

AGENDA
BOARD OF PUBLIC WORKS MEETING
Tuesday, February 26, 2019 at 7:00 p.m.
Jackson Village Hall
N168W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call.
2. Approval of the Board of Public Works minutes of January 29, 2019.
3. STH 60 Path – Coffeerville to Eagle Drive – Update.
4. Review of quotes for Well #6 Inspection.
5. Laurel Springs Subdivision Addition 1 - Phasing Proposal.
6. Discussion on creating a yard waste and drop-off site.
7. Discussion of Village Informational Signs.
8. Director of Public Works Report.
9. Citizens/Village Staff to address the Board.
10. Adjourn.

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

DRAFT Minutes
Board of Public Works Meeting
Tuesday, January 29, 2019 at 7:00 p.m.
Jackson Village Hall
N168W20733 Main Street

1. Call to Order and Roll Call.

Chair Olson called the meeting to order at 7:00 p.m.

Members present: Brian Heckendorf, Dan Leonard, Tr. Lippold, Tr. Malcolm, Gloria Teifke and Scott Thielmann.

Also present: Tr. Kurtz.

Staff present: Brian Kober, John Walther and Jilline Dobratz.

2. Approval of the Board of Public Works Minutes of November 27, 2018.

Motion by Scott Thielmann, second by Brian Heckendorf to approve the Board of Public Works minutes of November 27, 2018.

Vote: 5 ayes, 0 nays. Motion carried.

Members Tr. Lippold and Gloria Teifke arrived at 7:02 p.m. after Item #2.

3. Review of Proposal from City Water for Water Expansion Area Evaluation Study.

Brian Kober went over the proposal from City Water and explained the map showing the water system for the Village. Proposal is for Professional Services to evaluate the water system in the water expansion area in the Town of Jackson. The Scope of Services include; update the annual water produced and sold since the Utility master plan completed in 2016, work with staff to identify potential projects, assign customer classification and density for proposed projects, develop future population projections and calculate future water demands, assign an average day, maximum day and hour demand for each development, add future water demand projections and water main extensions into the existing water model to identify the future fire flow, average day, maximum day and hour water demands, the demand analysis will develop a summary report with recommendations for the Utility's water supply and distribution system expansion. John Walther indicated the study includes the limited water service area in the town. Chair Olson inquired on the Scope of Services. Brian Kober explained we want to look at the proposed demand of Laurel Springs, Maplewood Farms, TIF #6, Public Safety Building and any additional developments for future projects. We will use the information for a new water impact fee study, which will be a different proposal. Motion by Chair Olson, second by Scott Thielmann to recommend to Budget & Finance and Village Board to approve the Proposal from City Water for Water Expansion Area Evaluation Study for the amount not to exceed \$4,000.00 and an additional 3 meetings. Chair Olson would like to review a preliminary report before the presentation. Brian Kober stated the presentation with a preliminary report will go before this committee and the final written report will go to Village Board for approval.

Vote: 7 ayes, 0 nays. Motion carried.

4. Review of Purchase for Utility Mower Replacement.

Brian Kober reviewed the memo to replace the 2009 diesel Toro mower. Only one bid since we are pleased with the functioning of the Exmark purchased last year, the quote is \$55.00 lower, includes an extra set of blades and \$13,000 has been budgeted. Motion by Brian Heckendorf, second by Tr. Lippold to recommend Budget & Finance and Village Board approval of the Purchase of the Exmark Utility Mower not to exceed \$12,390.00.

Vote: 7 ayes, 0 nays. Motion carried.

5. Resolution #19-03 – Accepting Sewer and Water Cobblestone Meadows.

Brian Kober showed the 22 lot single family development on the map. The sewer and water has been installed; storm, streets and street lighting are private. Recommends accepting Sanitary Sewer and Water per village specifications.

Motion by Chair Olson, second by Tr. Lippold recommends the Village Board adopts Resolution #19-03 – Accepting Sewer and Water Cobblestone Meadows.

Vote: 7 ayes, 0 nays. Motion carried.

6. Discussion on Creating a Yard Waste and Drop-Off Site.

Brian Kober stated next month he will have more information.

Motion by Chair Olson, second by Tr. Lippold to refer the Discussion on Creating a Yard Waste and Drop-Off Site to the February meeting.

Vote: 7 ayes, 0 nays. Motion carried.

7. Discussion of Village Informational Signs.

Brian Kober explained the map with areas of the sign placement in the Village. The signs would be on the main corridor of Highway 60. Discussion on what wording would be on the signs. Tr. Lippold inquired on maintaining the signs as the Village changes. John Walther stated the signs could be added onto at the bottom.

8. Director of Public Works report.

Brian Kober gave the report.

Motion by Scott Thielmann, second by Tr. Lippold to place the Director of Public Works report on file.

Vote: 7 ayes, 0 nays. Motion carried.

9. Citizens/Village Staff to Address the Board.

John Walther reported the closing of the School District sale and Schmahl property purchase took place last Thursday morning. The agreements with Cedar Corp for the engineering of Spruce Street and Ridgeway Drive and site development were signed.

Brian Kober reported garbage and recycling is delayed due to weather.

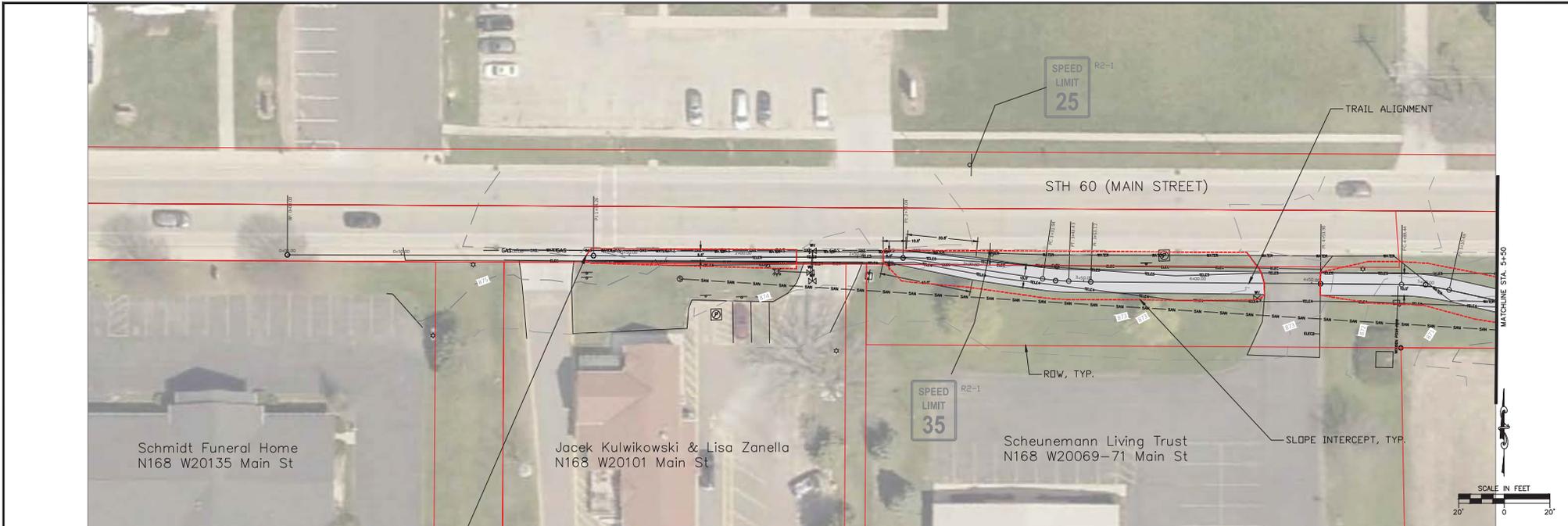
10. Adjourn.

Motion by Tr. Lippold by, second by Tr. Malcolm to adjourn.

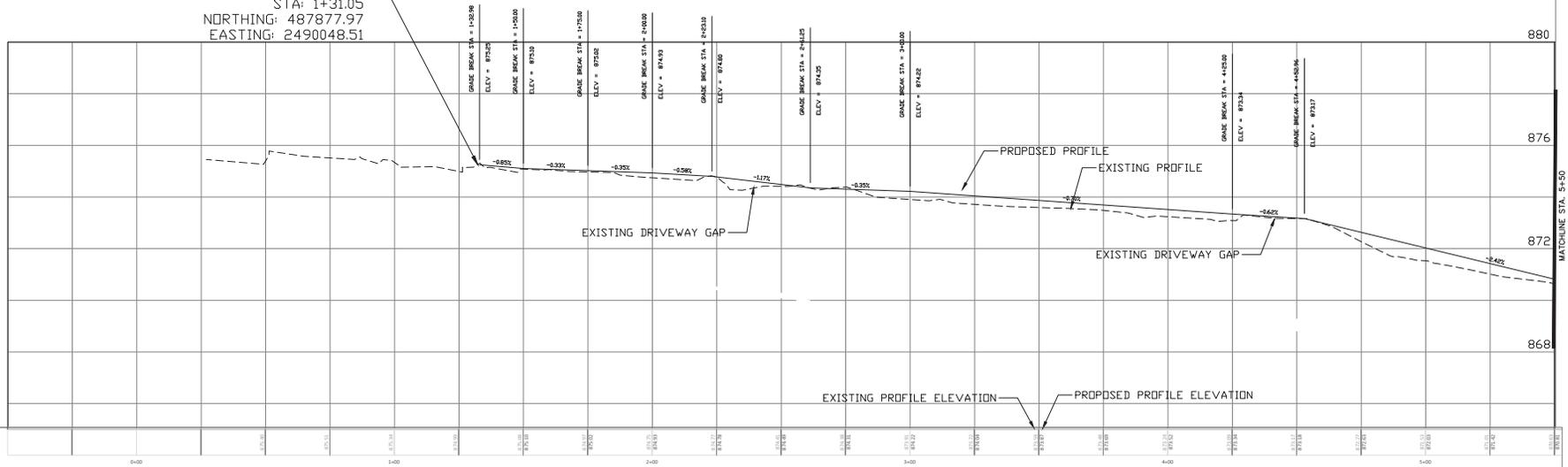
Vote: 7 ayes, 0 nays. Meeting was adjourned 7:31 p.m.

Respectfully submitted,

Jilline Dobratz, *CMC/WCMC*
Village Clerk/Treasurer



BEGIN PROJECT
 STA: 1+31.05
 NORTHING: 487877.97
 EASTING: 2490048.51



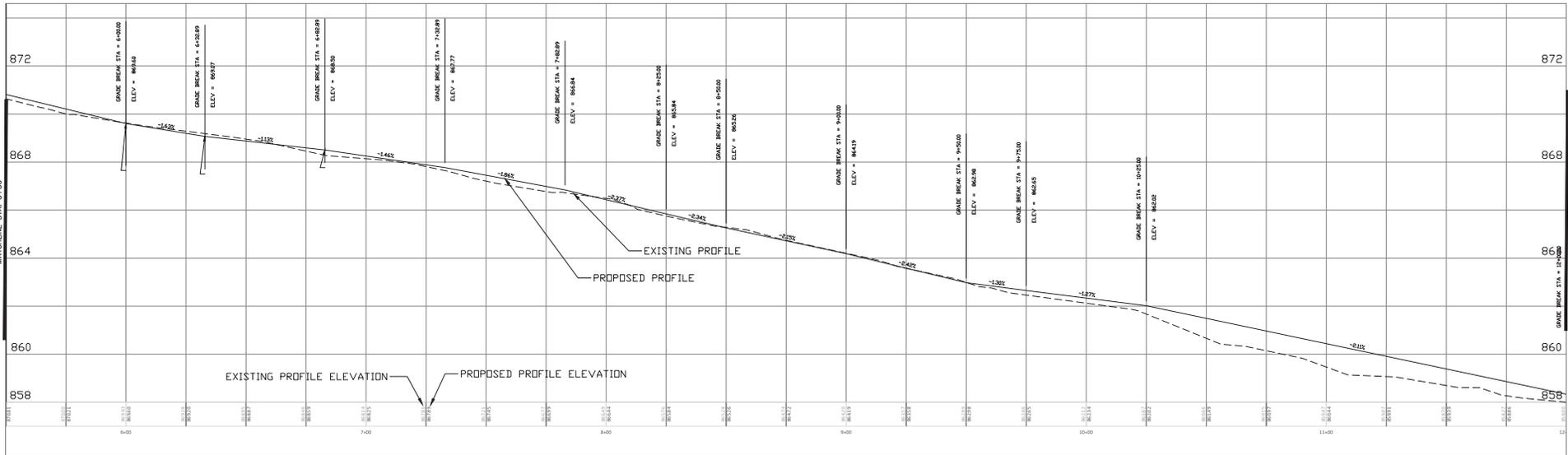
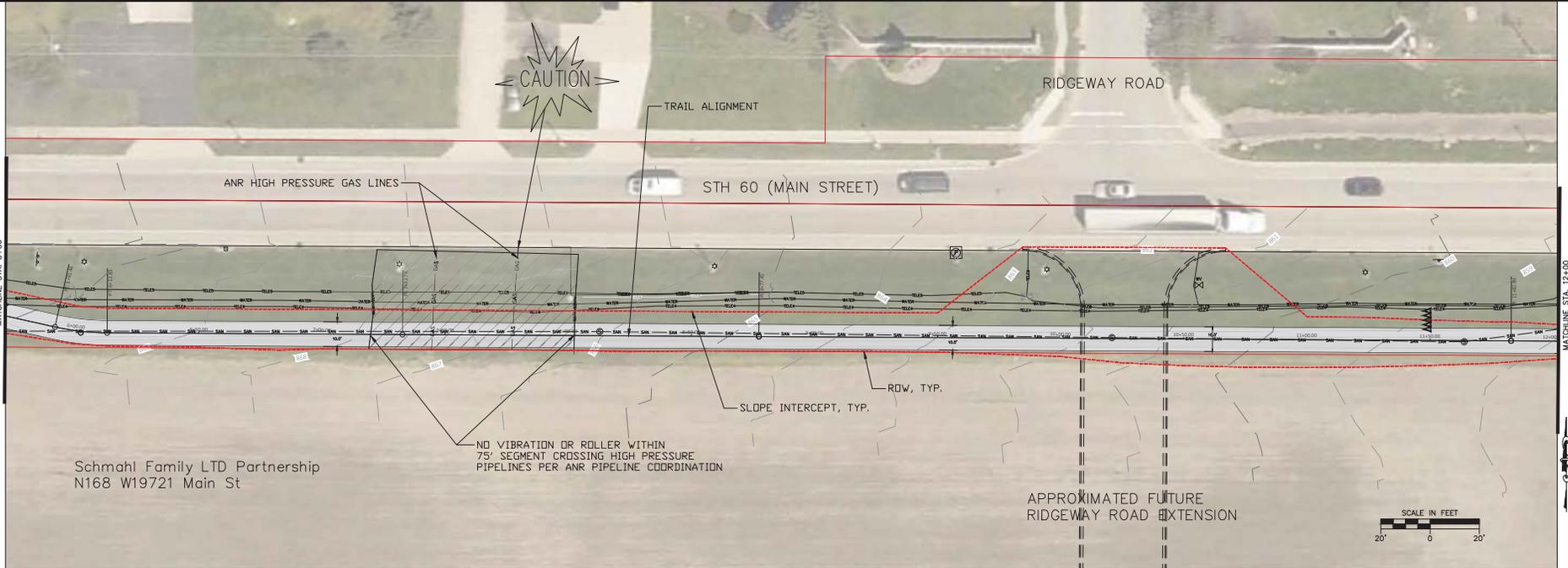
REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	ISSUANCE TYPE
				JLH	90% PLANS
				CAT / JLH	
				APPROVED BY	
				JLH	
				DATE	
		2/15/2019		DATE	2/22/2019

