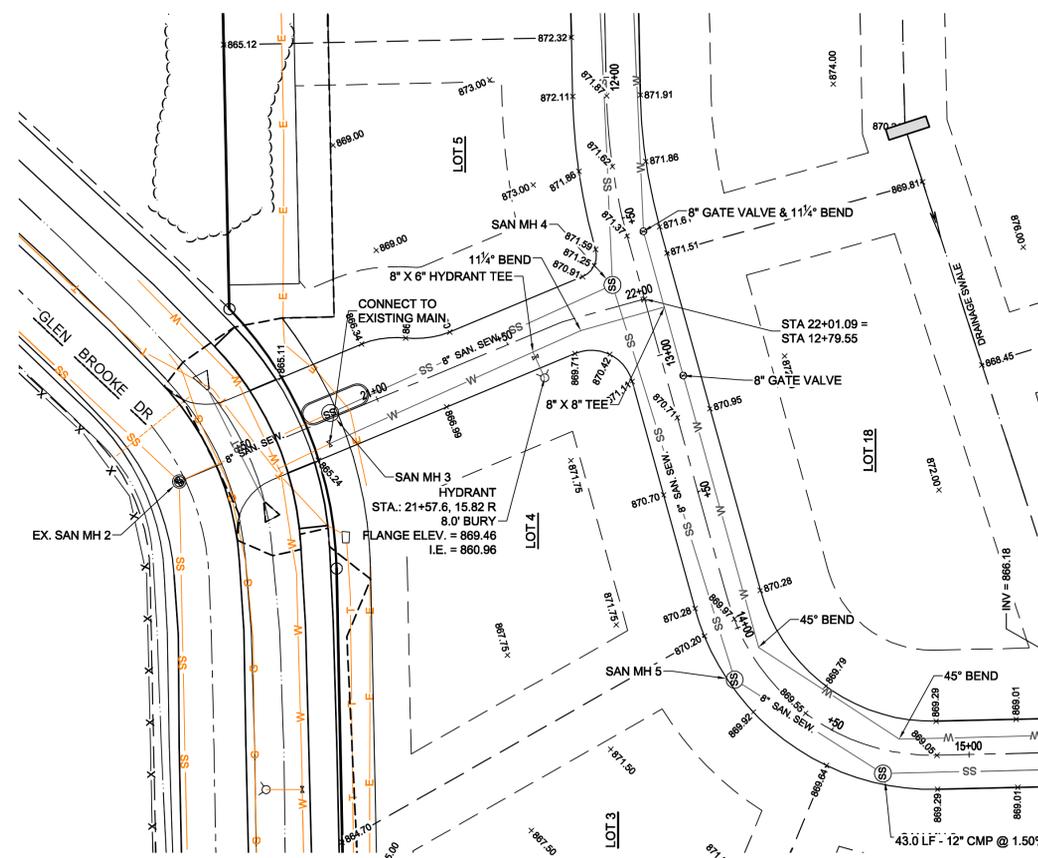
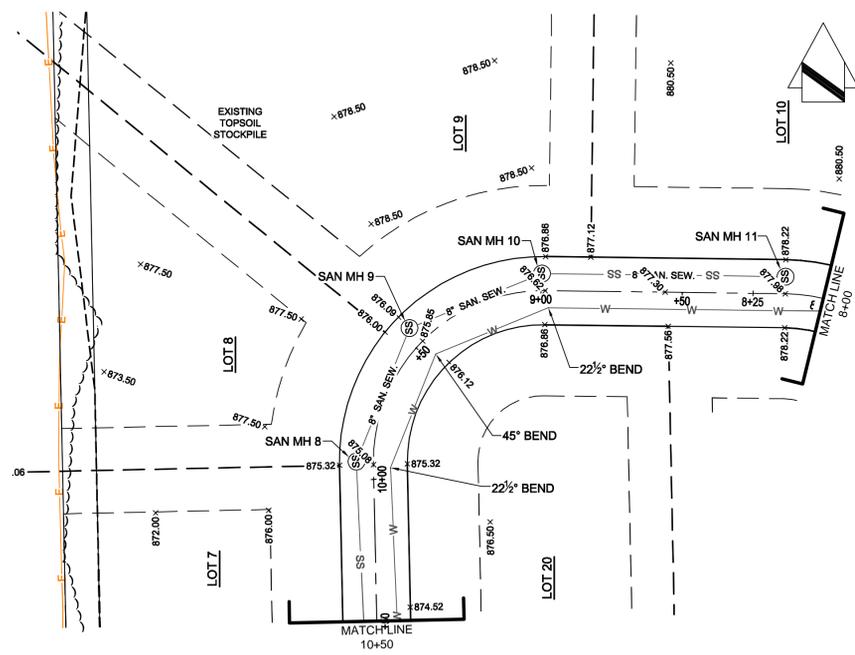
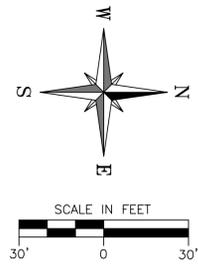
FOR: NFI JACKSON, LLC
 PLAN & PROFILE - WEST
 COBBLESTONE MEADOWS
 PART OF THE SE 1/4 OF SECTION 19, T 10 N, R 20 E,
 VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

