

Agenda
Village Board Meeting
Tuesday, December 8, 2015 at 7:30 p.m.
Jackson Village Hall
N168W20733 Main St
Jackson, WI 53037

1. Call to Order and Roll Call.
2. Pledge of Allegiance.
3. Any Village Citizen Comment on an Agenda Item (Please sign in).
4. Public Hearing - Planned Unit Development Amendment – Construction of Oversized Garage; Marshland Drive.
5. Consent Agenda:
 - Approval of Minutes for the Village Board Meeting of November 10, 2015 and November 30, 2015.
 - Licenses.
Operator Licenses:
Main Street Mart – Jeannine Waterson
Village Mart – Russell Comer, Liana Dronso
Walgreens – Trevor Mosey, Marie Sawyer, Surra Basterash, Maureen Ott, Kreshnite Ismajli
6. Ordinance #15-04 – An Ordinance Establishing Parking of Vehicles on Setbacks.
7. Appointment of Election Inspectors.
8. Budget & Finance Committee.
 - Review of Bids for Stonewall Connector Trail Project with Possible Action.
 - Pay Request #3 – Georgetown Dr. Reconstruction Project.
 - Pay Request #2 - Jackson Dr. Sidewalk Project.
 - Review of Jackson Sewer Utility Pumper Truck Upgrade.
 - Purchase of Hurco Spin Doctor Valve Turner.
9. Plan Commission.
 - Certified Survey Map – We Energies – Jackson Drive – Sub Station.
10. Park & Recreation.
 - Community Center: Jackson Area Youth Baseball Association, Pancake Breakfast Family Fun Day, January 30, 2016.
11. Departmental Reports.
 - Operation FINALLY HOME Community - Update.

12. Washington County Board Report.
13. West Bend School District Liaison Report.
14. Greater Jackson Business Alliance Report.
15. Citizens to Address the Village Board.
16. Closed session pursuant to Wis. Stats. § 19.85(1)(e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session; Wis. Stats. § 19.85(1)(c) Considering employment, promotion, compensation or performance evaluation data of any public employee over which the governing body has jurisdiction or exercises responsibility; administrator; and Wis. Stats. § 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved. The topics are matters relating to the Village-Town Revenue Sharing Agreement and Cooperative Boundary Plan; Jackson Properties LLC and Walgreens lawsuit.

Reconvene into Open Session.

17. Adjourn.

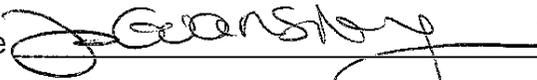
Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Kevin Kunstek
 Contact Kevin Kunstek Address/ZIP N27 W24075 Paul Ct, Pewaukee 53072 Phone # 262-305-4094
 E-mail Address slimkev25@yahoo.com Fax # where Agenda/Staff comments are to be faxed 262-542-9780
 Name of Owner Kevin Kunstek Address/ZIP W206 N16517 Marshland Drive Phone# _____
 Owner Representative/Developer Tim O'Brien Homes
 Proposed Use of Site Single Family home Present Zoning Residential

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500'for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		XXX
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Jackie Guansing Signature  Date 11-6-15

Office Use: Date Received _____ Date Paid _____ Receipt #  Amount Paid \$ _____

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development

Permit # 449723

The Village of Jackson, hereby grants a **Special Use** **Conditional Use** **Planned Unit Development**

Permit to:

Name of Business/Applicant: Tim O'Brien Homes

For a property located at (address): W206 N16517 Marshland Drive, Jackson

Phone number of Business/Applicant: 262-542-5750

For (land use, activity, sign, site plan, other): variance on size of garage

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): none

Hours of Operation: standard guidelines - 8 a - 5 p

Comprehensive/Master Plan Compatibility: _____

Building Materials (type, color): per community requirement - vinyl siding (English Wedgewood) with Shake siding (silver Grey), white windows and trim, Dimensional Shingles (Estate Grey)

Setbacks from rights-of-way and property lines: 26' front, 41' rear, 8' sides

Screening/Buffering: _____

Landscape Plan (sizes, species, location): _____

Signing (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s)), (sidewalk/pedestrian way width and material): house is in cul du sac with sidewalk for pedestrian use

Storm-water Management: yes

Erosion Control: yes

Fire Hydrant Location(s): unknown

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: _____

Hazardous Material Storage: none used

Alarm Systems: _____

Site Features/Constraints: not aware of any

Parking (no. of spaces, handicapped parking, and dimensions): _____

Tree and shrub preservation: trees are present on Western lot line

Setbacks/height limitations: 26' front, 41' rear, 8' sides

Wastewater Usage Projected: _____ gal/year

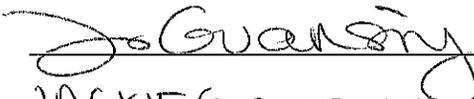
Water Usage Projected: _____ gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):
Garage is drawn at 768 sf with the additional space to be used for storage of collectors car and possibly pop up camper in the future since they cannot be stored outside garage.

TERMS OF THIS PERMIT

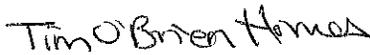
1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____



JACKIE GUANSING Owner

Please print name


Tim O'Brien Thomas
Representative

John M. Walther, Administrator

Applications shall be submitted by 4:00 PM of the first Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (from face of application form):

1. Application Form: Must be submitted on CD.

2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: a copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated User profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.)
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and Water/Sewer/Storm plans may be shown combined on this plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name, and common name of proposed trees and shrubs. Also calls out surface treatments. Shows walls, fences, and details.
15. Grading/Drainage Plan: Shows original and proposed grades and runoff calculations based on a 10-year storm. Is usually combined with a Storm Sewer Plan (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains and fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Cross-Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED
BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO
QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**

November 6, 2015
Village of Jackson
RE: W206 N16517 Marshland Dr.

To Whom it May Concern,

I am writing on behalf of our customers, Jennifer Channer and Kevin Kunstek, who will reside at W206 N16517 Marshland Dr. upon completion of their new home construction.

After speaking with Jim Micech, Village Inspector, it was discovered that Village code permits garage size up to 720.0sqft. Our customer has a garage that is 768.0sqft.

We are officially requesting a variance from the Village Board to have the garage remain at 768.0sqft.

The reason the garage was designed to that size was to accommodate storage of a vintage car, two other cars, additional storage space in general, and the possibility of storing a pop-up camper in the future.

Due to the immediate need of the customer to store the vintage car at their new home, we are requesting to keep the current square footage of the garage.

There should be no disturbance to the surround lots, no additional cost, and hours of operation would be consistent to the regular schedule as the building is under construction.

Please consider this our Impact Statement.

I have also enclosed the Letter of Intent, paper copy of the plan, paper copy of the Development Application, and a jump drive that includes the following: stamped site survey, floor plan in PDF format, the Letter of Intent, the Impact Statement, and the five-page Development Application.

I look forward to hearing from the Village Board in regards to the customer garage. I appreciate the Board taking the time to review all enclosed documents.