PROPOSED PLAN & PROFILE
COFFEE CONNECTION TRAIL
 VILLAGE OF JACKSON DPW
 VILLAGE OF JACKSON, WI

STAMP



KEY PROJECT NUMBER	1807-0203
PROJECT SCALE	1" = 20'
SHEET NUMBER	C-6



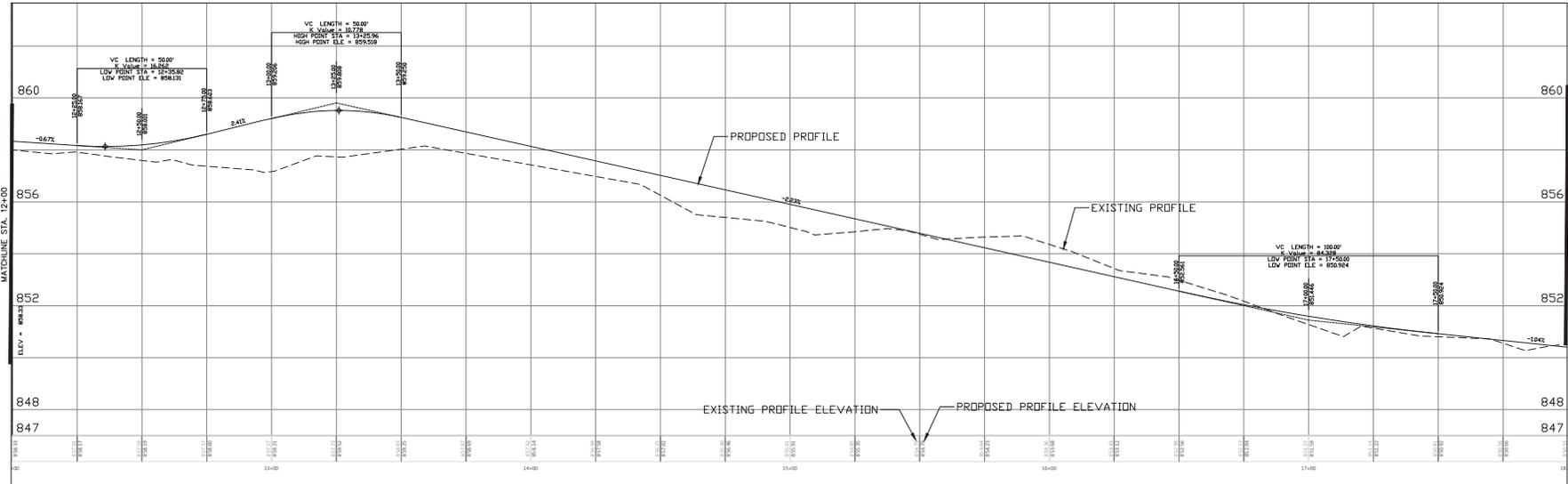
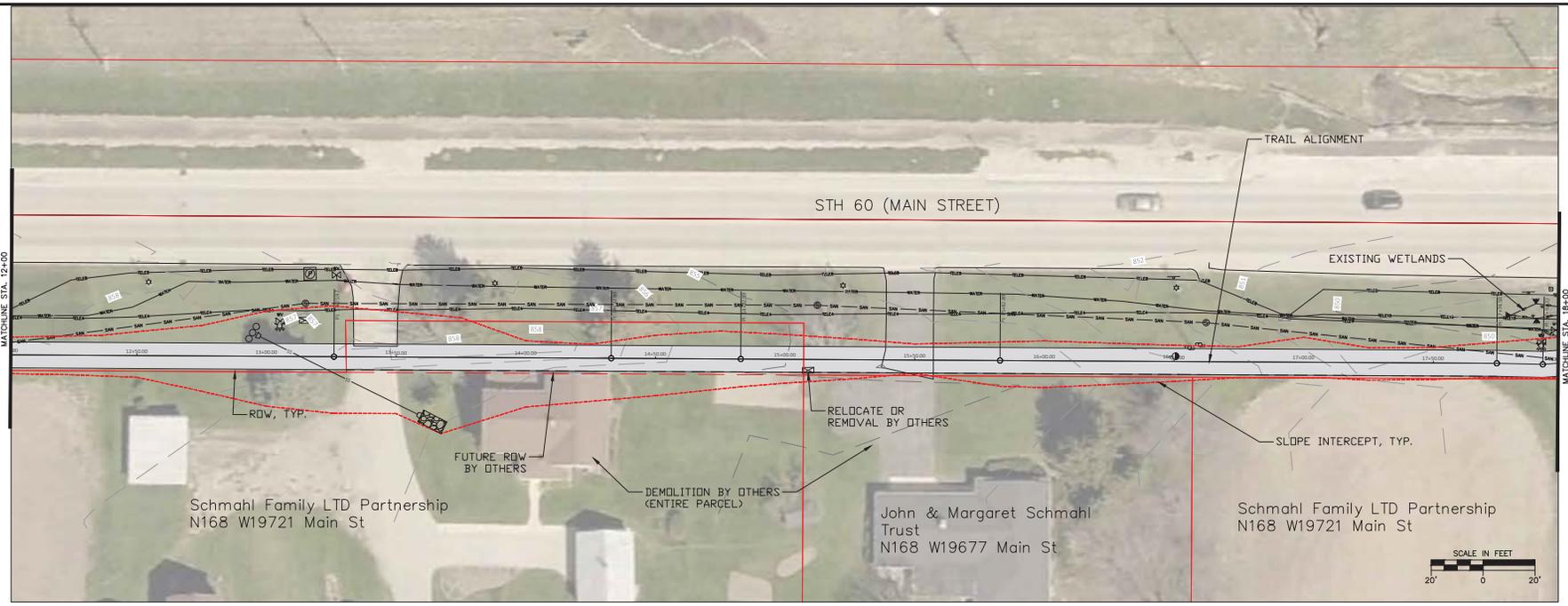
REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	ISSUANCE TYPE
				JLH	90% PLANS
				CAT / JLH	
				APPROVED BY	
				JLH	
				DATE	
		2/15/2019		DATE	2/22/2019

**PROPOSED PLAN & PROFILE
COFFEE CONNECTION TRAIL
VILLAGE OF JACKSON DPW
VILLAGE OF JACKSON, WI**

STAMP



KEY PROJECT NUMBER	1807-0203
PROJECT SCALE	1" = 20'
SHEET NUMBER	C-7



REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	ISSUANCE TYPE
				JLH	30% PLANS
				CAT / JLH	
				APPROVED BY	
				JLH	
				DATE	
				2/15/2019	2/22/2019

PROPOSED PLAN & PROFILE
COFFEE CONNECTION TRAIL
VILLAGE OF JACKSON DPW
VILLAGE OF JACKSON, WI

STAMP

KEY PROJECT NUMBER
 1807-0203
 PROJECT SCALE
 1" = 20'
 SHEET NUMBER
C-8

Key Engineering Group, Jackson, Wisconsin Office Connection Trail Plan Set 4

Memo

To: Brian Kober
From: Dan Rathke
CC: Jeff Deitsch
Date: 2/20/2019
Re: Well #6 inspection

I have received 3 bids to remove and inspect well #6

<u>Contactor</u>	<u>Quote</u>
Water Well Solutions	\$9550.00
CTW Corporation	\$9780.00
Municipal Well and Pump	\$10,753.00

I would like to proceed with Water Well Solutions with the bid of \$9550.00. The work scope is detailed as follows:

Step #1: Mobilize pump Service Rig and two-man crew. Perform the complete removal of the vertical turbine pump and measure in to determine current total well depth.
Lump Sum \$1,750.00

Step #2: Clean all equipment and inspect. Provide report to owner detailing findings including any additional repair recommendations along with associated prices. Adder for Optional downhole video of the well with dual axis color camera
Lump Sum \$350.00

Step #3: Remove old shaft sleeves from line shafts. Clean shafts and measure run-out of each shaft. Flame straighten all line shafts. Clean shaft centering spiders, furnish and install all new stainless-steel line shaft sleeves. Remove and replace all rubber line shaft bearings. Rebuild stuffing box and clean / paint discharge head
Lump Sum \$2,500.00

Step #4: Rebuild 8-stage CI bowl assembly to include cleaning, removal of wear rings and bearings, installation of new bearings and wear rings, check and flame straighten impeller shaft and re-assemble.
Lump Sum \$2,200.00

Step #5: Perform the complete reinstallation of the vertical turbine pumping equipment including a short performance test while pumping to waste to record the well and pump hydraulic characteristics. Clean up the job site and demobilize.
Lump Sum \$2,750.00

Dan Rathke

Water Utility Supervisor



Water Well Solutions

February 19th, 2019

Jackson Water Department
N168 W20733 Main Street
Jackson, WI 53037
Attn: Dan Rathke

Re: Well #6 Maintenance pull

Dear Dan:

Per your request, we are providing the following proposal for the removal and inspection of the pumping equipment at Well #6. The records you provided indicate that the pump in Well 6 was installed in 2009 to a depth of 120ft on 6" x 1 1/2" water lubricated column assembly. Below is a step by step description of the requested procedure along with the associated costs. I have included routine repair materials/procedures such as rubber bearing replacement and new shaft sleeves.

Step #1: Mobilize pump Service Rig and two-man crew. Perform the complete removal of the vertical turbine pump and measure in to determine current total well depth.

Lump Sum \$1,750.00

Step #2: Clean all equipment and inspect. Provide report to owner detailing findings including any additional repair recommendations along with associated prices.

Adder for Optional downhole video of the well with dual axis color camera
Lump Sum \$350.00

Step #3: Remove old shaft sleeves from line shafts. Clean shafts and measure run-out of each shaft. Flame straighten all line shafts. Clean shaft centering spiders, furnish and install all new stainless-steel line shaft sleeves. Remove and replace all rubber line shaft bearings. Rebuild stuffing box and clean / paint discharge head

Lump Sum \$2,500.00

Step #4: Rebuild 8-stage CI bowl assembly to include cleaning, removal of wear rings and bearings, installation of new bearings and wear rings, check and flame straighten impeller shaft and re-assemble.

Lump Sum \$2,200.00

Step #5: Perform the complete reinstallation of the vertical turbine pumping equipment including a short performance test while pumping to waste to record the well and pump hydraulic characteristics. Clean up the job site and demobilize.

Lump Sum \$2,750.00

Dan, please note that we have included a bit more than you had originally asked for in the original RFQ from back in June of last year. In step 3 we included labor to knock off old ss sleeves, wire wheel each shaft, flame straighten each shaft and furnish /install new stainless-steel shaft sleeves. We also included cleaning / painting discharge head.

Should you have any further questions, please feel free to contact our office at your convenience.

Sincerely,

Peter Bennin

Peter Bennin
Project Manager
Advanced Solutions

Office : +1 (920) 474-4777 ext. 216
Mobile : +1 (262) 269-8755



Water Well Solutions Service Group, Inc.
N87W36051 Mapleton Street
Oconomowoc, WI 53066
www.utilityservice.com



February 11, 2019

Dan Rathke- via email
Village of Jackson

RE: Well #6 Routine Maintenance

Dear Mr. Rathke:

Thank you for the opportunity to provide a quote for performing routine maintenance on the well pump at Well #6. We understand that the existing pump is a Layne-Northwest 9THC- 8 stage set at 120 feet.

CTW proposes to complete the following work:

- Mobilize to the site and remove the motor and pump
- Provide a written summary of the condition of the pumping system components including any recommended work
- Rebuild the existing pump bowl assembly
- Install new lineshaft bearings
- Rebuild the stuffing box and install a new airline
- Return to the site, install the pump and new airline, disinfect the well, start up and flush to waste, take bacteriological sample, and conduct start-up testing

The cost to perform the above work is \$9,780.

If you have any questions regarding this proposal or would like us to get the work on our schedule, please contact me at sarah.nunn@ctwcorporation.com or (414)308-0024.