REVISIONS			



PROJECT NUMBER: S-8713
 PLOTTED: 4/6/2018 1:04 PM

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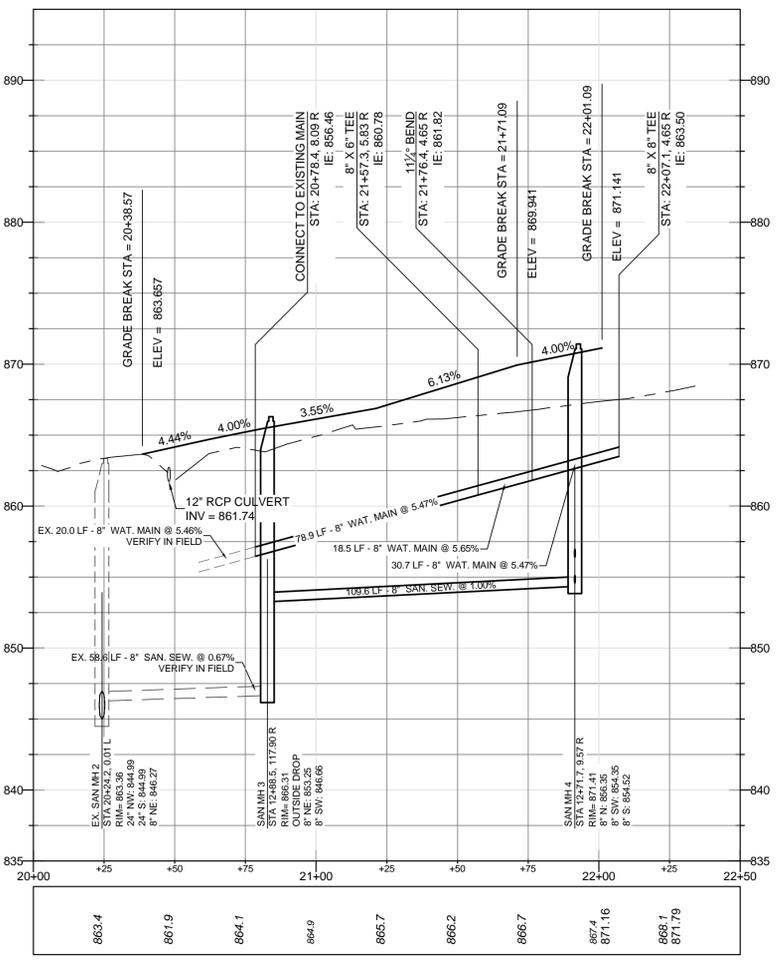
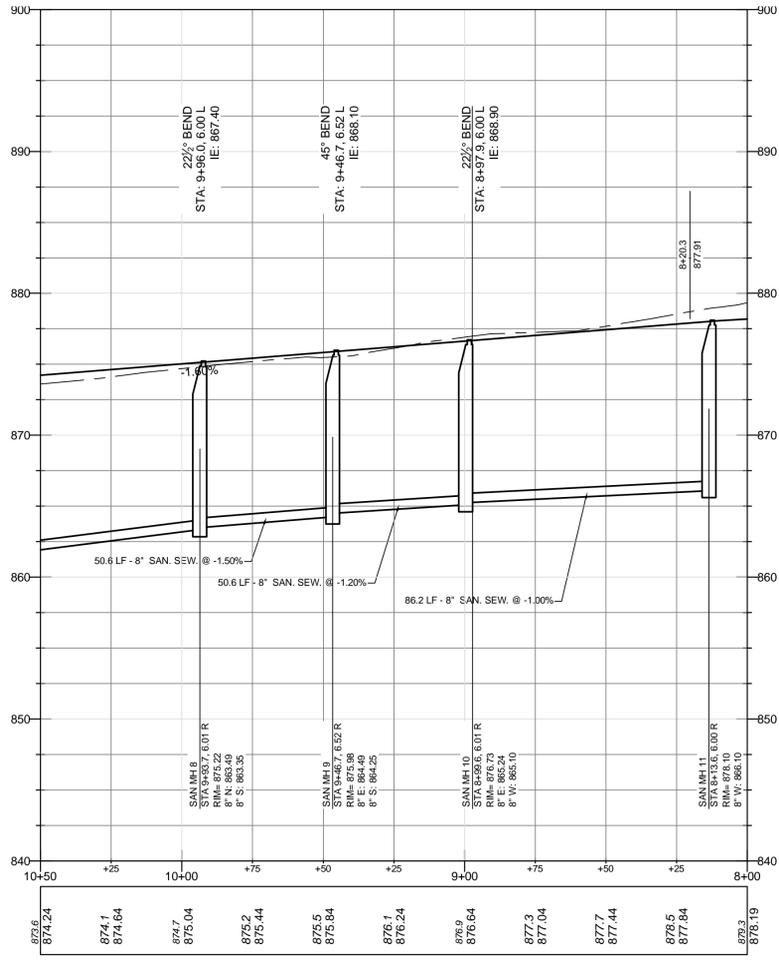