If you have any questions, please feel free to contact me, Jackie Guansing, of Tim O'Brien Homes.

Sincerely,

Jackie Guansing

New Home Consultant for Ms. Channer and Mr. Kunstek

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Sincerely,

Jackie Guansing

New Home Consultant for Ms. Channer and Mr. Kunstek

Washington County

Owner (s):

KUNSTEK, KEVIN

Location:

NE-SE,Sect. 19, T10N, R20E**SE-NE,Sect. 19, T10N, R20E**

Mailing Address:

KEVIN M KUNSTEK**1137 HASTINGS CT**

School District:

6307 - WEST BEND SCHOOL**RACINE, WI 53406**

Tax Parcel ID Number:

0171021

Tax District:

V3-VILLAGE OF JACKSON

Status:

Active

Acres:

0.1600

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):

PT OF NE SE+SE NE CRANBERRY CREEK LOT 21 DOC 1391222

Site Address (es): *(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)*

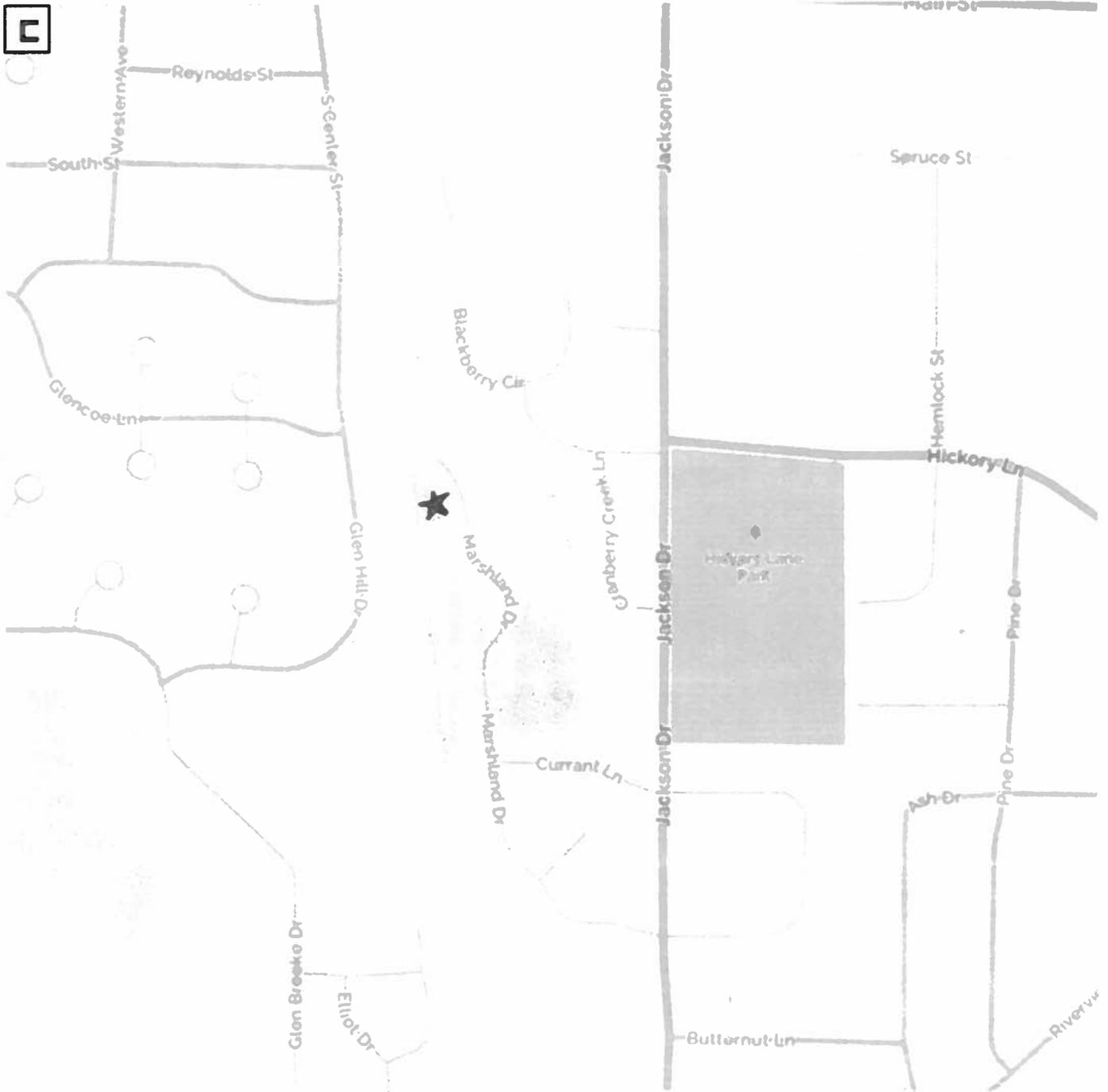
MARSHLAND DR

Search Results for "W20N16517 Marshland Drive, Jackson, WI. 53037"



page 1 of 1

1. 53037, WI



ELMWOOD

Signature Series
46-021 Kunstek



© 2012-2014 T.O. Homes
N77 W4075 Paul C. Sank 100
Beverly Hills, WI 53007

GENERAL NOTES

- A. ALL WORK SHALL BE PERFORMED WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION.
- B. ALL WORK WILL BE PERFORMED IN A WORKMANLIKE MANNER.
- C. EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC., FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS, UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE BETWEEN CONTRACTOR AND TIM O'BRIEN HOMES INC.
- D. MATERIALS AS SPECIFIED ON DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF TIM O'BRIEN HOMES INC.. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING IN CONJUNCTION WITH (AND ALL OTHER TRADES AFFECTED) SAID SUBSTITUTIONS.
- E. TIM O'BRIEN HOMES INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- F. ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AS PART OF THEIR INSTALLATION LAYOUT.
- G. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF BUILDING DURING CONSTRUCTION.
- H. EACH CONTRACTOR SHALL AMEND AND MAKE GOOD AT HIS OWN COST, ANY DEFECTS OR OTHER FAILS IN HIS/HER WORKMANSHIP AND/OR MATERIAL.
- I. EACH CONTRACTOR IS TO CLEAN UP DEBRIS INSIDE AND OUTSIDE THE BUILDING SITE WHICH HAS BEEN CAUSED BY HIS/HER WORK AND PLACED IN DUMPSTERS PROVIDED BY TIM O'BRIEN HOMES INC.
- J. ALL MATERIAL, FINISHES AND STYLES INCLUDING BUT NOT LIMITED TO EXTERIOR SIDING, ROOFING, WINDOWS, EXTERIOR TRIM, AND INTERIOR AND EXTERIOR MILLWORK, ETC. SHALL BE APPROVED BY TIM O'BRIEN HOMES INC.
- K. DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- L. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN PLAN AND REPORT ERROR(S) TO TIM O'BRIEN HOMES INC. PRIOR TO COMMENCEMENT OF THE WORK, OR TO BE RESPONSIBLE FOR SAME.
- M. THESE PLANS, DETAILS, AND SPECIFICATIONS REMAIN THE PROPERTY OF TIM O'BRIEN HOMES INC. AND MAY NOT BE ALTERED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF TIM O'BRIEN HOMES INC.
- O. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE REQUIRED DESIGN LOADS WITH GOVERNING CODES AND SITE CONDITIONS. VERIFY WITH THE LOCAL BUILDING AGENCIES THE WIND, SEISMIC, SNOW, AND OTHER SPECIAL LOADING CONDITIONS. TIM O'BRIEN HOMES INC. SHALL BE NOTIFIED IN WRITING OF ALL DISCREPANCIES.