Sincerely,

Sarah J. Nunn, PE

Sarah Nunn, PE
Operations Manager



MUNICIPAL
WELL & PUMP

Project Proposal

Re: Jackson #6 - Inspection & Repair

Item #	Item Description	Quantity	Units	Unit Price	Extended Price
1	Job Crew, Pull & Inspect VTP	1	EA	10,753.00	\$ 10,753.00
2	Provide Report and Recommendation			-	-
3	Rebld bowl asly, new rings & bushings			-	-
4	Remove and replace column bearings			-	-
5	Rebuild stuffing box			-	-
6	Provide video inspection ,report/DVD			-	-
7	Disinfect, Reinstall repaired pump			-	-
8	Run Performance test, collect bacti			-	-
9	Clean-up & Demob crew and equip			-	-
10	Provide updated pump record/reports			-	-
11				-	-
12				-	-
13				-	-
14				-	-
15	Notes & OPTIONS:			-	-
16	- Replace ss head-shaft , \$255	1	EA	-	-
17	- replace airlines(dual), \$1/Ft	120	FT	-	-
18	- service center inspection of motor	1	EA	-	-
19	N/C			-	-
20	- Remove & Replace motor oil, \$47	1	EA	-	-
21	- Other parts , TBD, if appl		TBD	-	-
22	- includes checking and straightening			-	-
23	, cleaning shafts			-	-
24				-	-
25				-	-
26				-	-
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28				-	-
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43				-	-
44				-	-
45				-	-
46				-	-
47				-	-
48				-	-
Total Project Proposal					10,753.00

Dated: January 30, 2019

By: Tracy Greenfield

Tracy Greenfield
Senior Project Manager
Municipal Well & Pump

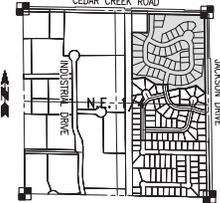
LAUREL SPRINGS ADDITION NO. 1

BEING A REDIVISION OF LOTS 9-46, LOTS 60-68, OUTLOTS 1-4 AND DISCONTINUED ROADS BY RESOLUTION DOC. NO. _____ DATED _____ BEING A PART OF LAUREL SPRINGS SUBDIVISION, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

OWNER:
BIELINSKI HOMES, INC.
1830 MEADOW LN. SUITE A
PEWAUKEE, WISCONSIN 53072
PHONE: (262) 548-5570

N. 1/4 CORNER,
SEC. 18-10-20
WIS. STATE PLANE COORD.
SYSTEM - SOUTH ZONE
FOUND CONC. MON. W/ BRASS CAP
N 483.223.50 E 2.486.382.25

N.E. CORNER,
SEC. 18-10-20
WIS. STATE PLANE COORD.
SYSTEM - SOUTH ZONE
FOUND CONC. MON. W/ BRASS CAP
N 483.175.09 E 2.489.013.57



LOCALITY MAP:
N.E. 1/4, SEC. 18, T. 10 N., R. 20 E.
SCALE: 1"=1000'

SCALE: 1" = 60'
0 60 120

GENERAL NOTES:

- Indicates Set 1.270" outside diameter x 18" long Reinforcing Bar weighing 4.303 lbs. per lineal foot. All other Lot and Outlot corners are staked with 0.750" outside diameter x 18" long Reinforcing Bar weighing 1.502 lbs. per lineal foot.
- All linear measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest second and computed to the nearest half-second.
- All bearings are referenced to the grid north of the Wisconsin State Plane Coordinate System (NAD 1927 datum) - South Zone, in which the East line of the N.E. 1/4 of Section 18, T. 10 N., R. 20 E. is taken to bear North 00°46'47" West.
- The Public Storm Sewer and Drainage Easements, Public Watermain Easement and Public Sanitary Sewer Easement are herein granted to the Village of Jackson.
- The "Laurel Springs" Subdivision Home Owners Association shall own all Outlots in this Subdivision. Washington County shall not be liable for fees or special charges in the event they become the owner of any Lot or Outlot in the Subdivision by reason of tax delinquency.
- Stormwater Management Facilities are located on Outlots 5, 6 and 9 of this Subdivision. The "Laurel Springs" Subdivision Home Owners Association shall be liable for the cost to repair, maintain or restore said Stormwater Management Facilities within this Subdivision. Said repairs, maintenance and restoration shall be performed by the "Laurel Springs" Subdivision Home Owners Association.
- Outlot 7 contains open space.
- Outlot 8 contains open space and a Wetland Preservation Area.
- Wetland Preservation Areas shown on Outlots 5, 6 and 8 were field delineated by TRC and reference in their January 12, 2017 report and were field located by Tiro Engineering, LLC on October 7, 2016.
- Lots 107 thru 111, Lot 119 and Outlots 5, 6 and 9 are hereby restricted so that no owner, possessor, user, licensee or other person may have any right of direct vehicular ingress from or egress to any land lying within the right-of-way of "Jackson Drive" and "Cedar Creek Road"; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to s.236.293 of the Wisconsin Statutes and shall be enforced by the Village of Jackson.

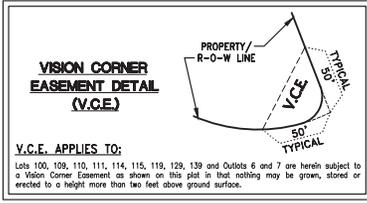
EASEMENT LEGEND:

- (A)** - 20' WIDE (UNLESS OTHERWISE NOTED) PUBLIC STORM SEWER AND DRAINAGE EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)
- (B)** - 20' WIDE PUBLIC WATERMAIN EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)
- (C)** - 20' WIDE PUBLIC SANITARY SEWER EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)

ZONING DATA:

LOT-CORNER - "7x5" (PUB)
Minimum Lot Area = 8,000 S.F.
Minimum Building Setbacks:

- Front Setback/Street 25 ft.
- Front/Collector Street 30 ft.
- Side Yard 8 ft.
- Rear Yard 25 ft.



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 2016

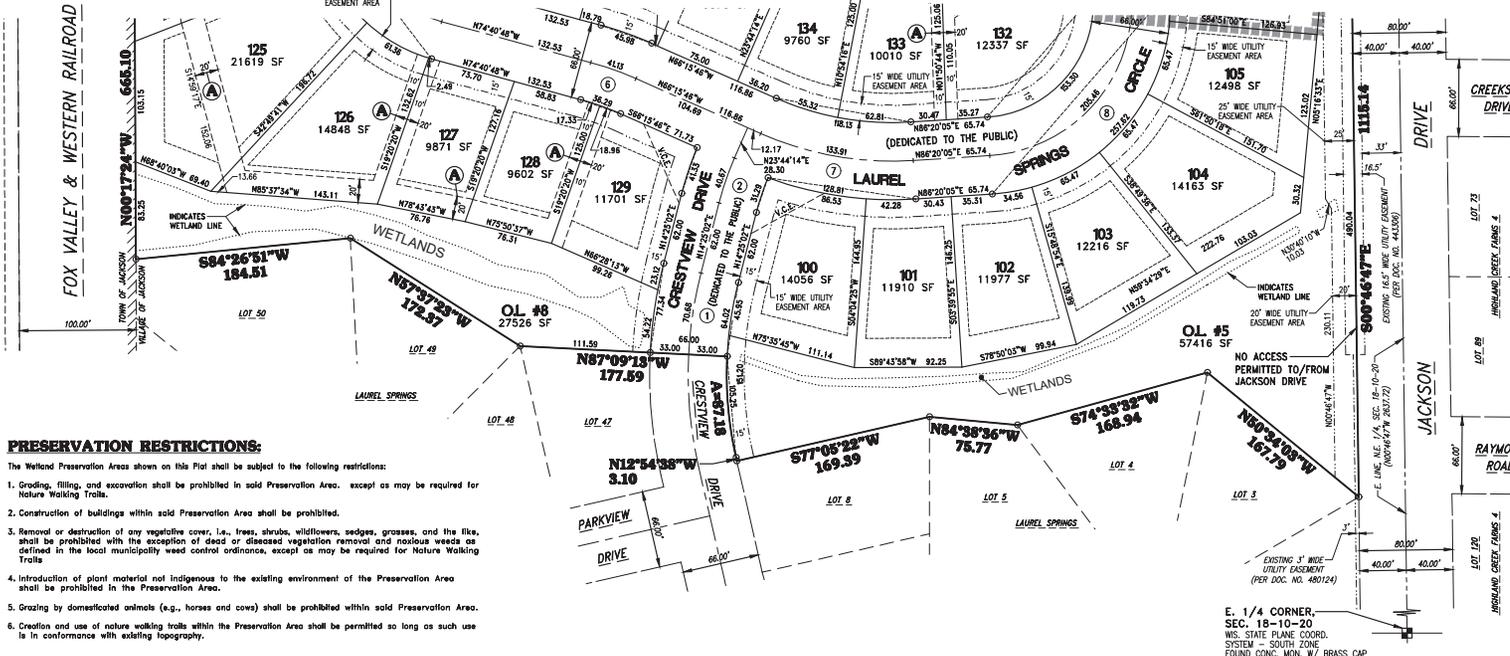
Department of Administration

E. 1/4 CORNER,
SEC. 18-10-20
WIS. STATE PLANE COORD.
SYSTEM - SOUTH ZONE
FOUND CONC. MON. W/ BRASS CAP
N 480.537.29 E 2.485.049.48

REVISED THIS 4TH DAY OF JANUARY, 2019
REVISED THIS 13TH DAY OF AUGUST, 2018
DATED THIS 8TH DAY OF JUNE, 2018

LAUREL SPRINGS ADDITION NO. 1

BEING A REDIVISION OF LOTS 9-46, LOTS 60-68, OUTLOTS 1-4 AND DISCONTINUED ROADS BY RESOLUTION DOC. NO. _____ DATED _____ BEING A PART OF LAUREL SPRINGS SUBDIVISION, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.



12660 W. North Avenue
Building "D"
Brookfield, WI 53005
Phone 608-795-1000
Fax 608-795-0005

SCALE: 1" = 60'
0 60 120

PRESERVATION RESTRICTIONS:

- The Wetland Preservation Areas shown on this Plat shall be subject to the following restrictions:
- Grading, filling, and excavation shall be prohibited in said Preservation Area, except as may be required for Nature Walking Trails.
 - Construction of buildings within said Preservation Area shall be prohibited.
 - Removal or destruction of any vegetative cover, i.e., trees, shrubs, wildflowers, sedges, grasses, and the like, shall be prohibited with the exception of dead or diseased vegetation removal and noxious weeds as defined in the local municipality weed control ordinance, except as may be required for Nature Walking Trails.
 - Introduction of plant material not indigenous to the existing environment of the Preservation Area shall be prohibited in the Preservation Area.
 - Grazing by domesticated animals (e.g., horses and cows) shall be prohibited within said Preservation Area.
 - Creation and use of nature walking trails within the Preservation Area shall be permitted so long as such use is in conformance with existing topography.

EASEMENT LEGEND:

- (A)** - 20' WIDE (UNLESS OTHERWISE NOTED) PUBLIC STORM SEWER AND DRAINAGE EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)
- (B)** - 20' WIDE PUBLIC WATERMAIN EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)
- (C)** - 20' WIDE PUBLIC SANITARY SEWER EASEMENT (GRANTED TO THE VILLAGE OF JACKSON)

CURVE TABLE:

NO.	LOT(S)	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
1	C/L	350.00	113°41'4"	70.68	70.68	S08°37'55"W	S14°25'02"W	S02°50'48"W
	EAST	317.00	27°19'40"	151.20	149.77	S00°45'12"W	S14°25'02"W	S12°54'38"E
	EXTERIOR	317.00	154°02'26"	87.18	86.91	S05°01'55"E	S02°50'48"W	S12°54'38"E
	R.O.W. EAST	317.00	113°41'4"	64.02	63.91	S08°37'55"W	S14°25'02"W	S02°50'48"W
	OUTLOT 1	317.00	19°01'23"	105.25	104.77	S03°25'56"E	S06°06'45"W	S12°54'38"E
	100	317.00	81°18'17"	45.95	45.91	S10°15'53.5"W	S14°25'02"W	S08°06'45"W
	WEST	383.00	113°41'4"	77.34	77.21	S08°37'55"W	S14°25'02"W	S02°50'48"W
	OUTLOT 4	383.00	8°06'43"	54.22	54.18	S06°54'09.5"W	S10°57'31"W	S02°50'48"W
	129	383.00	32°37'31"	23.12	23.12	S12°41'16.5"W	S14°25'02"W	S10°57'31"W
2	C/L	250.00	91°19'12"	40.67	40.62	S19°04'38"W	S23°44'14"W	S14°25'02"W
	EAST	217.00	81°15'42"	31.29	31.26	S18°32'53"W	S22°40'44"W	S14°25'02"W
	WEST	283.00	82°22'03"	41.33	41.29	S18°36'03.5"W	S22°47'05"W	S14°25'02"W
3	C/L	300.00	27°35'48"	144.50	143.10	N14°53'46"E	N08°41'40"E	N01°05'50"E
	EAST	333.00	25°48'20"	149.79	148.53	N13°59'02"E	N08°52'12"E	N01°05'50"E
	WEST	267.00	27°35'48"	126.60	127.38	N14°53'46"E	N08°41'40"E	N01°05'50"E
4	C/L	150.00	28°59'31"	75.90	75.90	S14°11'54.5"W	S28°41'40"W	S00°17°51"E
	EAST	117.00	28°59'31"	59.20	58.57	S14°11'54.5"W	S28°41'40"W	S00°17°51"E
	WEST	183.00	28°59'31"	92.60	91.61	S14°11'54.5"W	S28°41'40"W	S00°17°51"E
	120	183.00	0°08'30"	65.45	65.45	S28°37'25"W	S28°41'40"W	S28°37'10"W
	121	183.00	20°21'12"	60.01	64.67	S18°22'34"W	S28°31'01"W	S08°11'58"W
	122	183.00	8°29'49"	27.14	27.11	S03°57'03.5"W	S08°11'58"W	S00°17°51"E

CURVE TABLE: (Cont.)

NO.	LOT(S)	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
5	C/L	100.00	74°22'57"	129.82	120.90	S37°29'19.5"E	S00°17°51"E	S74°40'48"E
	NORTHEAST	67.00	74°22'57"	86.98	81.00	S37°29'19.5"E	S00°17°51"E	S74°40'48"E
	SOUTHWEST	133.00	74°22'57"	172.66	160.79	S37°29'19.5"E	S00°17°51"E	S74°40'48"E
	124	133.00	21°06'33"	49.00	48.72	S10°51'07.5"E	S00°17°51"E	S21°24'24"E
	125	133.00	29°45'50"	59.81	59.31	S34°17'21.5"E	S21°24'24"E	S47°10'19"E
	126	133.00	28°28'06"	61.36	60.82	S08°23'23"E	S47°10'19"E	S73°36'25"E
	127	133.00	1°04'23"	2.49	2.49	S74°08'36.5"E	S73°36'25"E	S74°40'48"E
6	C/L	280.00	8°25'02"	41.13	41.10	N70°28'17"W	N66°15'46"W	N74°40'48"W
	NORTH	313.00	8°25'02"	45.98	45.94	N70°28'17"W	N66°15'46"W	N74°40'48"W
	SOUTH	247.00	8°25'02"	36.29	36.25	N70°28'17"W	N66°15'46"W	N74°40'48"W
	128	247.00	4°01'08"	17.33	17.32	N72°40'14"W	N70°39'40"W	N74°40'48"W
	129	247.00	4°23'54"	18.96	18.96	N68°27'43"W	N66°15'46"W	N70°39'40"W
7	C/L	280.00	27°24'09"	133.91	132.64	S79°57'50.5"E	S66°15'46"E	N86°20'05"E
	NORTH	247.00	27°24'09"	118.13	117.01	S79°57'50.5"E	S66°15'46"E	N86°20'05"E
	134	247.00	12°49'58"	55.32	55.21	S72°40'48"E	S66°15'46"E	S79°05'44"E
	133	247.00	14°34'11"	62.61	62.64	S86°22'49.5"E	S79°05'44"E	N86°20'05"E
	SOUTH	313.00	23°34'46"	128.81	127.90	S81°52'32"E	S79°05'09"E	N86°20'05"E
	100	313.00	18°50'28"	86.53	86.26	S78°00'22"E	S79°05'09"E	S85°55'35"E
	101	313.00	7°44'20"	42.28	42.24	S80°47'43"E	S85°55'35"E	N86°20'05"E

CURVE TABLE: (Cont.)