CALL DIGGERS HOTLINE
1-800-242-8911
TOLL FREE
WIS. STATUTE 182.075(1974)
REQUIRES 90' WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

FOR: NFI JACKSON, LLC
PLAN & PROFILE - NORTH
COBBLESTONE MEADOWS
PART OF THE SE 1/4 OF SECTION 19, T 10 N, R 20 E,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

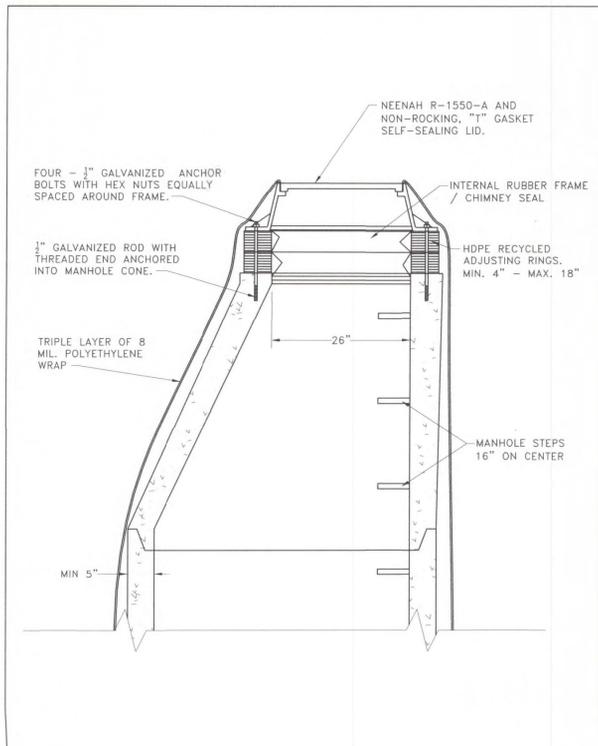
REVISIONS	

JAHNKE & JAHNKE ASSOCIATES INC. PLANNERS & PROFESSIONAL ENGINEERS 711 W. MORELAND BLVD. - WAUKESHA, WI 53188 TEL: (262) 542-5797 FAX: (262) 542-7698 (E-MAIL: Pjenswold@JahnkeAndJahnke.com)	
SCALE: 1"=30' HORIZ, 1"=6' VERT.	DATE: APRIL 6, 2018
DRAWN BY: GEM	CHECKED BY: PJJ
BOOK NO.: WASHINGTON 56 / PG 1	JOB: S-8713
FILE NO.: WASHINGTON 419	SHEET 6 OF 8