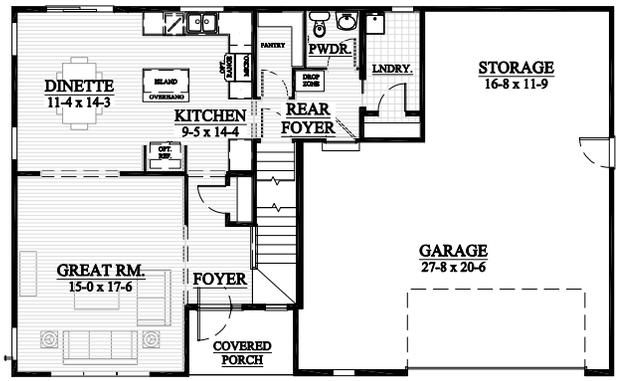
ABBREVIATIONS

ADJ. Adjustable	DBL. Double	FLR. Floor
ASPH. Asphalt	DET. Detail	FLUOR. Fluorescent
BSMT. Basement	DH. Double Hinged	FTG. Footing
BTM. Bottom	DM. Diameter	GLV. Gypsum
BTW. Between	DISH. Dishwasher	G. & N. Glued & Nailed
CANT. Cantilever	DN. Down	G. & S. Glued & Screwed
C.J. Control Joint	DRY. Dryer	G.L.L. Gas Log Lighter
CLG. Ceiling	EA. Each	HDR. Header
CER. Ceramic	ELEV. Elevation	INSUL. Insulation
CHIM. Chimney	ENT. Entertainment	INT. Interior
C.O. Cased Opening	EXP. Exposure	JST. Joist
COMB. Combination	EXT. Exterior	L.V.L. Laminated Veneer Lumber
COMP. Compact	F.C. Floor Change	LIN. Linen
CONC. Concrete	F/G. Fiberglass	LIV. Living
CSD. Cased	FM. Finished	MAX. Maximum
CPT. Carpet	FXTR. Fixture	MBR. Master Bedroom
C.T. Ceramic Tile	F.J. Floor Joist	M.C. Medicine Cabinet
MAR. Marble	REF. Refrigerator	W.W.M. Welded Wire Mesh
MBRD. Microwave	RM. Room	ULL. Underlayment
MIL. .001 inch	R.O. Rough Opening	UNCOV. Uncovered
MIN. Minimum	R.S. Rough Sawn	UNEX. Unexcavated
MISC. Miscellaneous	SEC. Second	WASH. Washer
M.O. Masonry Opening	SH. Single Hinged	WD. Wood
NO. Number	SHWR. Shower	W.F. Wide Flange
N.E.S. Not To Scale	S.L. Side Lite	W.C. Water Closet
O.C. On Center	STA. Stationary	Ø At Center Line
O.H.D. Overhead Door	STD. Standard	1-SH One shelf
OP. Opening	STR. Structural	2-SH Two shelves
P.C. Pull Chain	T.C. Trash Compactor	3-SH Three Shelves
PICT. Picture	T. & G. Torque & Grooved	4-SH Four Shelves
POLY. Polyethylene	TRANS. Transom	5-SH Five shelves
PROJ. Projection	TRAP. Trap	1-SH/PO One Shelf/1 Pole
RAD. Radius	W.H. Water Heater	2-SH/PO Two Shelves/2 Poles
RAFT'S Rafters		W/ With

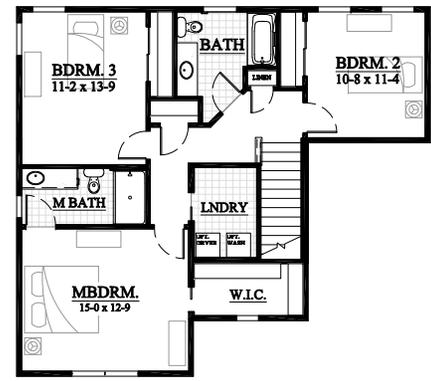
MUNICIPAL CODES

- BUILDING: STATE OF WISCONSIN BUILDING CODE CHAPTER 20-25
- PLUMBING: STATE OF WISCONSIN BUILDING CODE CHAPTER 81-87
- ELECTRICAL: STATE OF WISCONSIN BUILDING CODE CHAPTER 16
- MECHANICAL: STATE OF WISCONSIN BUILDING CODE CHAPTER 61-25

SEALS & ENDORSEMENTS:



ELMWOOD FIRST FLOOR LAYOUT TRADITIONAL



ELMWOOD SECOND FLOOR LAYOUT TRADITIONAL



ELMWOOD CRAFTSMAN ELEVATION

DWELLING SQUARE FOOTAGES

Elevation 3 - Craftsman
Square Footages

ELEVATION 3 LIVING AREAS	
AREA	SQUARE FOOTAGE
FIRST FLOOR LIVING AREA	928 SF
SECOND FLOOR LIVING AREA	938 SF
TOTAL LIVING AREA	1866 SF

ELEVATION 2 NON LIVING AREAS	
AREA	SQUARE FOOTAGE
GARAGE AREA	768 SF
COVERED PORCH AREA	58 SF
UNFINISHED BASEMENT AREA	836 SF

Sheet List Table

Sheet Number	Sheet Title
CS	COVERSHEET
ELMWOOD FLOOR PLAN DRAWING SET	
A2	FOUNDATION PLANS - ALL ELEVATIONS
A3	FOUNDATION BRACING PLAN
A4	FIRST FLOOR PLAN - ALL ELEVATIONS
A5	FIRST FLOOR BRACING PLAN - ALL ELEVATIONS
A6	SECOND FLOOR PLAN - ALL ELEVATIONS
A7	SECOND FLOOR BRACING PLAN - ALL ELEVATIONS
ELMWOOD ELECTRICAL DRAWING SET	
A8	BASEMENT ELECTRICAL PLAN - OPTIONS - ALL ELEVATIONS
A9	FIRST FLOOR ELECTRICAL PLAN - ALL ELEVATIONS
A10	SECOND FLOOR ELECTRICAL PLANS - OPTIONS - ALL ELEVATIONS