NO.	LOT(S)	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
8	C/L	130.00	90°33'09"	205.46	184.73	N41°03'30.5"E	N86°20'05"E	N04°13'04"W
	NORTHWEST	97.00	90°33'09"	153.30	137.84	N41°03'30.5"E	N86°20'05"E	N04°13'04"W
	SOUTHWEST	163.00	90°33'09"	257.62	231.63	N41°03'30.5"E	N86°20'05"E	N04°13'04"W
	102	163.00	12°08'59"	34.56	34.50	N80°15'35.5"E	N86°20'05"E	N74°11'06"E
	103	163.00	23°00'42"	65.47	65.03	N82°40'40"E	N74°11'06"E	N61°10'24"E
	104	163.00	23°00'42"	65.47	65.03	N82°40'40"E	N61°10'24"E	N68°09'42"E
	105	163.00	23°00'42"	65.47	65.03	N16°39'21"E	N68°09'42"E	N05°09'00"E
	106	163.00	9°22'04"	26.65	26.62	N00°27'58"E	N05°09'00"E	N04°13'04"W
9	C/L	800.00	41°31'16"	58.94	58.92	S02°06'28"E	S00°00'12"W	S04°13'04"E
	EAST	767.00	41°31'16"	56.50	56.49	S02°06'28"E	S00°00'12"W	S04°13'04"E
	107	767.00	4°08'14"	55.38	55.37	S02°06'28"E	S00°00'12"W	S04°13'04"E
	108	767.00	0°05'02"	1.12	1.12	S00°02'19"E	S00°00'12"W	S00°04'50"E
	WEST	833.00	41°31'16"	61.37	61.35	S02°06'28"E	S00°00'12"W	S04°13'04"E
	131	833.00	1°01'20"	14.86	14.86	S03°42'24"E	S03°11'44"E	S04°13'04"E
	130	833.00	31°11'56"	46.51	46.50	S01°35'46"E	S00°00'12"W	S03°11'44"E
10	C/L	125.00	117°07'40"	255.53	213.31	N58°33'38"W	N00°00'12"E	S62°52'32"W
	C/L SOUTHWEST	125.00	61°37'53"	134.46	128.07	N30°48'44.5"W	N00°00'12"E	N61°37'41"W
	C/L NORTHWEST	125.00	55°29'47"	121.07	116.40	N89°22'34.5"W	N61°37'41"W	S82°52'32"W
	EAST 109+110	158.00	33°17'34"	91.81	90.55	N16°38'38"W	N00°00'12"E	N33°17'22"W
	109	158.00	18°53'20"	52.09	51.81	N09°28'26"W	N00°00'12"E	N18°53'08"W
	110	158.00	14°24'14"	39.72	39.62	N03°05'15"W	N18°53'08"W	N33°17'22"W
	NORTH 114+115	158.00	27°09'27"	74.89	74.19	S76°27'15.5"W	N89°58'01"W	S62°52'32"W
	114	158.00	17°07'01"	47.20	47.03	S81°28'28.5"W	N89°58'01"W	S72°54'58"W
	115	158.00	10°02'26"	27.69	27.65	S67°53'45"W	S72°54'58"W	S62°52'32"W
	SOUTHWEST	92.00	117°07'40"	188.07	156.99	N58°33'38"W	N00°00'12"E	S62°52'32"W

CURVE TABLE: (Cont.)

NO.	LOT(S)	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT	
11	TOTAL	75.00	180°00'00"	235.62	150.00	N61°37'41"W	N28°22'19"E	S28°22'19"W	
	110	75.00	2°09'44"	2.83	2.83	N27°17'27"E	N28°22'19"E	N26°12'35"E	
	111	75.00	60°27'30"	78.14	75.52	N04°01'10"W	N26°12'35"E	N34°14'56"W	
	OUTLOT 2	75.00	23°04'26"	30.20	30.00	N44°54'55"W	N34°14'56"W	N57°19'21"W	
	112	75.00	41°37'21"	54.49	53.29	N78°08'01.5"W	N57°19'21"W	S81°03'18"W	
	113	75.00	43°40'25"	57.17	55.79	S59°13'05.5"W	S81°03'18"W	S37°25'53"W	
	114	75.00	9°00'34"	11.79	11.78	S32°52'36"W	S37°25'53"W	S28°22'19"W	
	12	C/L	200.00	55°49'08"	194.84	187.23	S89°12'54"E	S61°18'20"E	N62°52'32"E
	NORTH	167.00	55°49'08"	162.89	156.34	S89°12'54"E	S61°18'20"E	N62°52'32"E	
	117	167.00	34°18'13"	99.88	98.40	N80°00'38.5"E	S82°51'15"E	N62°52'32"E	
	OUTLOT 2	167.00	21°32'56"	62.81	62.44	S72°04'47.5"E	S61°18'20"E	S82°51'15"E	
	SOUTH	233.00	55°49'08"	226.99	218.12	S89°12'54"E	S61°18'20"E	N62°52'32"E	
	143	233.00	22°00'07"	9.49	9.49	N64°02'32"E	N65°12'32"E	N62°52'32"E	
	142	233.00	17°09'53"	69.81	69.55	N73°47'30.5"E	N65°12'32"E	N65°12'32"E	
	141	233.00	16°29'26"	67.06	66.83	S89°22'48"E	S61°08'05"E	N82°22'29"E	
	140	233.00	17°05'30"	69.50	69.25	S72°35'20"E	S64°02'35"E	S81°08'05"E	
	139	233.00	244°15'	11.13	11.13	S62°40'27.5"E	S61°18'20"E	S64°02'35"E	

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



REVISED THIS 4TH DAY OF JANUARY, 2019
REVISED THIS 13TH DAY OF AUGUST, 2019
REVISED THIS 8TH DAY OF JUNE, 2018

THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, P.L.S. (S-2972)

LAUREL SPRINGS ADDITION NO. 1

BEING A REDIVISION OF LOTS 9-46, LOTS 60-68, OUTLOTS 1-4 AND DISCONTINUED ROADS BY RESOLUTION DOC. NO. _____, DATED _____, BEING A PART OF LAUREL SPRINGS SUBDIVISION, BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN)
) SS
COUNTY OF WAUKESHA)

I, Grady L. Gosser, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped a redivision of Lots 9-46, Lots 60-68, Outlots 1-4 and Discontinued Roads by Resolution Doc. No. _____, dated _____, being a part of "Laurel Springs" Subdivision, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 18, Town 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northeast corner of the said Section 18; Thence North 88°54'08" West and along the North line of the said Northeast 1/4 Section and the casteline of "Cedar Creek Road", 40.02 feet to a point; Thence South 00°46'47" East, 40.02 feet to a point where the North Right-of-Way line of said "Cedar Creek Road" meets the West Right-of-Way line of "Jackson Drive", said point being the place of beginning of lands hereinafter described;

Continuing thence South 00°46'47" East and along the said West Right-of-Way line being parallel to and at a right angle distance of 40.00 feet from the East line of the said Northeast 1/4 Section, 1115.14 feet to a point; Thence North 50°34'03" West and along the Northeast line of Lot 3 of said "Laurel Springs" Subdivision, 167.79 feet to a point; Thence South 74°33'32" West and along the North line of Lot 4 of said "Laurel Springs" Subdivision, 168.94 feet to a point; Thence North 84°38'36" West and along the North line of Lot 5 of said "Laurel Springs" Subdivision, 75.77 feet to a point; Thence South 77°05'22" West and along the North line of Lot 8 of said "Laurel Springs" Subdivision, 169.39 feet to a point on the East Right-of-Way line of "Crestview Drive"; Thence North 12°54'38" West and along the said East Right-of-Way line, 3.10 feet to a point of curvature; Thence Northwesterly 87.18 feet along the said East Right-of-Way line and the arc of a curve, whose center lies to the Northeast, whose radius is 317.00 feet, whose central angle is 15°45'26", and whose chord bears North 05°01'53" East, 86.81 feet to a point; Thence North 87°09'13" West and along the North line of Lot 47 of said "Laurel Springs" Subdivision and the Easterly extension thereof, 177.59 feet to a point; Thence North 57°37'23" West and along the Northeastery line of Lot 49 of said "Laurel Springs" Subdivision, 172.37 feet to a point; Thence South 84°26'51" West and along the North line of Lot 50 of said "Laurel Springs" Subdivision, 184.51 feet to a point on the East Right-of-Way line of the "Fox Valley & Western Railroad"; Thence North 00°17'24" West and along the said East Railroad Right-of-Way line, 665.10 feet to a point; Thence South 88°54'08" East and along the South line of Unplatted Lands, 223.59 feet to a point; Thence North 00°16'25" West and along the East line of said Unplatted Lands, 266.15 feet to a point on the said South Right-of-Way line of "Cedar Creek Road"; Thence South 88°54'08" East and along the said South Right-of-Way line being parallel to and at a right angle distance of 40.00 feet from the said North line of the said Northeast 1/4 Section, 813.96 feet to the point of beginning of this description.

Said Parcel contains 992,017 Square Feet (or 22,7736 Acres) of land, more or less.

That I have made such survey, land division and map by the direction of BIELINSKI HOMES, INC., owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Jackson in surveying, dividing and mapping the same.

Dated this _____ Day of _____, 20____.

Grady L. Gosser, P.L.S.
Professional Land Surveyor, S-2972
TRIO ENGINEERING, LLC
12660 W. North Avenue, Building "D"
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

UTILITY EASEMENT PROVISIONS:

An easement for electric, natural gas, and communications service is hereby granted by

BIELINSKI HOMES, INC., Grantor, to

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin corporation doing business as We Energies, Grantee,

WISCONSIN BELL, INC., d/b/a AT&T Wisconsin, a Wisconsin Corporation, Grantee, and

TIME WARNER ENTERTAINMENT COMPANY, L.P., Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantee's facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantee's. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantee.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

BIELINSKI HOMES, INC., a Corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said Corporation has caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. I also certify that this plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection.

APPROVING AGENCIES:

1. Village of Jackson

AGENCIES WHO MAY OBJECT:

1. State of Wisconsin, Department of Administration
2. Washington County Planning & Parks Commission

Witness the hand and seal of said Owner this _____ day of _____, 20____.

BIELINSKI HOMES, INC.

Frank Bielinski, Vice President

STATE OF WISCONSIN)
) SS
COUNTY OF _____)

Personally came before me this _____ day of _____, 20____, the above named Frank Bielinski, Vice President of the above named Corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such Vice President of said Corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Corporation, by its authority.

Print Name: _____
Public, _____ County, WI
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE:

OLD NATIONAL BANK, a Corporation duly organized and existing by virtue of the laws of the State of Wisconsin, Mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this Plat, and does hereby consent to the above certificate of BIELINSKI HOMES, INC., owner, this _____ day of _____, 20____.

OLD NATIONAL BANK

STATE OF WISCONSIN)
) SS
COUNTY OF _____)

Personally came before me this _____ day of _____, 20____, the above named _____ of the above named Corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ of said Corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Corporation, by its authority.

Print Name: _____
Public, _____ County, WI
My Commission Expires: _____

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)
) SS
COUNTY OF WASHINGTON)

I, Jane Merten, being duly elected, qualified and acting Treasurer of the County of Washington, do hereby certify that the records in my office show no unredemmed tax sales and no unpaid taxes or special assessments as of this _____ Day of _____, 20____ on any of the land included in the Plat of "LAUREL SPRINGS ADDITION NO. 1".

Dated this _____ Day of _____, 20____.

Jane Merten, County Treasurer

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)
) SS
COUNTY OF WASHINGTON)

I, Paula Winter, being duly appointed, qualified and acting Treasurer of the Village of Jackson, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this _____ Day of _____, 20____ on any of the land included in the Plat of "LAUREL SPRINGS ADDITION NO. 1".

Dated this _____ Day of _____, 20____.

Paula Winter, Deputy Treasurer

VILLAGE BOARD APPROVAL:

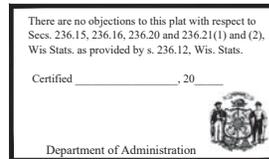
Resolved, that the plat of "LAUREL SPRINGS ADDITION NO. 1", in the Village of Jackson, having been recommended by the Plan Commission, and being the same, is hereby approved and the dedication herein accepted by the Village Board of Trustees of the Village of Jackson, on this _____ Day of _____, 20____.

Mike Schwab, Village President

John M. Walther, Village Administrator



12660 W. North Avenue
Building "D"
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481



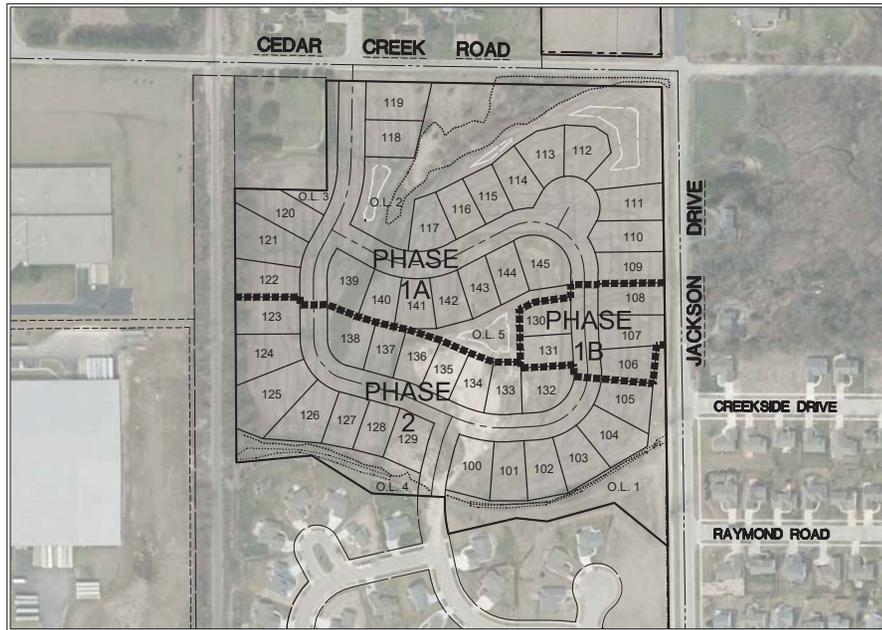
GENERAL NOTES

1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 -STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWC)
 -THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 -MNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 -MSOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 -VILLAGE OF JACKSON STANDARDS & REQUIREMENTS FOR DEVELOPMENT, LATEST EDITION.
2. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
4. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
6. EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
9. ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
10. ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
11. THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS AS REQUIRED BY MUNICIPAL ORDINANCE.
12. NOTIFY ENGINEER IF DRAIN TILE ARE ENCOUNTERED DURING SITE CONSTRUCTION. RECONNECT ANY BROKEN OR DAMAGED DRAIN TILE DURING CONSTRUCTION.