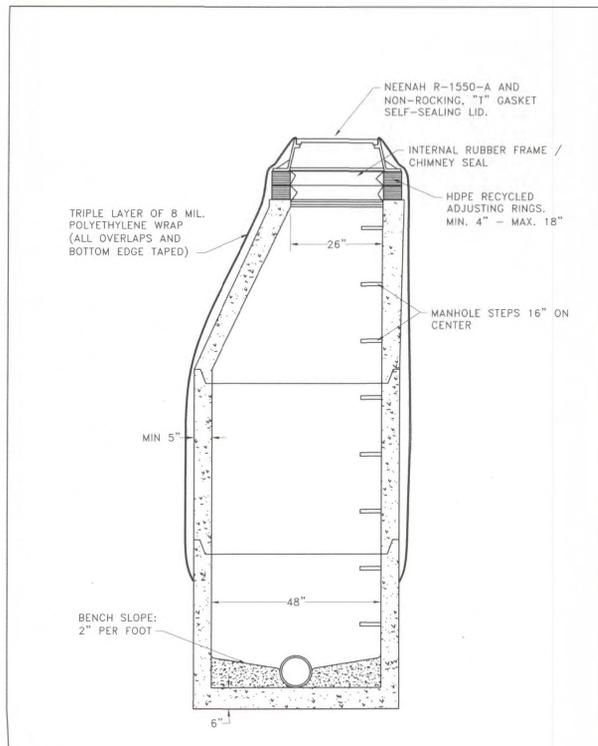


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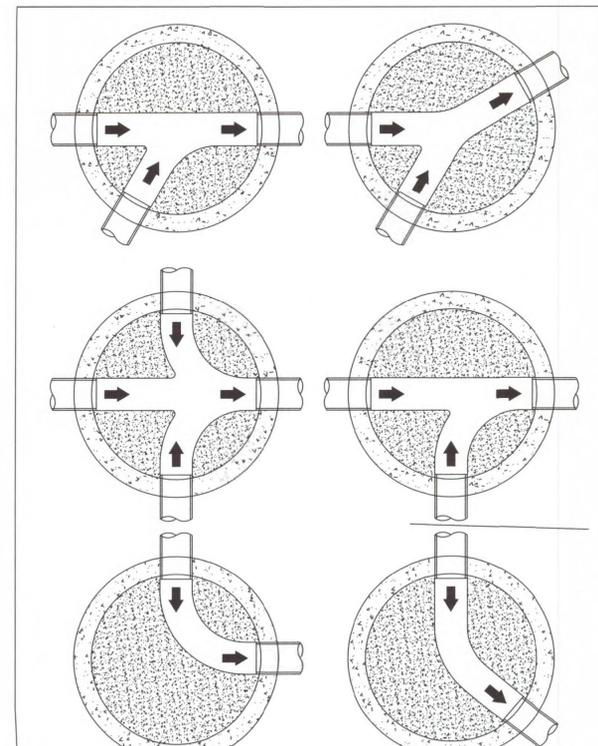
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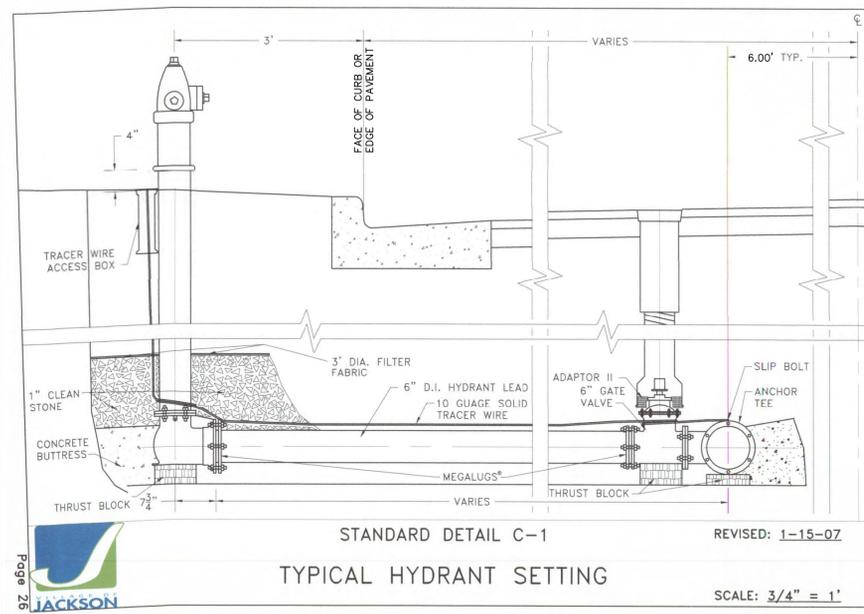
STANDARD DETAIL B-2 REVISED: 1-16-07
ANCHORED SANITARY SEWER MANHOLE FRAME AND COVER
 SCALE: 3/4" = 1'
 Page 23



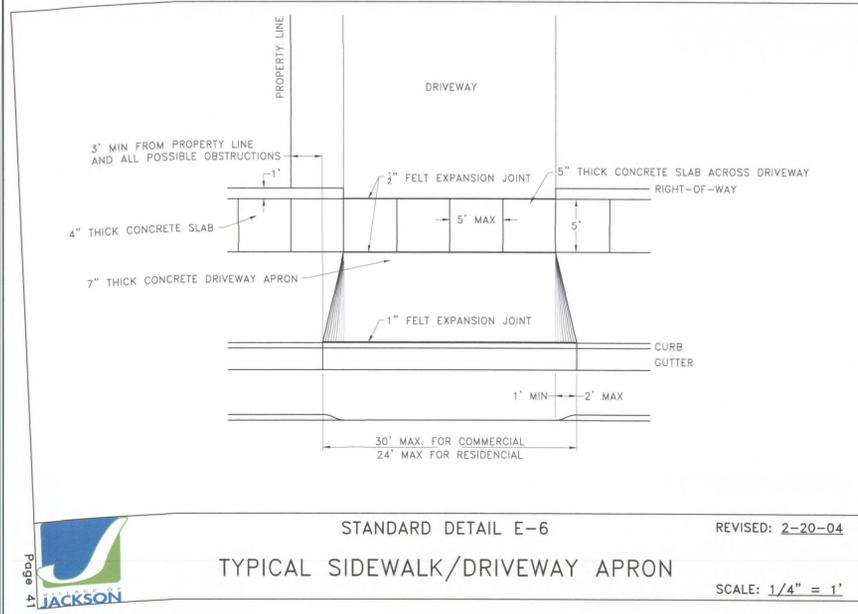
STANDARD DETAIL B-3 REVISED: 1-16-07
SANITARY SEWER MANHOLE
 SCALE: 1/2" = 1'
 Page 24