HOMEOWNER INFORMATION

KEVIN & ANDRIE KENSTER
C/O TIM O'BRIEN HOMES
1.09.013
JANUARY 04

MODEL SERIES

THE ELMWOOD
NEW IN 2013

SHEET TITLE

COVERSHEET

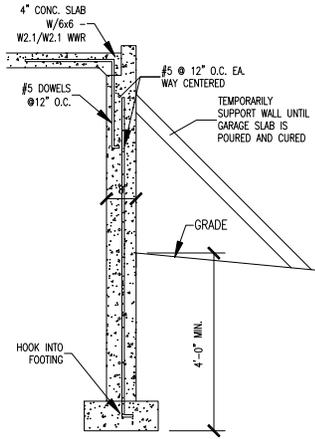
NO.	DATE	DESCRIPTION OF REVISION	BY
1	7-28-15	PLAN DRAFT 1	KAM
2	8-14-15	PLAN DRAFT 2	KAM
3	8-14-15	PLAN DRAFT 2	KAM
4	9-2-15	PLAN DRAFT 4	KAM
5			

JOB NUMBER
46-021

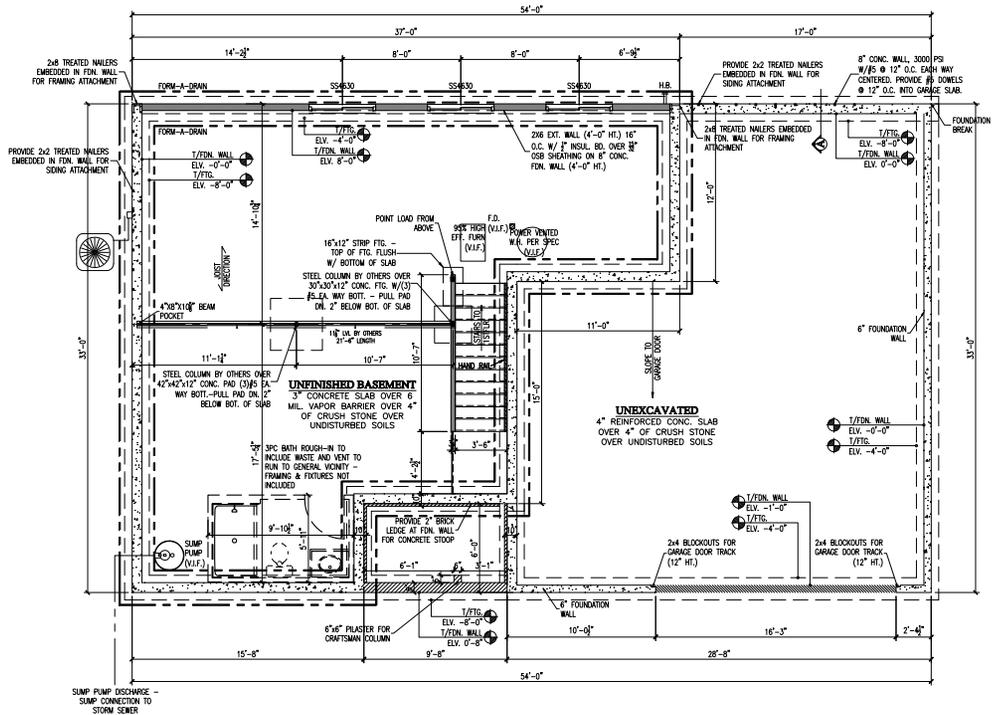
SHEET NUMBER
CS

WALL LEGEND

-  DENOTES CONTINUOUSLY SHEATHED WALL PER COMM21.25(8)(9)(4)
-  DENOTES 4" OF WOOD STRUCTURAL PANEL SHEATHING, 1x4 LET-IN BRACING OR METAL "T" BRACING
-  4" OF 1/2" GYPSUM WALL BOARD APPLIED TO BOTH SIDES OF WALL.
-  DENOTES INTERIOR BEARING WALL



A GARAGE FDN. WALL
SCALE: 3/4" = 1'-0"



ELEVATION 3 - CRAFTSMAN FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
- WALL INFORMATION**
 - MAIN HOUSE CONCRETE WALLS: 8" 3000psi POURED CONCRETE WALL @ 8'-0" UNLESS NOTED OR 10" 3000psi POURED CONCRETE WALL @ 9'-0" UNLESS NOTED
 - GARAGE CONCRETE WALLS: 8" 3000psi POURED CONCRETE WALL @ 4'-0" UNLESS NOTED
 - STAIR INFORMATION**
 - REFER TO FIRST FLOOR PLAN FOR STAIR INFORMATION
 - PLAN INFORMATION**
 - REFER TO TYPICAL WALL SECTIONS FOR ADDITIONAL FOUNDATION INFORMATION
 - ALL DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD OR FACE TO FACE OF CONCRETE
 - THE CONDITIONS LISTED HERE ARE STANDARD FOR THIS PLAN ELEVATION(S). EXCEPTIONS ARE NOTED ON THE PLAN

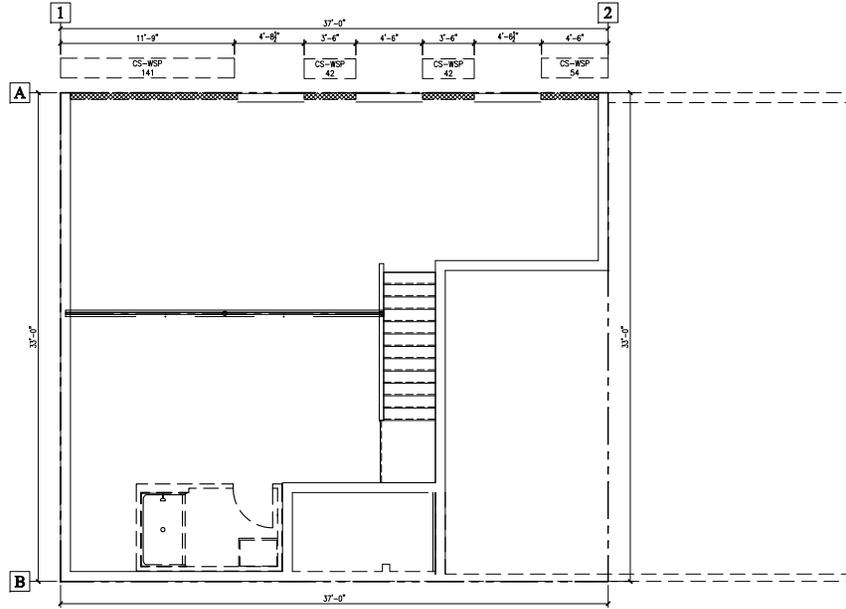
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1	12.15	PLAN DRAFT 1	MM	
2	1.14.15	PLAN DRAFT 2	MM	
3	1.28.15	PLAN DRAFT 1	MM	