LAUREL SPRINGS ADDITION NO. 1

SINGLE FAMILY SUBDIVISION SITE DEVELOPMENT PLANS

VILLAGE OF JACKSON, WISCONSIN



SITE PLAN
SCALE: 1" = 150'

SHEET INDEX	
T1	- COVER SHEET
C1.00	- OVERALL GRADING PLAN
C1.01-C1.02	- MASTER GRADING & DRAINAGE PLANS
C1.03-C1.04	- POND DETAIL PLANS
C2.00	- EROSION CONTROL PLAN
C3.00	- OVERALL SANITARY SEWER & WATER MAIN SYSTEM PLAN
C3.01-C3.06	- SANITARY SEWER & WATER MAIN PLAN AND PROFILES
C3.05A	- RAILROAD CROSSING WATER MAIN PLAN AND PROFILE
C4.00	- OVERALL STORM SEWER SYSTEM PLAN
C4.01-C4.04	- ROADWAY & STORM SEWER PLAN AND PROFILES
C4.04-C4.07	- STORM SEWER PLAN AND PROFILES
C4.08	- ROADWAY GRADING AND PAVING PLANS
C5.00-C5.01	- INTERSECTION AND CUL-DE-SAC DETAIL PLANS
C6.00-C6.01	- CONSTRUCTION NOTES & DETAILS



LOCATION MAP
NOT TO SCALE

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



PROJECT:
LAUREL SPRINGS ADD. NO. 1
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
1630 MEADOW LN, SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY	
DATE	DESCRIPTION
02/28/2018	DETAIL SUBMITTAL
08/30/2018	FOR VILLAGE COMMENTS
08/16/2018	CONSTRUCTION PLANS
10/02/2018	PAV ROAD WATER CROSSING
01/04/2019	PHASE LIMITS

DATE:
JANUARY 4, 2019

JOB NUMBER:
16029

DESCRIPTION:
COVER SHEET

SHEET

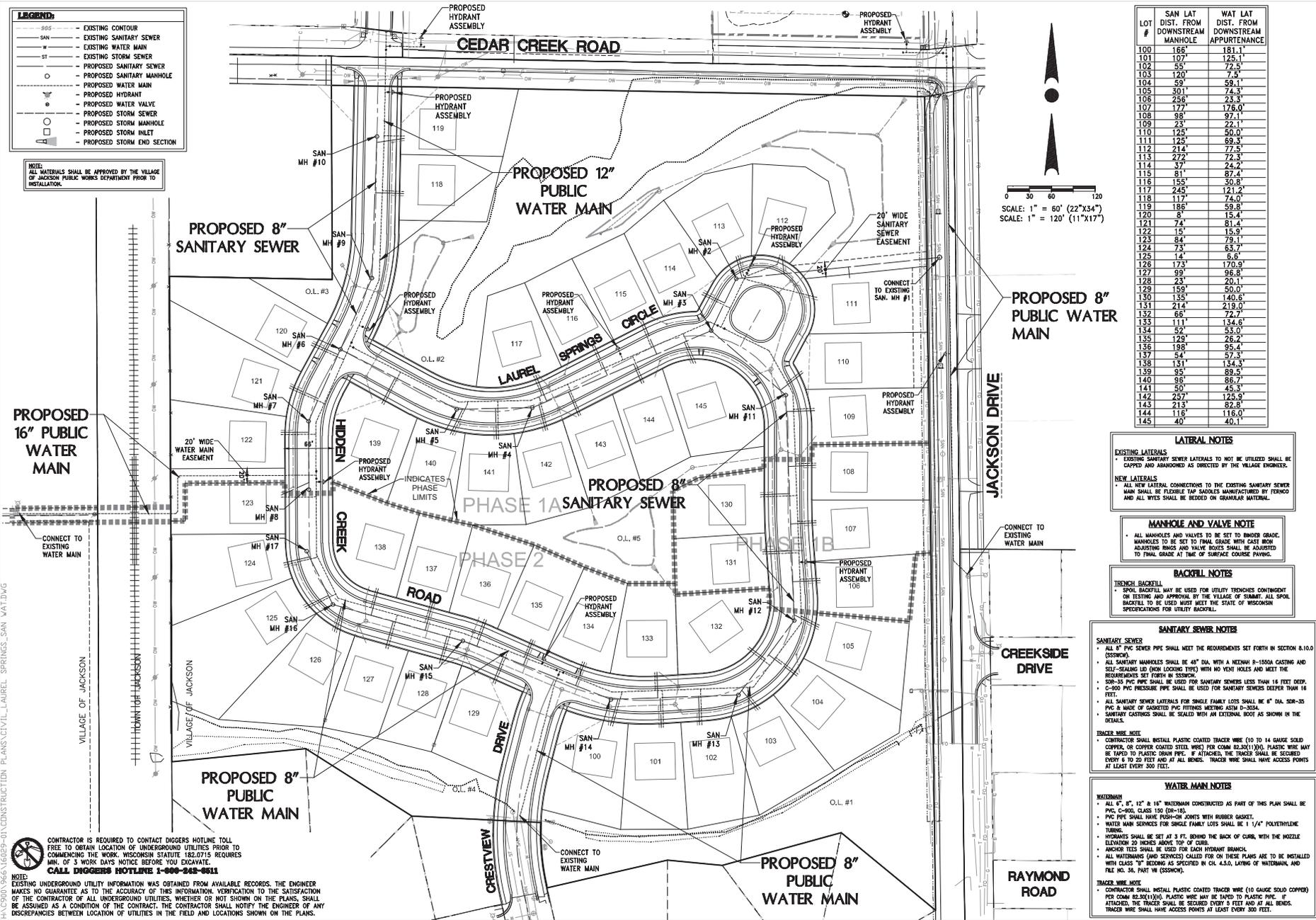
T1

H:\C900\1966\16029-01\CONSTRUCTION PLANS\CIVIL\LAUREL SPRINGS_COVER & DETAILS.DWG

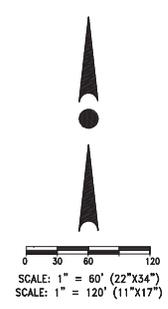
LEGEND:

---	EXISTING CONTOUR
---	EXISTING SANITARY SEWER
---	EXISTING WATER MAIN
---	EXISTING STORM SEWER
---	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
○	PROPOSED WATER MAIN
○	PROPOSED HYDRANT
○	PROPOSED WATER VALVE
○	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
○	PROPOSED STORM INLET
○	PROPOSED STORM END SECTION

NOTE: ALL MATERIALS SHALL BE APPROVED BY THE VILLAGE OF JACKSON PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.



LOT #	SAN DIST. FROM DOWNSTREAM MANHOLE	WAT LAT DIST. FROM DOWNSTREAM APPURTENANCE
100	166'	181.1'
101	107'	125.1'
102	55'	72.5'
103	120'	7.5'
104	59'	59.1'
105	301'	74.3'
106	258'	73.3'
107	177'	176.0'
108	98'	97.1'
109	23'	22.1'
110	125'	50.0'
111	125'	69.3'
112	214'	77.5'
113	272'	72.5'
114	37'	24.2'
115	81'	87.4'
116	155'	30.8'
117	245'	121.2'
118	119'	75.4'
119	186'	59.8'
120	8'	15.4'
121	74'	81.4'
122	15'	15.9'
123	84'	79.1'
124	73'	65.7'
125	14'	5.6'
126	173'	170.9'
127	99'	96.8'
128	23'	20.1'
129	155'	50.0'
130	135'	140.6'
131	214'	219.0'
132	66'	72.2'
133	111'	134.6'
134	52'	53.0'
135	129'	26.2'
136	198'	80.2'
137	54'	57.3'
138	131'	134.3'
139	95'	89.5'
140	95'	86.5'
141	50'	45.3'
142	257'	125.5'
143	213'	82.5'
144	115'	115.0'
145	40'	40.1'



LATERAL NOTES

EXISTING LATERALS

- EXISTING SANITARY SEWER LATERALS TO NOT BE UTILIZED SHALL BE CAPPED AND ABANDONED AS DIRECTED BY THE VILLAGE ENGINEER.

NEW LATERALS

- ALL NEW LATERAL CONNECTIONS TO THE EXISTING SANITARY SEWER MAIN SHALL BE FLEXIBLE TUBES MANUFACTURED BY FERROD AND ALL WEYS SHALL BE BEDDED ON GRANULAR MATERIAL.

MANHOLE AND VALVE NOTE

- ALL MANHOLES AND VALVES TO BE SET TO BROAD GRADE. MANHOLES TO BE SET TO FINAL GRADE WITH CAST IRON ADJUSTING RINGS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT TIME OF SURFACE COURSE PAVING.

BACKFILL NOTES

TRENCH BACKFILL

- SPOIL BACKFILL MAY BE USED FOR UTILITY TRENCHES CONTIGUOUS TO TESTING AND APPROVAL BY THE VILLAGE OF SUMMIT. ALL SPOIL BACKFILL TO BE USED MUST MEET THE STATE OF WISCONSIN SPECIFICATIONS FOR UTILITY BACKFILL.

SANITARY SEWER NOTES

SANITARY SEWER

- ALL 8" PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.1.0 (SSS/SHW).
- ALL SANITARY MANHOLES SHALL BE 48" DIA. WITH A NEEDHAM 8-1550A CASTING AND SELF-SEALING LID (OVER LOCKING TYPE) WITH NO VENT HOLES AND MEET THE REQUIREMENTS SET FORTH IN SECTION 8.1.0.
- 80R-35 PVC PIPE SHALL BE USED FOR SANITARY SEWERS LESS THAN 16 FEET DEEP.
- 8-300 PVC PRESSURE PIPE SHALL BE USED FOR SANITARY SEWERS DEEPER THAN 16 FEET.
- ALL SANITARY SEWER LATERALS FOR SINGLE FAMILY LOTS SHALL BE 8" DIA. 80R-35 PVC & MADE OF CASTED PVC FITTINGS MEETING ASTM D-3384.
- EXTERNAL CASTINGS SHALL BE SEALED WITH AN EXTERNAL BOOT AS SHOWN IN THE DETAILS.

TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER COM# 82-30(1)(1)(A). PLASTIC WIRE MAY BE TAPPED TO PLASTIC DRINK PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

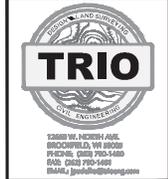
WATER MAIN NOTES

WATERMAIN

- ALL 6", 8", 12" & 18" WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC C-900, CLASS 150 (DN=18").
- PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
- WATER MAIN SERVICES FOR SINGLE FAMILY LOTS SHALL BE 1 1/4" POLYETHYLENE TEREPHTHALATE.
- HYDRANTS SHALL BE SET AT 3 FT. BEHIND THE BACK OF CURB, WITH THE HOZZLE ELEVATION 20 INCHES ABOVE TOP OF CURB.
- ANCHOR SHALL BE USED FOR EACH HYDRANT BRANCH.
- ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN C.E. 4.5.2. LAYING OF WATERMAIN AND FILE NO. 35, PART VIII (SSS/SHW).

TRACER WIRE NOTE

- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER COM# 82-30(1)(1)(A). PLASTIC WIRE MAY BE TAPPED TO PLASTIC DRINK PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.



PROJECT:
LAUREL SPRINGS ADD. NO. 1
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
BY: BIELINSKI HOMES
 1630 MEADOW LN, SUITE A
 PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
02/05/2018	INITIAL SUBMITTAL
02/05/2018	PER VILLAGE COMMENTS
02/05/2018	CONSTRUCTION PLANS
10/02/2018	FINAL ROAD WATER OVERFLOW
01/04/2019	PHASING LIMITS

DATE:
 JANUARY 4, 2019

JOB NUMBER:
 16029

DESCRIPTION:
 OVERALL
 SANITARY SEWER
 & WATER MAIN
 SYSTEM PLAN

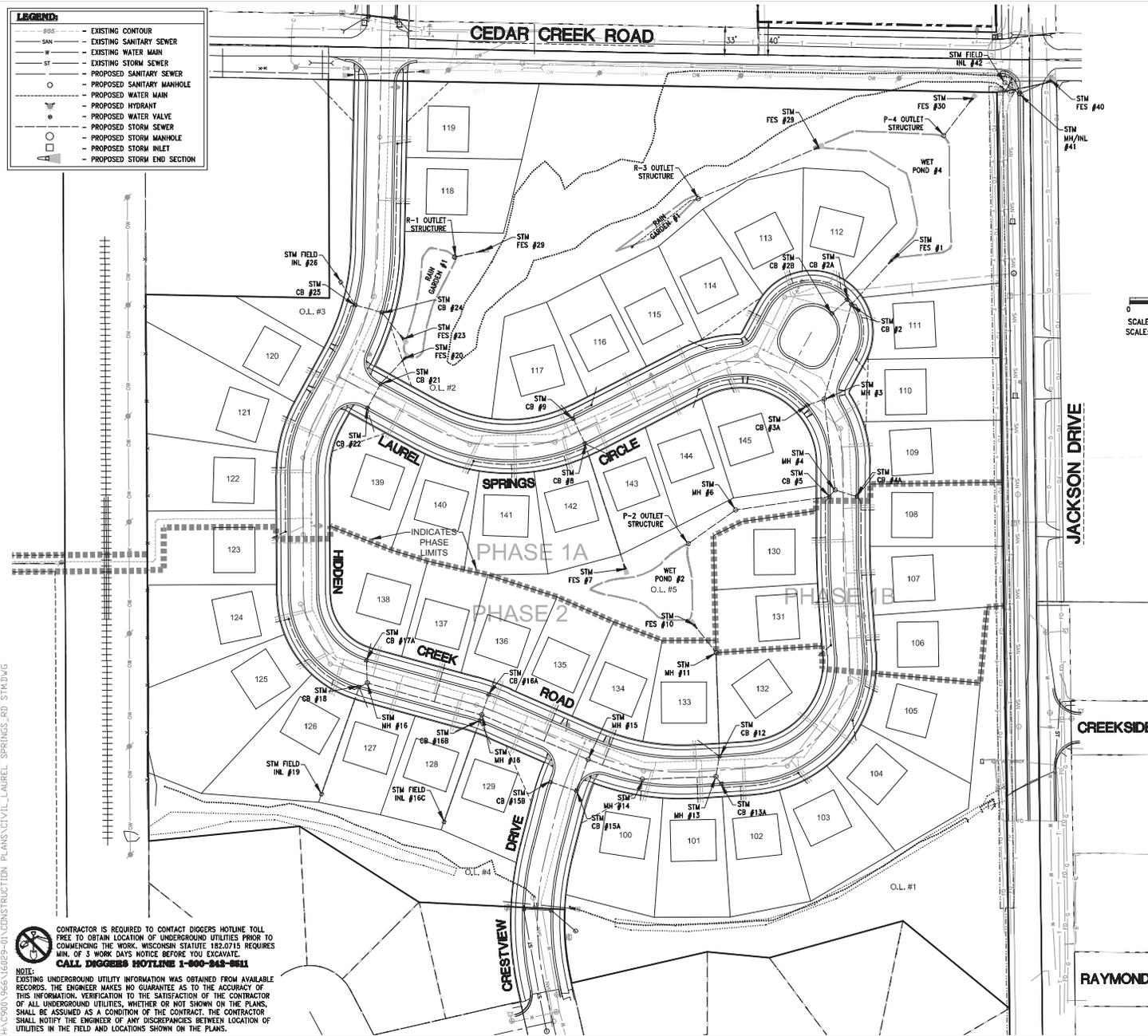
SHEET

C3.00

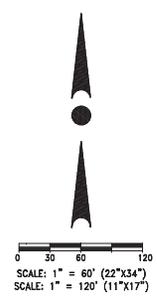
H:\C900\1946\16029-01\CONSTRUCTION PLANS\CIVIL\LAUREL SPRINGS_SAN_VA1.DWG
 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-243-8511
 NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:

---	EXISTING CONTOUR
---	EXISTING SANITARY SEWER
---	EXISTING WATER MAIN
---	EXISTING STORM SEWER
---	PROPOSED SANITARY SEWER
---	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER MAIN
---	PROPOSED HYDRANT
---	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
---	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET
---	PROPOSED STORM END SECTION



LOT #	STM LAT DIST FROM DOWNSTREAM STRUCTURE
100	-
101	22.9'
102	23.5'
103	98.2'
104	277.2'
105	232.4'
106	176.5'
107	97.2'
108	18.2'
109	-
110	75.8'
111	22.7'
112	17.7'
113	79.8'
114	136.4'
115	220.2'
116	29.3'
117	-
118	137.3'
119	210'
120	95.0'
121	181.2'
122	219.3'
123	297.4'
124	126.8'
125	73.9'
126	34.8'
127	-
128	-
129	-
130	51.4'
131	129.8'
132	182.9'
133	-
134	51.2'
135	58.0'
136	-
137	59.9'
138	-
139	-
140	143.2'
141	96.6'
142	31.6'
143	-
144	144.0'
145	105.6'



NOTE:
ALL MATERIALS SHALL BE APPROVED BY THE VILLAGE OF JACSON PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.

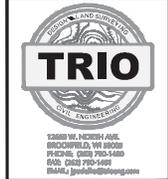
MANHOLE NOTE
ALL MANHOLES TO BE SET TO FINISH GRADE. MANHOLES TO BE SET TO FINAL GRADE WITH CAST IRON ADJUSTING RINGS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE SURFACE COURSE FINISH.

BACKFILL NOTES
TRENCH BACKFILL
SPOIL BACKFILL MAY BE USED FOR UTILITY TRENCHES CONTINGENT ON TESTING AND APPROVAL BY THE VILLAGE OF JACSON. ALL SPOIL BACKFILL TO BE USED MUST MEET THE STATE OF WISCONSIN SPECIFICATIONS FOR UTILITY BACKFILL.

STORM SEWER NOTES

- ALL PUBLIC STORM SEWER SHALL BE RCP (REINFORCED CONCRETE PIPE) WITH GASKETED JOINTS.
- STORM SEWER SHALL BE R.C.P. MEETING SECTION 8.6.0 (CS-200) AND BE ROBERT GASKETED MEETING THE REQUIREMENTS SET FORTH IN WISCONSIN CHAPTER 6.6.0.
- PIPE CLASSES:
 - 12" DIA. RCP STORM SEWER SHALL BE CL-V
 - 15" DIA. RCP STORM SEWER SHALL BE CL-IV
 - 18" & ABOVE DIA. RCP STORM SEWER SHALL BE CL-III
- STORM MANHOLES SHALL BE MIN. 48" DIAMETER PRECAST CONCRETE WITH NEEMAN R-1660 FRAMES & COVERS WITH 6 VENT HOLES. REFER TO STORM SEWER PLANS FOR MANHOLE SIZING INFORMATION.
- STORM MANHOLES IN EASEMENTS SHALL USE NEEMAN R-1660 FRAMES WITH TYPE C GRATES.
- CATCH BASINS SHALL HAVE 12" SLOPES AND SHALL CONFORM TO FIG. NO. 28 OF THE STANDARD SPECIFICATIONS WITH A NEEMAN R-2047-C FOR VERTICAL CURB APPLICATIONS.
- FIELD INLETS USE A NEEMAN R-2560-08 TYPE BEHNE CASTING.

H:\C900\966\16\029-01\CONSTRUCTION PLANS\CIVIL\LAUREL SPRINGS_RD_STP.DWG
 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-948-8811
 NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



PROJECT:
LAUREL SPRINGS ADD. NO. 1
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACSON, WISCONSIN
BY: BIELINSKI HOMES
 1930 MEADOW LN, SUITE A
 PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
02/28/2018	INITIAL SUBMITTAL
08/30/2018	PER VILLAGE COMMENTS
08/30/2018	CONSTRUCTION PLANS
10/30/2018	PAV ROAD WATER OVERFLOW
01/04/2019	PHASING LIMITS

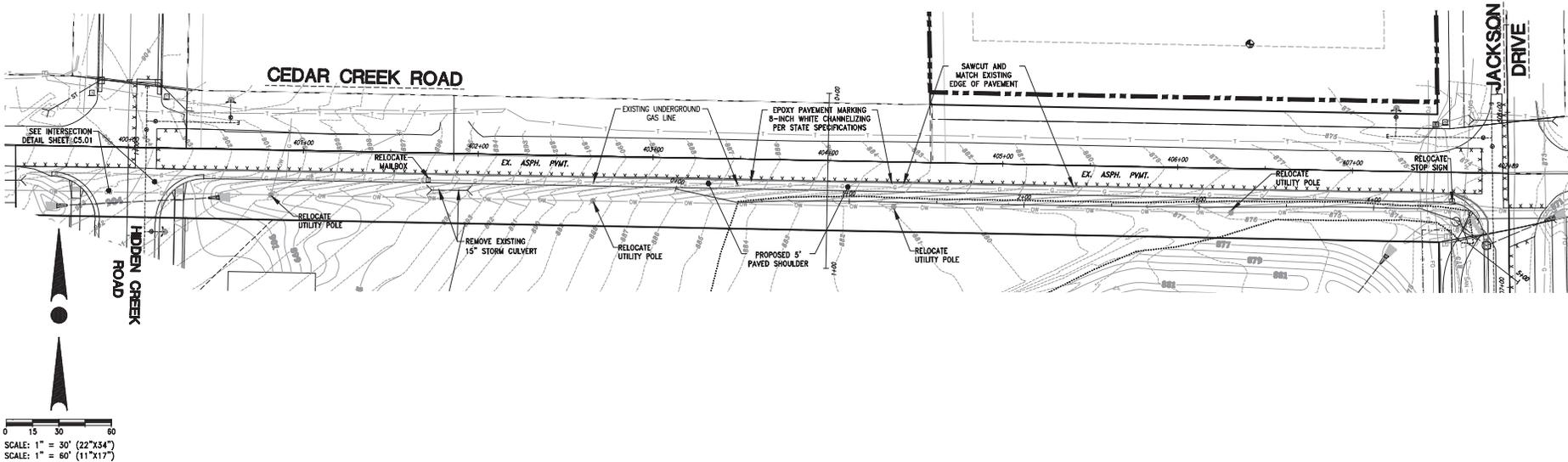
DATE:
JANUARY 4, 2019

JOB NUMBER:
16029

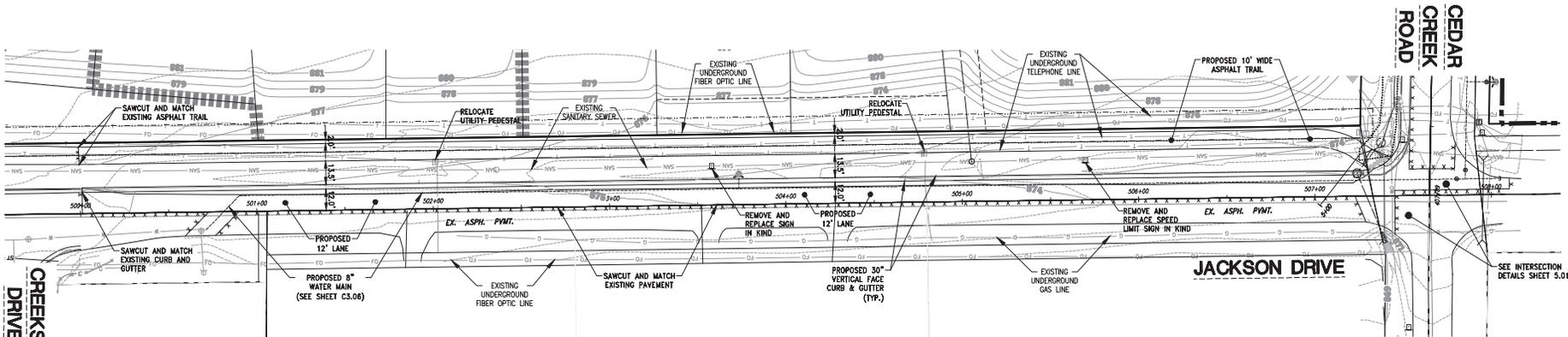
DESCRIPTION:
OVERALL STORM SEWER SYSTEM PLAN

SHEET

C4.0



0 15 30 60
 SCALE: 1" = 30' (22"x34")
 SCALE: 1" = 60' (11"x17")



0 15 30 60
 SCALE: 1" = 30' (22"x34")
 SCALE: 1" = 60' (11"x17")



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-248-6811

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2380 W. NORTON AVE.
 BROOKFIELD, WI 53005
 PHONE: (262) 793-1488
 FAX: (262) 793-1488
 EMAIL: j.pudelko@trioeng.com

PROJECT:
LAUREL SPRINGS ADD. NO. 1
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
 BY: BIELINSKI HOMES
 1630 MEADOW LN, SUITE A
 PEWAUKEE, WI 53072

REVISION HISTORY	
DATE	DESCRIPTION
03/28/2018	DETAIL SUBMITTAL
08/30/2018	FOR VILLAGE COMMENTS
08/16/2018	CONSTRUCTION PLANS
10/19/2018	PAV ROAD ROAD WATER CROSSING
01/04/2019	PHASING LIMITS

DATE:
 JANUARY 4, 2019

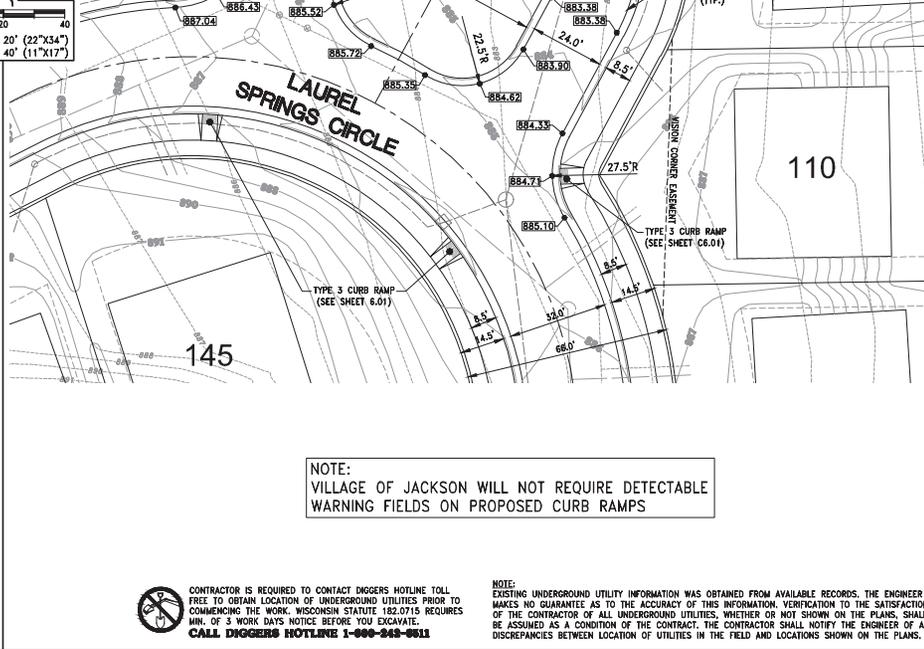
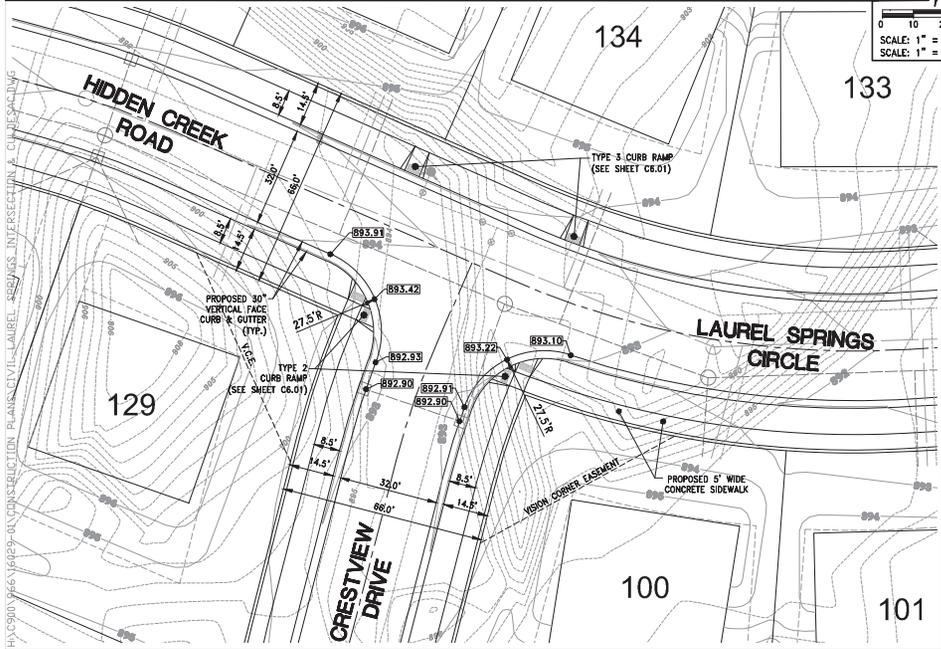
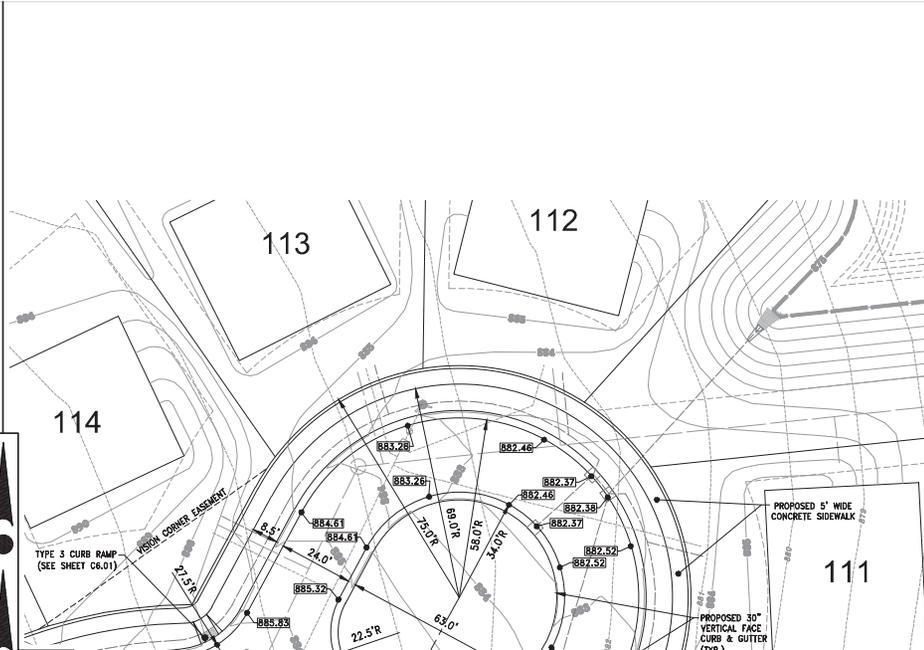
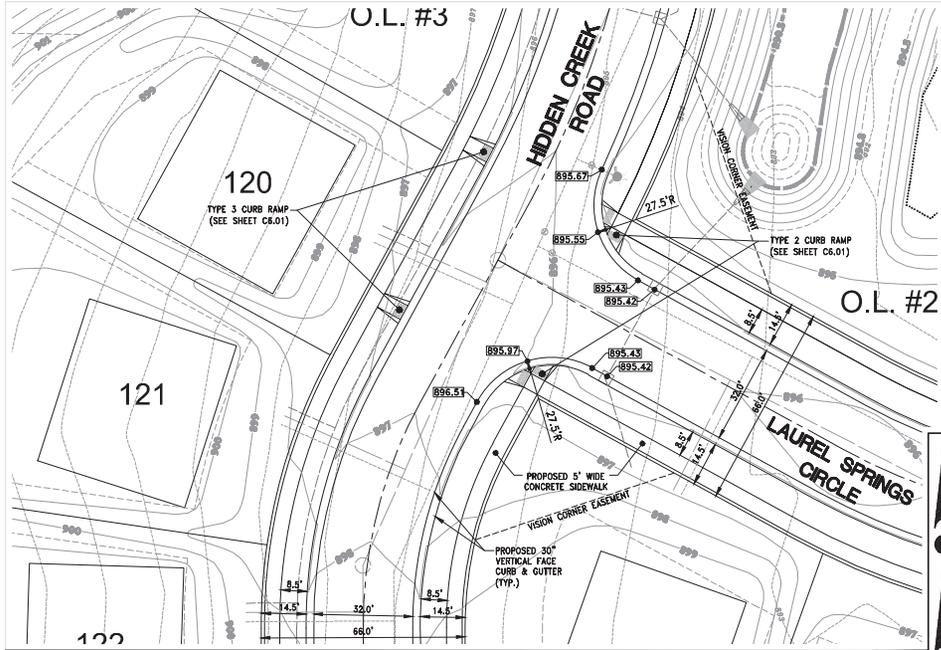
JOB NUMBER:
 16029