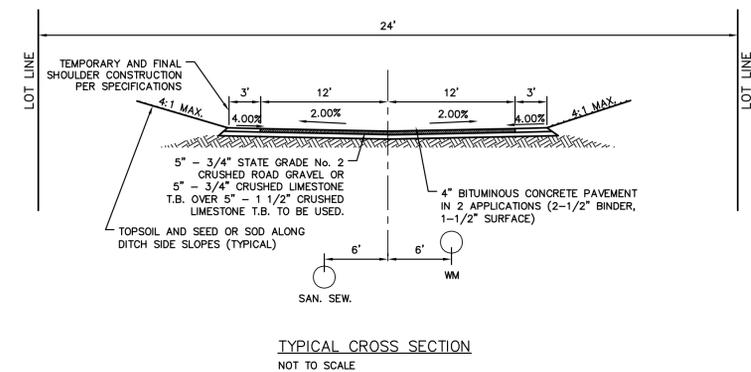
STANDARD DETAIL B-4 REVISED: 1-17-07
TYPICAL BENCH CURVATURE FOR SANITARY SEWER MANHOLE
 SCALE: 1/2" = 1'
 Page 25



STANDARD DETAIL C-1 REVISED: 1-15-07
TYPICAL HYDRANT SETTING
 SCALE: 3/4" = 1'
 Page 26



STANDARD DETAIL E-6 REVISED: 2-20-04
TYPICAL SIDEWALK/DRIVEWAY APRON
 SCALE: 1/4" = 1'
 Page 41



TYPICAL CROSS SECTION
 NOT TO SCALE

PROJECT NUMBER: S-8713
 PLOTTED: 4/6/2018 1:04 PM

REVISIONS	

FOR: NFI JACKSON, LLC
 CONSTRUCTION DETAILS
 COBBLESTONE MEADOWS
 PART OF THE SE 1/4 OF SECTION 19, T 10 N, R 20 E,
 VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. WAUKESHA, WI 53188
 TEL. NO. (262) 542-5797 FAX (262) 542-7698 (E-MAIL PJenswold@JahnkeAndJahnke.com)

SCALE: 1"=40' DATE: APRIL 6, 2018
 DRAWN BY: GEM CHECKED BY: PJJ FILE NO.: WASHINGTON 419
 BOOK NO.: WASHINGTON 56 / PG 1 JOB: S-8713 SHEET 7 OF 8

FILE NAME: S:\PROJECTS\S8713\DWG\S8713 DETAILS.DWG



Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin

WDR Version 2.0 (06-29-2017)



YEAR 1
 Developer: Cobblestone Builders
 Project: Cobblestone Meadows
 Date: 04/04/18
 County: Washington

Activity (1)	Begin Date (2)	End Date (3)	Period % R (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (T/ac) (15)
Bare Ground	06/01/18	06/21/18	12.1%	120	Silt Loam	0.43	3.4%	740	0.75	1.00	4.7	1.170	Silt Fence	3.3
Seed with Mulch or Er	06/21/18	11/15/18	65.9%	120	Silt Loam	0.43	2.0%	580	0.34	0.10	1.2	1.206	Silt Fence	0.8
End	11/15/18						2.0%	580	0.34			0.000		0.0
							2.0%	580	0.34			0.000		0.0
							2.0%	0				0.000		0.0
							0.0%	0				0.000		0.0
TOTAL												5.8	TOTAL	4.1
												% Reduction Required	NONE	

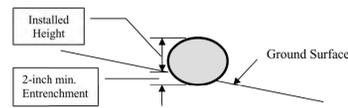
Notes:
 See Help Page for further descriptions of variables and items in drop-down boxes.
 The last land disturbing activity on each sheet must be 'End'. This is either 12 months from the start of construction or final stabilization.
 For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

Recommended Permanent Seeding Dates:
 4/15-6/1 and 8/1-8/21 Turf, introduced grasses and legumes
 Thaw-6/30 Native Grasses, forbs, and legumes

NOTE: THIS TOOL ONLY ADDRESSED SOIL EROSION DUE TO SHEET FLOW. MEASURES TO CONTROL CHANNEL EROSION MAY ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

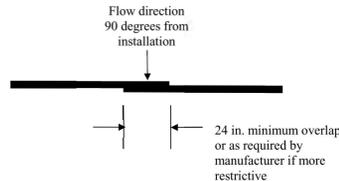
Designed By: Paul Jenswold, P.E.
 Date: 4/4/2018

T:\Projects\S-8000s\Projects\S-8713 Cobblestone Meadows\USLEmodel.xlsm

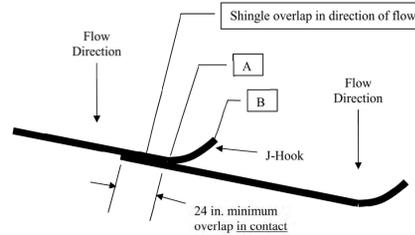


Note:
 Installed height is measured from the upslope ground surface to the top of the product. Due to settlement and/or deformation, the installed height may not be equivalent to the nominal diameter of the product.

CROSS SECTION



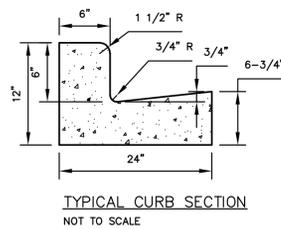
TYPICAL INSTALLATION (Plan View)



SLOPING INSTALLATION (Plan View)

Notes:
 1. J-hooks shall be installed so that the ground-product interface elevation at location B is higher than the top of product elevation at location A to create a weir at point A.
 2. J-hooks shall be installed every 2 vertical feet of drop along the length of the installation.
 3. Stake overlap as required by manufacturer.