JOB NUMBER
46-021

SHEET NUMBER
A2

FOUNDATION BRACING PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION WALL BRACING SCHEDULE													
WALL BRACE LINE	BRACE MATERIAL	BRACE METHOD	BRACE LINE SPACING	REQUIRED BRACE UNIT LENGTH	WIND EXPOSURE FACTOR	WALL HEIGHT FACTOR	DRYWALL OMISSION FACTOR	CRIPPLE WALL FACTOR	WIND FACTOR TOTAL	TOTAL BRACE UNIT LENGTH (FT)	BRACE UNITS PROVIDED	MAXIMUM OPENING HT.	DETAIL
A	1/2" OSB SHEATHING	CONTINUOUS	40.00'	21.80	1.00	.90	1.00	1.15	1.04	22.67'	22.75'	3'-0"	--
B	NON-EXPOSED CONC.	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	--
1	NON-EXPOSED CONC.	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	--
2	NON-EXPOSED CONC.	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	--

NOTES
 WIND FACTOR TOTAL INCLUDES WIND EXPOSURE FACTOR, WALL HEIGHT FACTOR AND EAVE TO RIDGE FACTOR
 REQUIRED BRACE UNIT LENGTH INCORPORATES WHETHER WALL SUPPORTS ROOF & CEILING ONLY; ONE FLOOR, ROOF AND CEILING OR TWO FLOORS, ROOF AND CEILING

NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1	7.28.15	PLAN DRAFT 1	KAM	
2	8.14.15	PLAN DRAFT 2	KAM	
3	7.28.15	PLAN DRAFT 1	KAM	

JOB NUMBER
46-021

SHEET NUMBER
A3

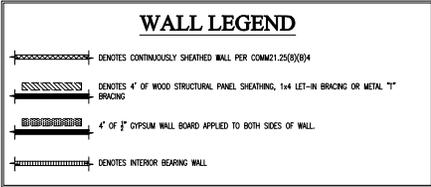
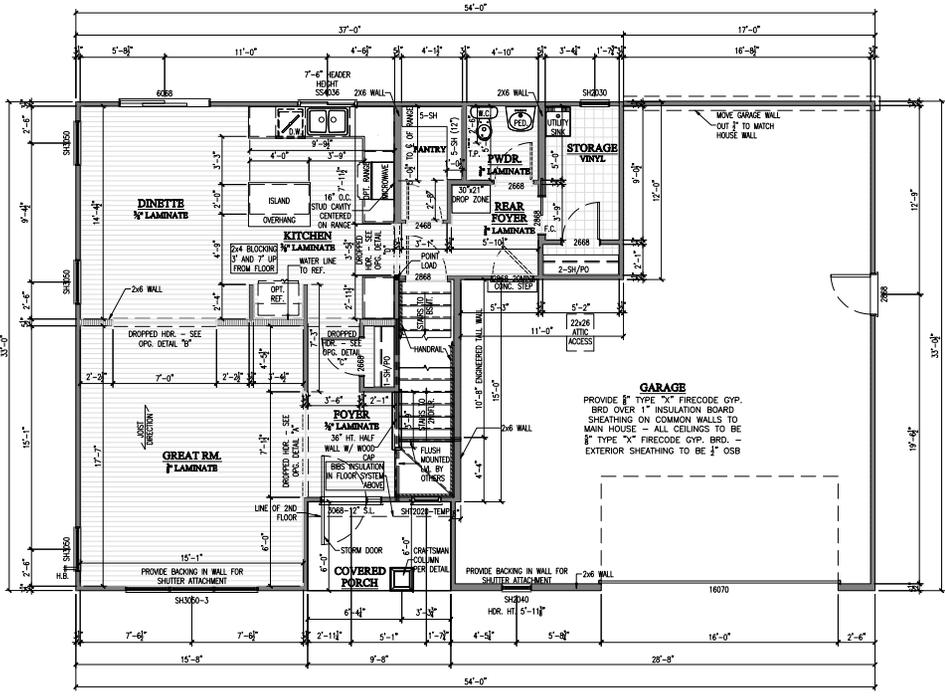
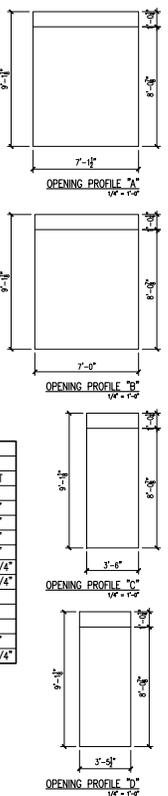
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1				
2				
3				
4				
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JOB NUMBER
46-021

SHEET NUMBER
A4

WINDOW SCHEDULE							
MARK	QTY	TYPE	GRIDS	MFR.	PART NO.	TEMPERED	ROUGH OPENING WIDTH HEIGHT
SH3050-2	1	TWIN SINGLE HUNG	THREE OVER ONE	VISIONS 3000	2-3050	NO	6'-0" 5'-0"
SH2040	1	SINGLE HUNG	TWO OVER ONE	VISIONS 3000	2040	NO	2'-0" 4'-0"
SH12020	2	SINGLE HUNG TRANSOM	TWO	VISIONS 3000	2020	NO	2'-0" 2'-0"
SS4630	3	SLIDER	CLEAR	VISIONS 3000	4630	NO	4'-6" 3'-0"
SH12020-TEMP	1	SINGLE HUNG TRANSOM	TWO	VISIONS 3000	2020 TEMP	YES	2'-0" 2'-0"
SH3050-3	1	TRIPLE SINGLE HUNG	THREE OVER ONE	VISIONS 3000	3-3050	NO	9'-0" 5'-0"
SS4036	1	SINGLE SLIDER	CLEAR	VISIONS 3000	4036	NO	4'-0" 3'-6"
SH3050	7	SINGLE HUNG	CLEAR	VISIONS 3000	3050	NO	3'-0" 5'-0"
SH2030-TEMP	1	SINGLE HUNG	CLEAR	VISIONS 3000	2030 TEMP	YES	2'-0" 3'-0"
SH3030	1	SINGLE HUNG	CLEAR	VISIONS 3000	3030	NO	3'-0" 3'-0"