DESCRIPTION:
 ROADWAY
 GRADING AND
 PAVING PLAN

SHEET

C4.8

H:\C900\1566\16029-01\CONSTRUCTION PLANS\CIVIL\LAUREL SPRINGS_RD_STAGING

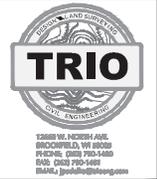


0 10 20 40
 SCALE: 1" = 20' (22"x34")
 SCALE: 1" = 40' (11"x17")

NOTE:
 VILLAGE OF JACKSON WILL NOT REQUIRE DETECTABLE
 WARNING FIELDS ON PROPOSED CURB RAMPS

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-248-6511

NOTE:
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PROJECT:
LAUREL SPRINGS ADD. NO. 1
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
BY: BELINSKI HOMES
 1630 MEADOW LN, SUITE A
 PEWAUKEE, WI 53072

REVISION HISTORY	
DATE	DESCRIPTION
02/26/2018	INITIAL SUBMITTAL
08/20/2018	PER VILLAGE COMMENTS
08/20/2018	CONSTRUCTION PLANS
10/20/2018	PAV. ROAD WATER OVERFLOW
01/04/2019	PHASING LIMITS

DATE:
 JANUARY 4, 2019

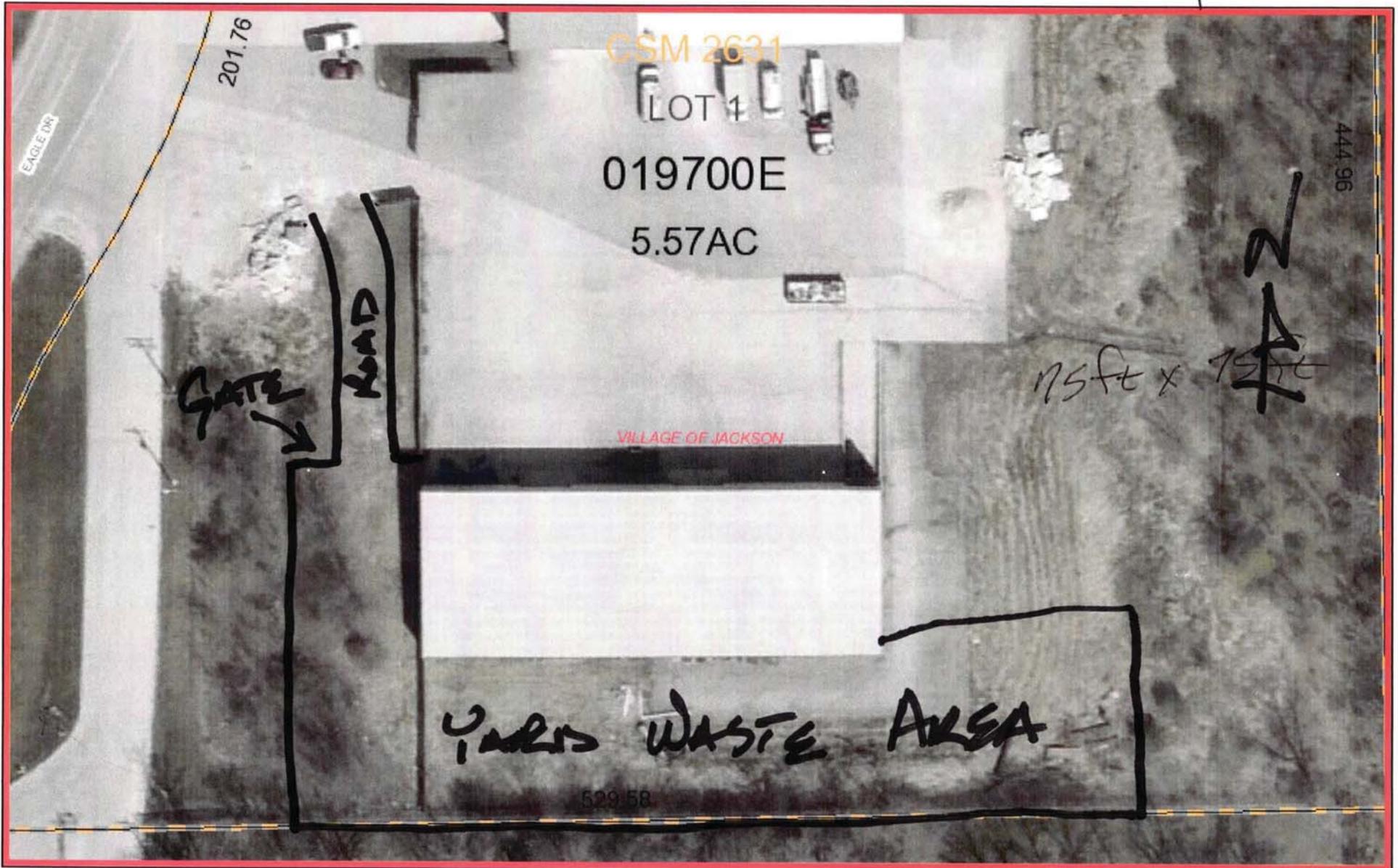
JOB NUMBER:
 16029

DESCRIPTION:
 INTERSECTION &
 CUL-DE-SAC
 DETAILS

SHEET

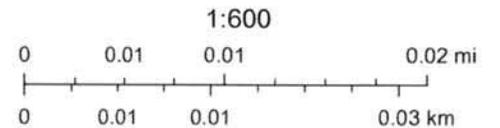
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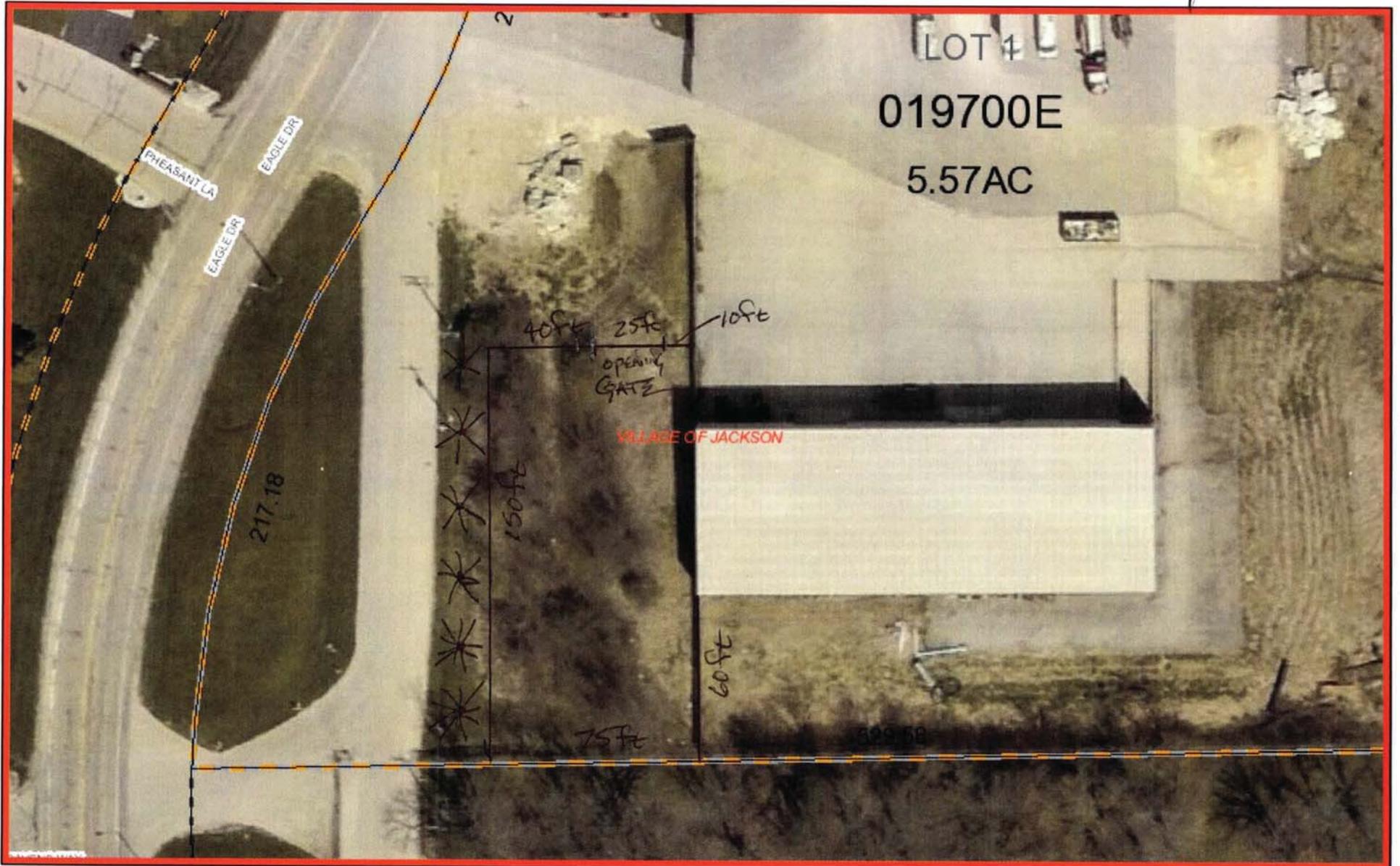


November 21, 2018

- CountyBoundary
- Washington County Landmarks
- Public Open Spaces
- Meander Line
- City, Village or Town Hall
- Airports
- Current Parcel
- PLSS Monument
- Libraries
- Trails
- Landhook
- PLSS Boundary



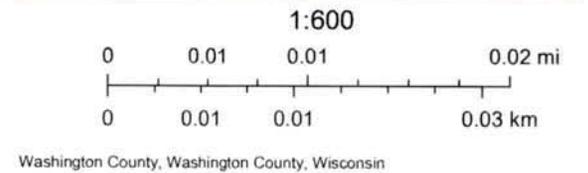
Washington County, Washington County, Wisconsin