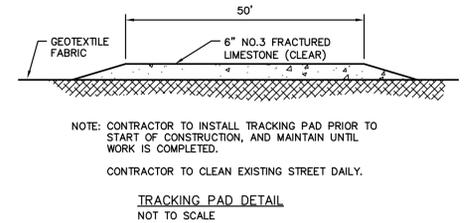
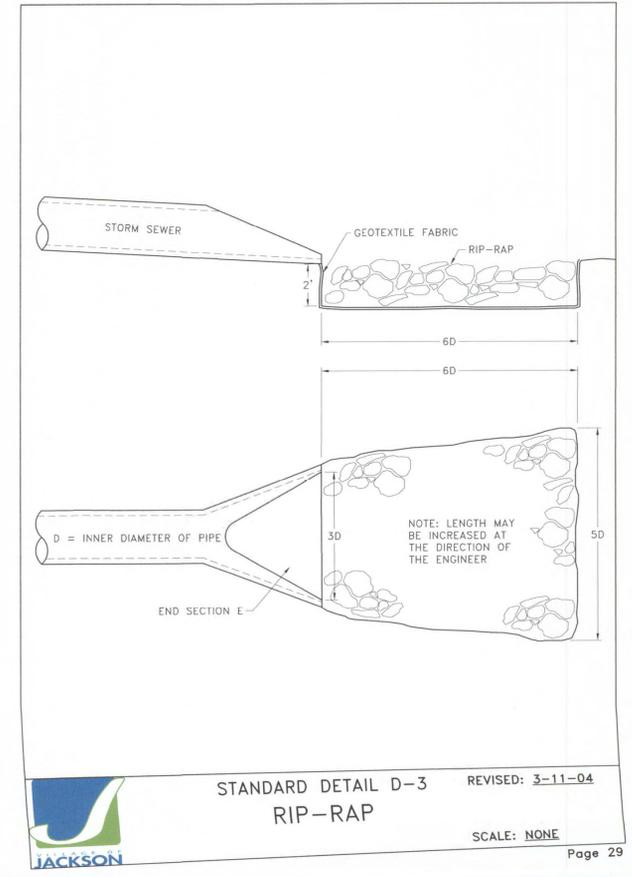
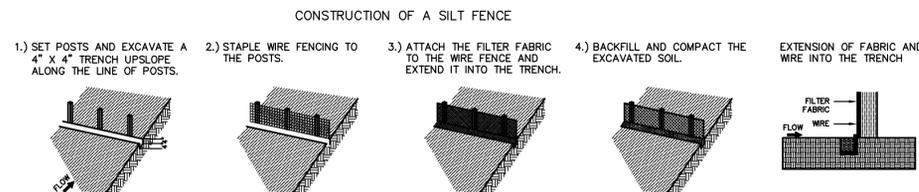
FIGURE 1 LOG-TYPE PRODUCT INSTALLATION ILLUSTRATION



GENERAL NOTES
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES
 TYPE B & C
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3' OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 TYPE D
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALL DEWER THAN 30', MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3' OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CINCHE THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4' FROM THE BOTTOM OF THE BAG.

PER WIS DNR TECH STANDARD 1060
 INLET PROTECTION TYPE A, B, C, AND D



PROJECT NUMBER: S-8713
 PLOTTED: 4/6/2018 1:04 PM

REVISIONS

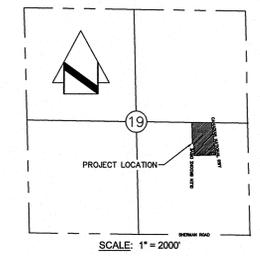
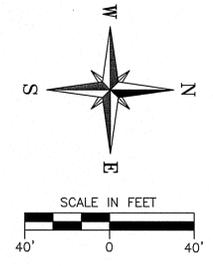
FOR: NFI JACKSON, LLC
 CONSTRUCTION DETAILS
 COBBLESTONE MEADOWS
 PART OF THE SE 1/4 OF SECTION 19, T 10 N, R 20 E,
 VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. WAUKESHA, WI 53188
 TEL No. (262) 542-5797 FAX (262) 542-7698 (E-MAIL Pjenswold@JahnkeAndJahnke.com)

SCALE: NONE DATE: APRIL 6, 2018
 DRAWN BY: GEM CHECKED BY: PJJ FILE NO.: WASHINGTON 419
 BOOK NO.: WASHINGTON 56 / PG 1 JOB: S-8713 SHEET 8 OF 8

FILE NAME: S:\PROJECTS\S8713\DWG\S8713 DETAILS.DWG

NW COR. OF THE SE (1/4)
OF SEC. 19, T10N, R20E.
CONC. MON. W/ SEWRPC
BRASS CAP



EX. 12' WIDE JOINT
UNDERGROUND
TELECOMMUNICATIONS
& ELECTRIC DISTRIBUTION
EASEMENT

L=101.27
R=136.00
CL=98.94
CB=N22°32'07"W
DELTA=42°39'49"

GLEN BROOKE DRIVE
(66' R.O.W.)