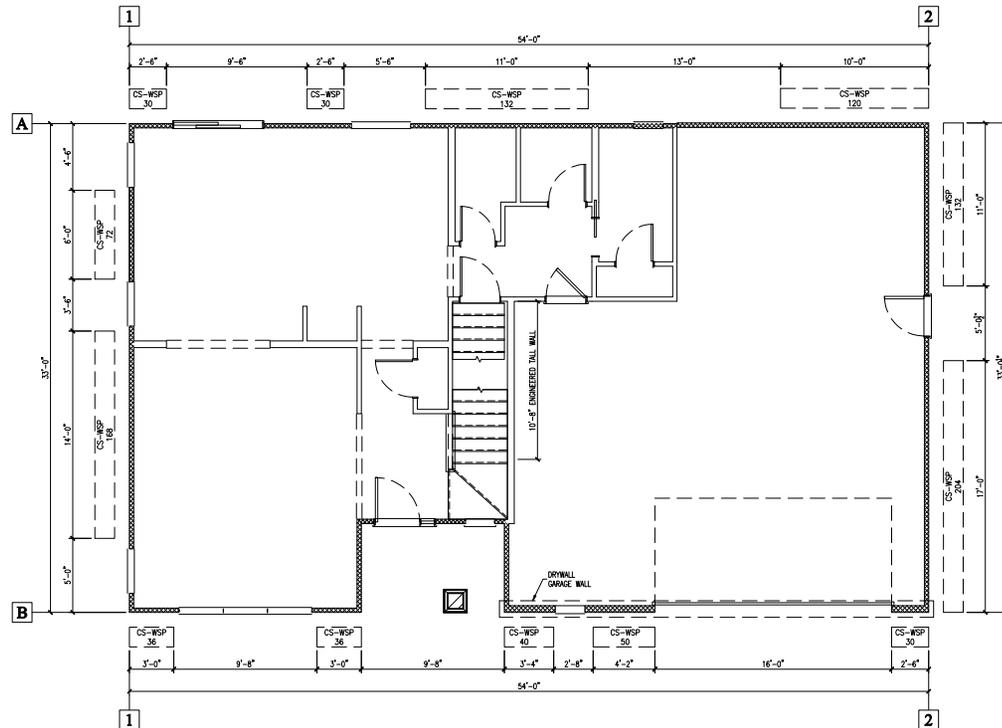
DOOR SCHEDULE						
MARK	QTY	TYPE	MFR.	STYLE/PART NO.	FIRE RATING	ROUGH-OPENING WIDTH HEIGHT
6068	1	SLIDING PATIO	VISIONS 3000	NO GRIDS/6068	NA	6'-0" 6'-8"
2068	1	SINGLE HINGE		PER COLOR SELECTIONS	NA	2'-2" 6'-11"
2468	1	SINGLE HINGE		PER COLOR SELECTIONS	NA	2'-6" 6'-11"
2868	6	SINGLE HINGE		PER COLOR SELECTIONS	NA	2'-8" 6'-11"
2868	4	SINGLE HINGE		PER COLOR SELECTIONS	NA	2'-10" 6'-11"
2868 20MIN.	1	SINGLE HINGE	THERMA TRU	PER COLOR SELECTIONS	20 MIN.	2'-10 1/4" 6'-10 1/4"
3068-12" S.L.	1	SINGLE HING W/SDLIGHT	THERMA TRU	6 PANEL W/12" HALF GLASS COLONIAL GRID	NA	4'-3 1/4" 6'-10 1/4"
2468	1	SINGLE POCKET		PER COLOR SELECTIONS	NA	4'-9" 7'-1"
2868	2	SINGLE POCKET		PER COLOR SELECTIONS	NA	5'-5" 7'-1"
16070	1	OVERHEAD	C.H.I.	SHORT PANEL	NA	---
5068	2	BI PASS		PER COLOR SELECTIONS	NA	5'-1" 6'-11"
2868	1	6 PANEL SINGLE HINGE	THERMA TRU	PER COLOR SELECTIONS	NA	2'-10 1/4" 6'-10 1/4"



ELEVATION 3
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
- FLOOR SYSTEM INFORMATION
 - FIRST FLOOR: 11" ENGINEERED "T" JOIST 16" O.C. SPACING PER MANUFACTURER
 - ROOF INFORMATION
 - REFER TO ROOF PLAN FOR ROOF INFORMATION
 - WALL INFORMATION
 - FIRST FLOOR EXTERIOR WALLS: 104 # 2x4 STUD GRADE OR BETTER @ 16" O.C. (9' FIRST FLOOR)
 - FIRST FLOOR INTERIOR WALLS: 104 # 2x4 STUD GRADE OR BETTER @ 16" O.C. (9' FIRST FLOOR)
 - WINDOW INFORMATION
 - ALL WINDOW TYPE AND SIZE SHOWN ARE FOR VISIONS 3000 SERIES WINDOWS - REFER TO CATALOG FOR DETAILS
 - ALL WINDOW HEADER OPENINGS TO BE 6'-11 3/4" FROM 1/FLOOR UNLESS NOTED
 - STAIR INFORMATION
 - BASEMENT TO FIRST FLOOR: 14 RISERS @ 7 1/2" MAX / 13 TREADS @ 10" WITH 1" NOSING (6' FOUNDATION WALL)
 - FIRST FLOOR TO SECOND FLOOR: 16 RISERS @ 7 1/2" MAX / 15 TREADS @ 10" WITH 1" NOSING (9' FIRST FLOOR)
 - PLAN INFORMATION
 - ALL DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD
 - THE CONDITIONS LISTED HERE ARE STANDARD FOR THIS PLAN ELEVATION(S). EXCEPTIONS ARE NOTED ON THE PLAN



FIRST FLOOR WALL BRACING SCHEDULE														
WALL BRACE LINE	BRACE MATERIAL	BRACE METHOD	BRACE LINE SPACING	REQUIRED BRACE UNITS	REQUIRED BRACE UNIT LENGTH	WIND EXPOSURE FACTOR	WALL HEIGHT FACTOR	EAVE TO RIDGE FACTOR	DRYWALL OMISSION FACTOR	WIND FACTOR TOTAL	TOTAL BRACE UNIT LENGTH (FT)	BRACE UNITS PROVIDED	MAXIMUM OPENING HT.	DETAIL
A	3/8" OSB SHEATHING	CONTINUOUS	40.00'	NA	15.60'	1.00	1.00	1.00	1.40	1.40	21.84'	26.00'	NA	PF (PORTAL FRAME) - SEE SHEET D7
B	3/8" OSB SHEATHING	CONTINUOUS	40.00'	NA	15.60'	1.00	1.00	1.00	1.00	1.00	15.60'	16.00'	NA	
1	3/8" OSB SHEATHING	CONTINUOUS	60.00'	NA	19.60'	1.00	1.00	1.00	1.00	1.00	19.60'	20.00'	NA	
2	3/8" OSB SHEATHING	CONTINUOUS	60.00'	NA	19.60'	1.00	1.00	1.00	1.40	1.40	27.44'	28.00'	NA	

NOTES:
 WIND FACTOR TOTAL INCLUDES WIND EXPOSURE FACTOR, WALL HEIGHT FACTOR AND EAVE TO RIDGE FACTOR
 REQUIRED BRACE UNIT LENGTH INCORPORATES WHETHER WALL SUPPORTS ROOF & CEILING ONLY; ONE FLOOR, ROOF AND CEILING OR TWO FLOORS, ROOF AND CEILING

ALL ELEVATIONS
FIRST FLOOR BRACING PLAN
 SCALE: 1/4" = 1'-0"