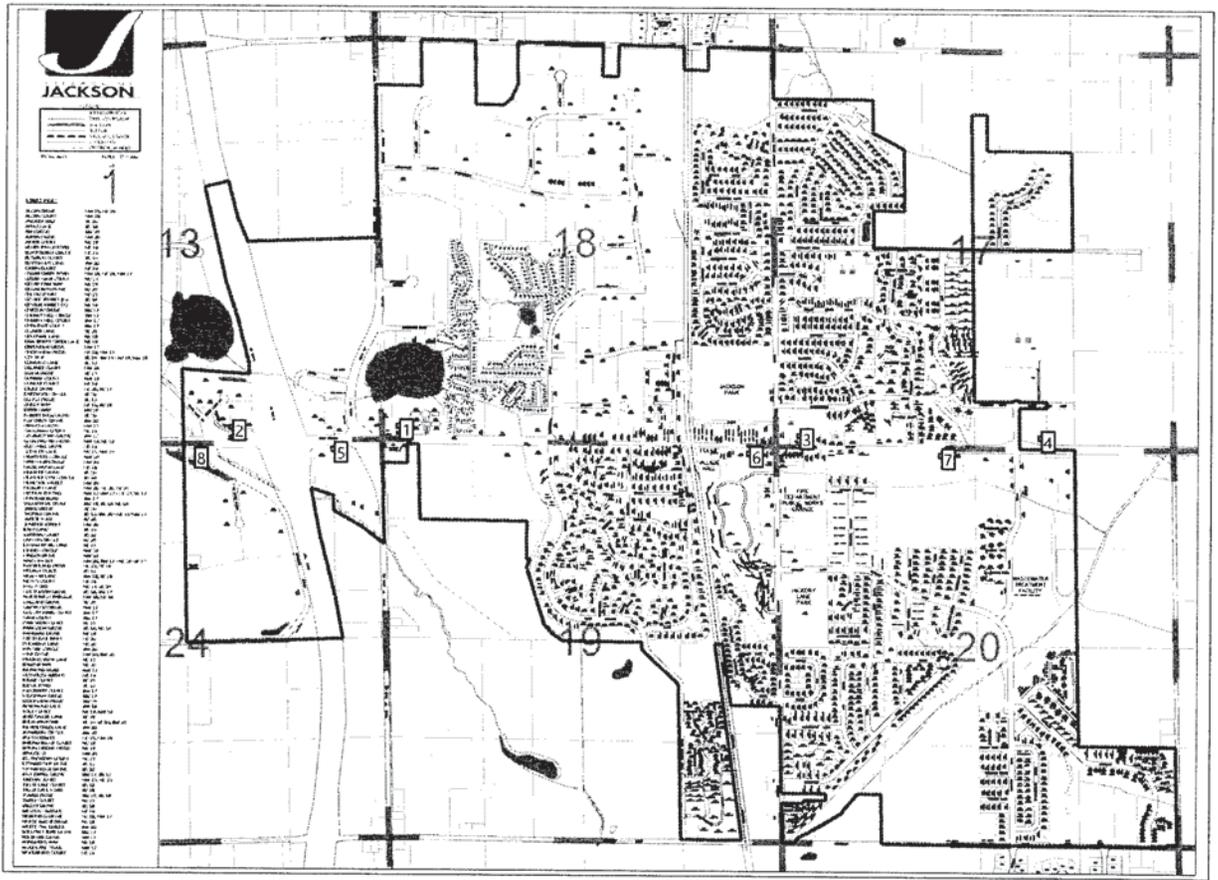


247

February 15, 2019

-  CountyBoundary
-  City, Village or Town Hall
-  Libraries
-  Washington County Landmarks
-  Airports
-  Trails
-  Public Open Spaces
-  Current Parcel
-  Landhook
-  Meander Line
-  PLSS Monument
-  PLSS Boundary





Summary of Comments on @300

Page: 1

Number: 1	Author: directorpw	Subject: Sticky Note	Date: 2/18/2019 12:46:19 PM
Business Park > Lodging ^ Park n Ride Lot >			
Number: 2	Author: directorpw	Subject: Sticky Note	Date: 1/24/2019 11:17:03 AM
Lodging > Business Park <			
Number: 3	Author: directorpw	Subject: Sticky Note	Date: 1/23/2019 4:00:39 PM
Jackson Park >			
Number: 4	Author: directorpw	Subject: Sticky Note	Date: 1/24/2019 9:25:44 AM
West Bound Sign Parks - Hickory/Jackson ^ Community Center ^ Village Hall ^ Safety Building ^ Jackson Elementary ^ Lodging ^ Business Park ^ Public Works <			
Number: 5	Author: directorpw	Subject: Sticky Note	Date: 2/22/2019 2:10:55 PM
Parks - Hickory/Jackson ^ Public Works ^ Community Center ^ Village Hall ^ Safety Building ^ Jackson Elementary ^ Lodging ^ Business Park < Park and Ride Lot <			
Number: 6	Author: directorpw	Subject: Sticky Note	Date: 2/18/2019 12:48:04 PM
Jackson Park < Hickory Park > Community Center > Jackson Elementary > Splash Pad >			
Number: 7	Author: directorpw	Subject: Sticky Note	Date: 2/18/2019 12:36:05 PM
Public Works >			
Number: 8	Author: directorpw	Subject: Sticky Note	Date: 2/18/2019 12:38:30 PM
Lodging < Business Park >			

Public Works Report

January 29, 2019

Treatment Plant - Designed Capacity – 1.67 million gallons per day
Peak Flow Capacity – 6.0 million gallons per day

Year 2017

January	Avg. Flow 1.230 MGD	Min. Flow 979,000 g.p.d.	Max. 1.606 MGD
February	Avg. Flow 1.204 MGD	Min. Flow 926,000 g.p.d.	Max. 2.141 MGD
March	Avg. Flow 1.559 MGD	Min. Flow 1.09 MGD	Max. 2.398 MGD
April	Avg. Flow 1.552 MGD	Min. Flow 1.049 MGD	Max. 2.446 MGD
May	Avg. Flow 1.392 MGD	Min. Flow 666,000 g.p.d.	Max. 2.588 MGD
June	Avg. Flow 1.283 MGD	Min. Flow 763,000 g.p.d.	Max. 2.429 MGD
July	Avg. Flow 1.225 MGD	Min. Flow 879,000 g.p.d.	Max. 1.711 MGD
August	Avg. Flow 1.049 MGD	Min. Flow 750,000 g.p.d.	Max. 1.414 MGD
September	Avg. Flow 870,300 g.p.d.	Min Flow 714,000 g.p.d.	Max. 1.132 MGD
October	Avg. Flow 953,871 g.p.d.	Min. Flow 563,000 g.p.d.	Max. 1.257 MGD
November	Avg. Flow 886,967 g.p.d.	Min. Flow 729,000 g.p.d.	Max. 1,154 MGD
December	Avg. Flow 835,484 g.p.d.	Min. Flow 651,000 g.p.d.	Max. 1.074 MGD

Year 2018

January	Avg. Flow 893,258 g.p.d.	Min. Flow 693,000 g.p.d.	Max. 1.541 MGD
February	Avg. Flow 1.072 MGD	Min. Flow 651,000 g.p.d.	Max. 2.476 MGD
March	Avg. Flow 1.011 MGD	Min. Flow 702,000 g.p.d.	Max. 1.365 MGD
April	Avg. Flow		
May	Avg. Flow 1.577 MGD	Min. Flow 982,000 g.p.d.	Max. 2.807 MGD
June	Avg. Flow 1.053 MGD	Min. Flow 703,000 g.p.d.	Max. 1.422 MGD
July	Avg. Flow 942,871 g.p.d.	Min. Flow 699,000 g.p.d.	Max. 1.228 MGD
August	Avg. Flow 1.342 MGD	Min. Flow 700,000 g.p.d.	Max. 3.93 MGD
September	Avg. Flow 1.608 MGD	Min. Flow 1.07 MGD	Max. 3.47 MGD
October	Avg. Flow 1.540 MGD	Min. Flow 960,000 g.p.d.	Max. 2.67 MGD
November	Avg. Flow 1.268 MGD	Min. Flow 940,000 g.p.d.	Max. 2.12 MGD
December	Avg. Flow 1.218 MGD	Min. Flow 880,000 g.p.d.	Max. 1.82 MGD

Year 2019

January	Avg. Flow 1.270 MGD	Min. Flow 900,000 g.p.d.	Max. 2.660 MGD
---------	---------------------	--------------------------	----------------

Years Summary of Water Consumption

2006 Total Pumpage 207,719,000 gallons	2007 Total Pumpage 217,224,000 gallons
2008 Total Pumpage 229,613,000 gallons	2009 Total Pumpage 231,160,000 gallons
2010 Total Pumpage 239,326,000 gallons	2011 Total Pumpage 240,268,000 gallons
2012 Total Pumpage 253,492,000 gallons	2013 Total Pumpage 228,371,000 gallons
2014 Total Pumpage 230,973,000 gallons	2015 Total Pumpage 222,621,000 gallons
2016 Total Pumpage 254,531,000 gallons	2017 Total Pumpage 251,387,000 gallons

Year 2017

Jan.	Avg.	630,710 g.p.d.	Highest Day 771,000 gals.	Total	19,552,000 gallons
Feb.	Avg.	640,790 g.p.d.	Highest Day 885,000 gals	Total	17,942,000 gallons
March	Avg.	611,520 g.p.d.	Highest Day 691,000 gals	Total	18,957,000 gallons
April	Avg.	703,070 g.p.d.	Highest Day 1.173 MGD	Total	21,092,000 gallons
May	Avg.	683,420 g.p.d.	Highest Day 988,000 gals	Total	21,186,000 gallons
June	Avg.	762,230 g.p.d.	Highest Day 1.044 MGD	Total	22,867,000 gallons
July	Avg.	730,580 g.p.d.	Highest Day 953,000 gals	Total	22,648,000 gallons
August	Avg.	745,900 g.p.d.	Highest Day 903,000 gals	Total	23,123,000 gallons
Sept	Avg.	738,170 g.p.d.	Highest Day 996,000 gals	Total	22,145,000 gallons
Oct	Avg.	716,100 g.p.d.	Highest Day 1.055 MGD	Total	22,199,000 gallons
Nov	Avg.	646,500 g.p.d.	Highest Day 783,000 gals	Total	19,395,000 gallons
Dec	Avg.	654,230 g.p.d.	Highest Day 754,000 gals.	Total	20,281,000 gallons

Year 2018

Jan.	Avg.	674,710 g.p.d.	Highest Day 831,000 gals.	Total	20,916,000 gallons
Feb.	Avg.	660,820 g.p.d.	Highest Day 762,000 gals.	Total	18,503,000 gallons
March	Avg.	646,810 g.p.d.	Highest Day 784,000 gals.	Total	20,051,000 gallons
April	Avg.	656,300 g.p.d.	Highest Day 1.122 MGD	Total	19,689,000 gallons
May	Avg.	682,065 g.p.d.	Highest Day 840,000 gals.	Total	21,144,000 gallons
June	Avg.	694,600 g.p.d.	Highest Day 891,000 gals.	Total	20,838,000 gallons
July	Avg.	759,160 g.p.d.	Highest Day 1.172 MGD	Total	23,534,000 gallons
August	Avg.	728,450 g.p.d.	Highest Day 963,000 gals.	Total	22,582,000 gallons
Sept	Avg.	605,200 g.p.d.	Highest Day 842,000 gals.	Total	18,156,000 gallons
Oct	Avg.	619,320 g.p.d.	Highest Day 896,000 gals.	Total	19,199,000 gallons

Year 2019

Jan.	Avg.	638,230 g.p.d.	Highest Day 791,000 gals.	Total	19,785,000 gallons
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Pump Capacity - Well #1- 400 g.p.m. Well #3 -900 g.p.m. Well #4 - 1200 g.p.m. Well #5 – 1,100 g.p.m. Well #6 – 800 g.p.m.

WWTP – Holding & Septage Receiving

2005	\$ 87,562.01	2006	\$101,115.11	2007	\$152,201.07	2008	\$210,441.47
2009	\$183,815.34	2010	\$197,653.66	2011	\$220,576.28	2012	\$236,224.70
2013	\$235,336.46	2014	\$203,938.32	2015	\$210,644.47	2016	\$220,473.17
2017	\$232,358.23	2018	\$245,767.74				

2017	Holdings (gals)	Grease (gals)	G Decant (gals)	Septage (gals)	S Decant (gals)	Total Billings
Jan	1,287,450			10,500	57,100	\$11,503.39
Feb	1,358,400		28,500	1,750	78,550	\$13,361.76
March	1,678,850		22,000	28,100	174,900	\$18,967.89
April	1,581,350			35,600	320,900	\$21,306.63
May	1,745,550			51,150	394,600	\$25,002.63
June	1,664,600			38,700	321,950	\$22,081.26
July	1,599,070			33,100	230,150	\$19,070.78
August	1,669,850			35,100	273,850	\$20,774.14
September	1,430,000			37,350	248,125	\$18,422.13
October	1,710,550			64,200	454,850	\$26,768.38
November	1,541,700			50,150	353,050	\$22,395.00
December	1,174,400			13,700	127,250	\$12,539.26

2018	Holdings (gals)	Grease (gals)	G Decant (gals)	Septage (gals)	S Decant (gals)	Total Billings
Jan	1,627,400			2,250	70,400	\$14,055.51
Feb	1,632,750			1,750	69,850	\$14,061.88
March	1,589,150			6,450	197,600	\$17,943.45
April	1,451,750			16,750	234,400	\$18,227.75
May	1,849,700			21,050	354,100	\$24,597.35
June	1,636,850			38,900	351,450	\$23,631.55
July	1,662,650			37,150	230,750	\$20,741.70
August	1,861,850			58,650	315,400	\$25,419.05
September	1,510,000			37,000	249,500	\$19,982.50
October	1,676,000			38,000	462,900	\$26,690.50
November	1,433,250			29,500	397,100	\$22,721.00
December	1,481,500			13,550	209,350	\$17,695.50

2019	Holdings (gals)	Grease (gals)	G Decant (gals)	Septage (gals)	S Decant (gals)	Total Billings
Jan	1,230,000			2,000	77,700	\$11,872.50

Rosewood Drive/TIF Expansion Project

The Rosewood Lane Project has landscaping being the last items to complete for the south side of the road. The northside of Rosewood Lane will wait until the land gets developed. No Change.

SCADA Upgrade Project

Town & Country Engineering and staff are working on completing the work order portion of the SCADA System project. No Change.

CTH P and STH 60 Intersection Project and old Park-n-Lot Property

Discussion continues with Washington County and WisDOT on ownership. Washington County Highway Commissioner has talked to WisDOT about the transfer of land. Working on a solution.

Ridgeway Drive Reconstruction Project

Landscaping retainage to complete the project.

Maplewood Farms

The owner of the property and Developer need to come to an agreement on how much the land is worth.

Cobblestone Meadows Development

The Village is approving the final plat for the development. The Developer had the opportunity to build three spec homes before the plat was approved.

Laurel Springs Addition No. 1

The Developer is proposed to do the development in two phases. Jackson Drive and Cedar Creek Road improvements will be completed in phase one.

Public Works New Salt Building

Weather has stopped the project.

Water Quality Requirements

The Trump Administration has required the EPA to modernize the agency's water quality trading policies to leverage emerging technologies and facilitate broader adoption of market-based programs. The change helps the Village of Jackson and the Jackson Sewer Utility to benefit from projects entire discharge basin instead from just downstream properties.

Respectfully submitted, Brian W. Kober, P.E.