COBBLESTONE TRAILS
CONDOMINIUMS

PROP. 25' WIDE
STORM WATER
DRAINAGE
EASEMENT

PROP. 30' WIDE
STORM WATER
DRAINAGE
EASEMENT

PRIVATE ROAD

PROP. 30' WIDE
UTILITY EASEMENT

PRIVATE ROAD

CANADIAN NATIONAL RAILWAY
(REC. AS - 6-08-0254' E)

LOT 3
20,454 SF
0.4695 AC

LOT 4
14,824 SF
0.3403 AC

LOT 5
12,777 SF
0.2931 AC

LOT 6
12,317 SF
0.2828 AC

LOT 7
11,161 SF
0.2562 AC

LOT 8
14,284 SF
0.3279 AC

LOT 9
21,767 SF
0.4997 AC

LOT 2
14,875 SF
0.3415 AC

LOT 18
17,668 SF
0.4056 AC

LOT 19
14,538 SF
0.3337 AC

LOT 20
13,349 SF
0.3065 AC

LOT 21
17,918 SF
0.4113 AC

LOT 10
16,262 SF
0.3733 AC

LOT 1
13,185 SF
0.3027 AC

LOT 17
13,508 SF
0.3101 AC

LOT 22
12,906 SF
0.2963 AC

OUTLOT 1
39,910 SF
0.9162 AC

LOT 11
23,061 SF
0.5294 AC

LOT 16
12,548 SF
0.2881 AC

LOT 15
11,701 SF
0.2686 AC

LOT 14
14,926 SF
0.3427 AC

LOT 13
16,568 SF
0.3803 AC

LOT 12
18,412 SF
0.4227 AC

DATA:
ZONING: PUD
NUMBER OF LOTS: 22
MINIMUM LOT SIZE: 11,000 S.F.
LINEAR LENGTH OF ROADS:
PLAT AREA: 8.70 ACRES

SURVEYOR:
JAHNKE AND JAHNKE ASSOCIATES, INC.
ATTN: PAUL J. JENSWOLD, PE
JOHN R. STIGLER, PLS
711 W. MORELAND BLVD
WAUKESHA, WI 53188
ATTN: (262) 542-5797
EMAIL: PJenswold@JahnkeAndJahnke.com

OWNER:
NFI JACKSON, LLC
ATTN: JOE NIEBLER
19745 W GEBHARDT RD
BROOKFIELD, WI 53045-2117

FOR: NFI JACKSON, LLC
PRELIMINARY PLAT
COBBLESTONE MEADOWS
PART OF THE SE 1/4 OF SECTION 19, T 10 N, R 20 E,
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD.-WAUKESHA, WI 53188
TEL.No.(262) 542-5797 FAX (262) 542-7698 (E-MAIL PJenswold@JahnkeAndJahnke.com)

REVISIONS

SCALE: 1"= 40'	DATE: APRIL 6, 2018
DRAWN BY: GEM	CHECKED BY: JRS
BOOK NO.: WASHINGTON 56 / PG 1	FILE NO.: WASHINGTON 419
JOB: S-8713	SHEET 1 OF 1

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN
COUNTY OF WAUKESHA } ss.



WE, JAHNKE & JAHNKE ASSOCIATES INC., DO HEREBY CERTIFY THAT WE HAVE MADE THIS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOVE PLAT OF SURVEY IS TRUE AND CORRECT REPRESENTATION THEREOF.

John R. Stigler
JOHN R. STIGLER, WIS. REG. NO. S-1820
Dated this 6TH day of APRIL, 2018

PROJECT NUMBER: S-8713
PLOTTED: 4/6/2018 10:10 AM

FILE NAME: S:\PROJECTS\8713\DWG\8713 PRELIM PLAT.DWG



April 4, 2018

Brian Kober, P.E.
Director of Public Works
Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

RE: Storm Water Management Plan Addendum
Cobblestone Meadows

Dear Mr. Kober:

As you are aware, Cobblestone Meadows is a redesign of the fourth phase of Sherman Meadows originally designed by Edgewood Engineering Group Inc. to be constructed on Parcel 4 of CSM 5727. Edgewood originally submitted a Storm Water Management Plan for the entire development including Parcel 4 on February 27, 2004 and updated the plan on January 27, 2005 obtaining approval from the Village and receiving a NOI from the WDNR. Unfortunately, the fourth phase of the project was not completed.

NFI Jackson LLC (current owner) and Cobblestone Builders are now proposing a slight redesign to create 22 single family lots instead of the original 22 2-Unit Condos. The private road network and public utilities will be almost the same as before. The drainage pattern also has not changed. Therefore, it is our intent that we make this slight redesign comply with the existing Storm Water Management Plan approved in 2005.