HOMEOWNER INFORMATION
 KEVIN A. HENNINGER, MANAGER
 1107 6TH
 JACKSON, WI

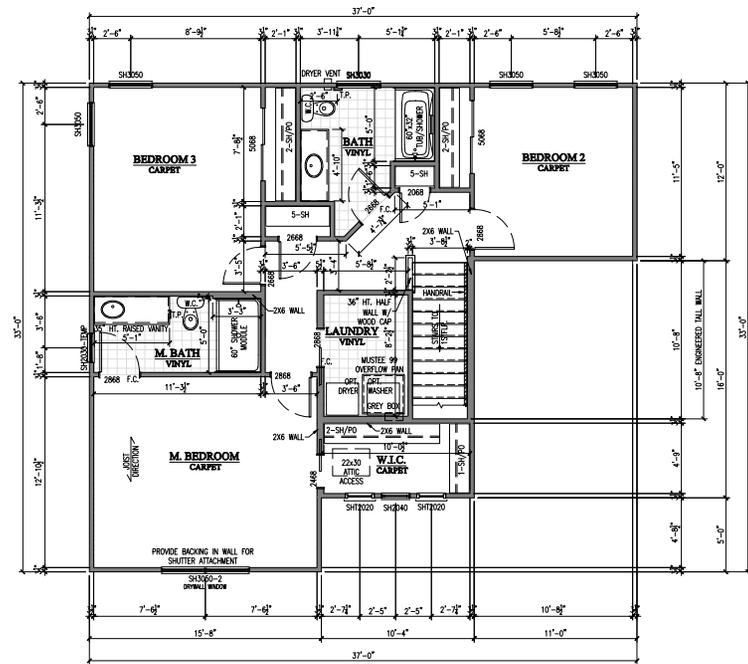
MODEL SERIES
THE ELMWOOD

SHEET TITLE
**FIRST FLOOR BRACING PLAN -
 ALL ELEVATIONS**

NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
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JOB NUMBER
 46-021

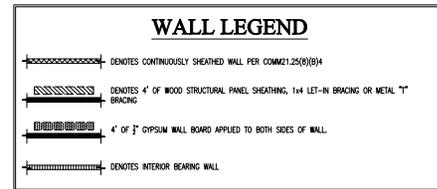
SHEET NUMBER
A5



ELEVATION 3
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
- FLOOR SYSTEM INFORMATION**
 - SECOND FLOOR: 1 1/2" ENGINEERED "T" JOIST 16" O.C. SPACING PER MANUFACTURER
 - ROOF INFORMATION**
 - REFER TO ROOF PLAN FOR ROOF INFORMATION
 - WALL INFORMATION**
 - SECOND FLOOR EXTERIOR WALLS: 92 # 2x4 STUD GRADE OR BETTER @ 16" O.C.
 - SECOND FLOOR INTERIOR WALLS: 92 # 2x4 STUD GRADE OR BETTER @ 16" O.C.
 - WINDOW INFORMATION**
 - ALL WINDOW TYPE AND SIZE SHOWN ARE FOR VISIONS 3000 SERIES WINDOWS- REFER TO CATALOG FOR DETAILS
 - ALL WINDOW HEADER OPENINGS TO BE 6"-11 3/4" FROM T/FLOOR UNLESS NOTED
 - STAIR INFORMATION**
 - REFER TO FIRST FLOOR PLAN FOR STAIR INFORMATION
 - PLAN INFORMATION**
 - ALL DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD
 - THE CONDITIONS LISTED HERE ARE STANDARD FOR THIS PLAN ELEVATION(S). EXCEPTIONS ARE NOTED ON THE PLAN

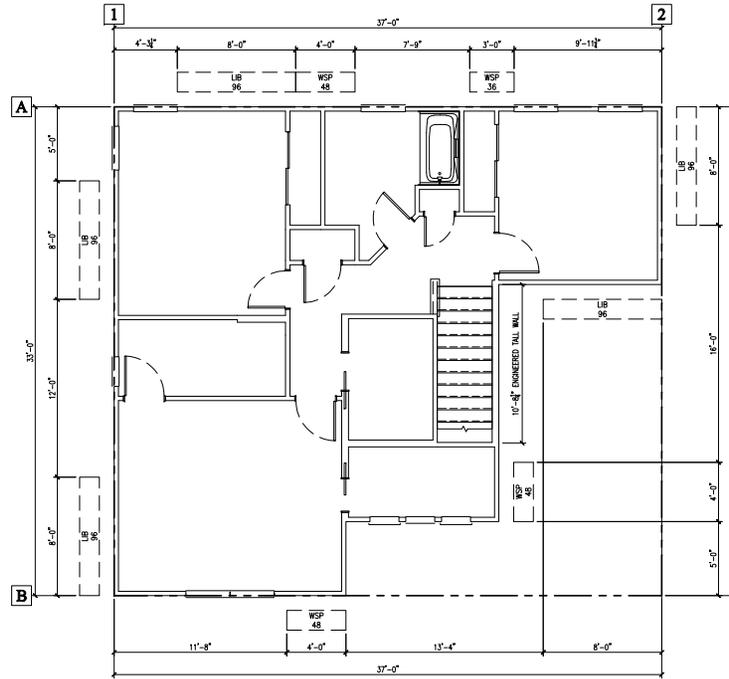


NO.	DATE	DESCRIPTION OF REVISION	ISSUE DATE	BY
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JOB NUMBER
 46-021

SHEET NUMBER

A6



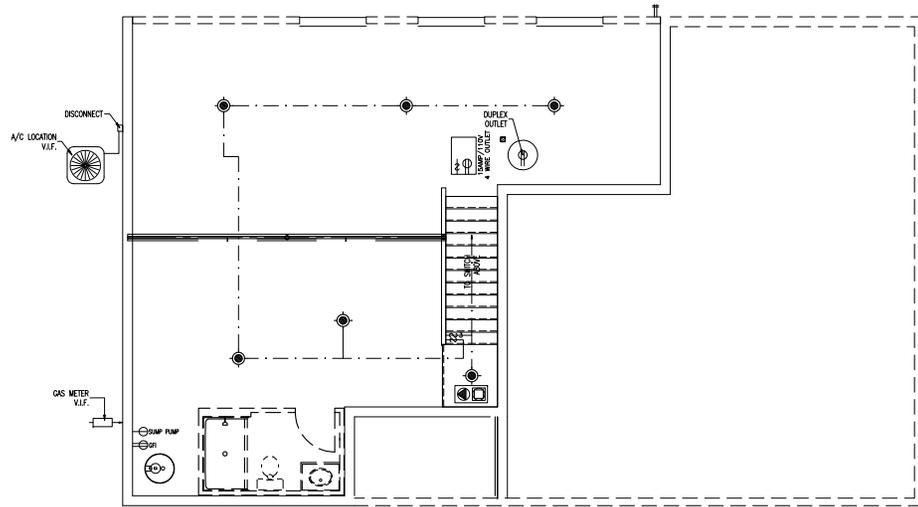
SECOND FLOOR WALL BRACING SCHEDULE														
WALL BRACE LINE	BRACE MATERIAL	BRACE METHOD	BRACE LINE SPACING	REQUIRED BRACE UNITS	REQUIRED BRACE UNIT LENGTH	WIND EXPOSURE FACTOR	WALL HEIGHT FACTOR	EAVE TO RIDGE FACTOR	DRYWALL OMISSION FACTOR	WIND FACTOR TOTAL	TOTAL BRACE UNIT LENGTH (FT)	BRACE UNITS PROVIDED	MAXIMUM OPENING HT.	DETAIL
A	1/2" OSB SHEATHING-WOOD SHEATHED PANEL (WSP)/LET IN BRACING (LB)	INTERMITTENT	50.00'	2.00	8.00'	1.00	0.90	1.00	1.00	0.90	7.20'	2.50	NA	-
B	1/2" OSB SHEATHING-WOOD SHEATHED PANEL (WSP)/LET IN BRACING (LB)	INTERMITTENT	50.00'	2.00	8.00'	1.00	0.90	1.00	1.00	0.90	7.20'	2.00	NA	-
1	1/2" OSB SHEATHING-WOOD SHEATHED PANEL (WSP)/LET IN BRACING (LB)	INTERMITTENT	50.00'	2.00	8.00'	1.00	0.90	1.00	1.00	0.90	7.20'	2.00	NA	-
2	1/2" OSB SHEATHING-WOOD SHEATHED PANEL (WSP)/LET IN BRACING (LB)	INTERMITTENT	50.00'	2.00	8.00'	1.00	0.90	1.00	1.00	0.90	7.20'	2.00	NA	-