To comply with the existing Storm Water Manage Plan, the drainage pattern needs to stay the same and the impervious surface cannot increase. (at least not without remodeling the site) The proposed grading plan call for the same drainage swales and pitches the lots the same way as the previous design. As for impervious surface, the previous design had the following impervious surface:

Roadway Pavement	40,091 sf
Roofs	92,758 sf
<u>Driveways and Sidewalk</u>	<u>46,740 sf</u>
TOTAL IMPERVIOUS	179,589 sf or 47.4% of the site

The idea for the redesigned site is to allow the home buyers the flexibility to choose a home model so long as it fits within the setback of the lot. Therefore we do not know the exact impervious of each lot. So we propose to set a maximum impervious surface allowed per lot based upon the amount of impervious surface of the original design. The Maximum Impervious Surface would be as follows:

Original design Total Impervious	179,589 sf
- <u>Roadway Pavement</u>	<u>39,911 sf</u>
	139,678 sf
/ <u>22 lots</u>	<u>22 lots</u>
Maximum Impervious Surface per Lot	6,349 sf

This Maximum Impervious Surface should be easy to stay within given that Cobblestones largest single family model is about 3600 sf and a typical driveway for the site will be 25' x 20' or 500 sf.

If you have questions please feel free to contact me.

Sincerely

JAHNKE & JAHNKE ASSOCIATES, INC.

Paul J. Jenswold, P.E.
Project Engineer

STAFF REVIEW COMMENTS
Plan Commission Meeting – Meeting April 26, 2018

**1. Petition for Direct Annexation – Bielinski Homes (Creekside Villas)
Jackson Drive at Cedar Creek Road**

Building Inspection

- Recommend approval and a PUD zoning classification.

Public Works/Engineering

- Recommend approval with a motion having Village staff create an ordinance for the proposed annexation with a temporary zoning of Plan Unit Development (PUD) for the parcel.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- Staff will be creating an ordinance for Village Board approval.

2. Planned Unit Development – Center Street Milling Co. – Site Plan

Building Inspection

- State of Wisconsin Plan Review is required.
- Sign(s) will be required to be submitted at a future date and will be required to have a separate Plan Commission and Village Board approvals.
- Second accessible ramp shall be required for the raised floor area at the south end of the building space. This also shall exit to grade.
- Due to the building classification as an assembly, firewalls/fire barriers or sprinklers will be required.
- Adequate parking shall be provided for the events that will be hosted.
- Recommend approval. This would be an excellent addition to the village and will greatly improve the appearance and condition of the building.

STAFF REVIEW COMMENTS
Plan Commission Meeting – Meeting April 26, 2018

Public Works/Engineering

- The proposed development could and would be a catalyst for the surrounding area for other potential developments.
- If the proposal is to have only a prep kitchen and all food service is by catering, then no sampling manhole or grease trap will be required by the Jackson Sewer Utility.
- The property is zoned PUD which gives the Village flexibility with the onsite parking requirements. The zoning code requirement is one space for each 150 square feet of floor area, plus one space for each two employees. The number of proposed parking spaces is close to the number of spaces required. The Village could approve the proposed amount of parking spaces with the understanding of the property owner that future parking might be required if a problem transpires.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- Great opportunity for initiating area redevelopment.
- Recommend approval

3. Conditional Use – Cathedral Builders – Addition

Building Inspection

- Due to building size of the addition, a State of Wisconsin Plan Review will be required and plans will need to be drawn up by an Architect/Engineer.
- Addition and out building shall have matching materials and colors that match the existing building.
- Sprinklers shall be installed in new addition and shall be tied into the existing sprinkler system.
- Will bathrooms or water needed at rear storage/out building? Or will this be cold storage.
- Recommend no outdoor storage be permitted
- Recommend approval

STAFF REVIEW COMMENTS

Plan Commission Meeting – Meeting April 26, 2018

Public Works/Engineering

- In order to address Storm Water Management requirements, the Village is requesting a letter explaining the impact or exchange of impermeable surface on the site.
- Provide the Village with plan showing new storm water drainage of the site.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- No additional comments.
- Recommend approval.

4. Planned Unit Development – Cobblestone Builders – Preliminary Plat

Building Inspection

- Layout of lots, streets and proposed setbacks appear to be fine.
- Since there will be no storm sewer, the Inspection Department would like to see all sump pumps discharge directly to a swale that takes the clear water to the drainage easements.
- There was no subdivision sign with this submittal. All future signage shall require Plan Commission and Village Board approvals. This can be submitted at a future date.
- Recommend approval

Public Works/Engineering

- The Developer shall provide the Village with the proposed street names.
- The Developer shall provide the Village page two of the Preliminary Plat which is the signing page.

Police Department

- No comments.

STAFF REVIEW COMMENTS
Plan Commission Meeting – Meeting April 26, 2018

Fire Department

- No comments.

Administrative/Planning

- No additional comments.

5. Cobblestone Builders – Developer Agreement

Building Inspection

- No comments.

Public Works/Engineering

- Staff is working on a draft document along with reviewing the engineering design for the development. The Developer Agreement may not be ready for the meeting for review.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- No additional comments.