NOTES
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 REQUIRED BRACE UNIT LENGTH INCORPORATES WHETHER WALL SUPPORTS ROOF & CEILING ONLY; ONE FLOOR, ROOF AND CEILING OR TWO FLOORS, ROOF AN CEILING

ALL ELEVATIONS
SECOND FLOOR BRACING PLAN
 SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION OF REVISION	BY
1	7.28.15	PLAN DRAFT 1	KAM
2	8.14.15	PLAN DRAFT 2	KAM
3	8.14.15	PLAN DRAFT 2	KAM
4	9.21.15	PLAN DRAFT 4	KAM

ISSUE DATE: _____
 DRAWN BY: _____



ELEVATION 3

*** THE LOCATION OF THE OUTLETS SHOWN ARE TO BE VERIFIED IN THE FIELD AND TO COMPLY WITH THE ELECTRICAL CODE ***

BASEMENT ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

TIM O'BRIEN
homes
N77 W24075 Paul C. Sank 100
Brookfield, WI 53007
0 (262) 542-2790 (Home)

HOMEOWNER INFORMATION
KEVIN J. HENNINGER, LICENSED ELECTRICIAN
1107 401
JACKSON, WI

MODEL SERIES
THE ELMWOOD

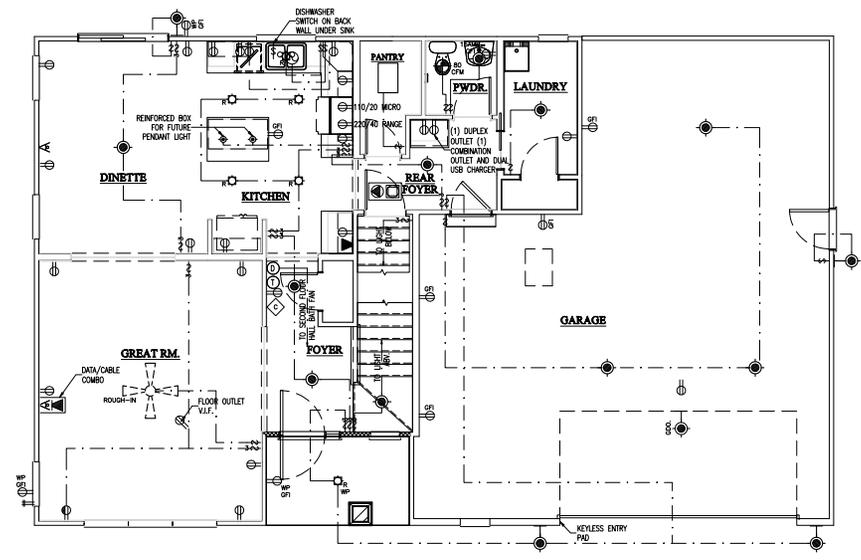
SHEET TITLE
BASEMENT ELECTRICAL PLAN -
OPTIONS - ALL ELEVATIONS

ELECTRICAL SYMBOLS							
	SINGLE POLE SWITCH	GFI	INDICATES GROUND FAULT INTERRUPT		SEC P SECURITY PANEL		SMOKE DETECTOR / CARBON MONOXIDE SENSOR
	THREE WAY SWITCH	WP	INDICATES WATERPROOF		R RECESSED CAN FIXTURE		1 x 2 FLUORESCENT PACKAGE
	FOUR WAY SWITCH	∇	DISPOSAL		DECORATIVE CEILING FIXTURE		HEAT LAMP/TIMER PACKAGE
	DIMMER SWITCH ROTARY	⬠	DOOR BELL CHIMES		Ceiling Fan w/ Light ONE SWITCH		FAN / HEAT LAMP / TIMER PACKAGE
	DIMMER SWITCH SLIDE	⊞	TELEVISION OUTLET		Ceiling Fan w/ Light TWO SWITCHES		FAN / LIGHT
	SINGLE OUTLET (15-20 AMP)	⊞	TELEPHONE OUTLET		PC		PULL CHAIN FIXTURE
	DUPLEX OUTLET (15-20 AMP)	⊞	DEDICATED TELEPHONE OUTLET		DECORATIVE WALL FIXTURE		GARAGE DOOR OPENER
	REINFORCED CEILING OUTLET (15-20 AMP)		STRUCTURAL WIRING SINGLE CUTBACK/ROSE DUPLEX		1 x 4 FLUORESCENT PACKAGE		ELECTRICAL METER
	DUPLEX OUTLET (15-20 AMP) FLOOR MOUNTED		STRUCTURAL WIRING DUAL CUTBACK/ROSE DUPLEX		2 x 4 FLUORESCENT PACKAGE		ELECTRICAL PANEL(400/32-8) 200 AMP SERVICE
	CENTRAL VAC, GAS COOK TOP, WASHER MICROWAVE (110V-20 AMP) DEDICATED		SPEAKER		CEILING MOUNTED SMOKE DETECTOR		DEHUMIDISTAT
	ELECTRIC COOK TOP, ELECTRIC DRYER (220V-30 AMP) DEDICATED		THERMOSTAT		CARBON MONOXIDE DETECTOR		DOORBELL PUSH BUTTON
	ELECTRIC RANGE (220V-40 AMP) DEDICATED		PHOTOCELL		GARAGE DOOR OPENER PUSH BUTTON		

NO.	DATE	DESCRIPTION OF REVISION	BY	DATE
1	7.28.15	PLAN DRAFT 1		
2	8.14.15	PLAN DRAFT 2		
3	7.28.15	PLAN DRAFT 1		
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JOB NUMBER
46-021

SHEET NUMBER
A8



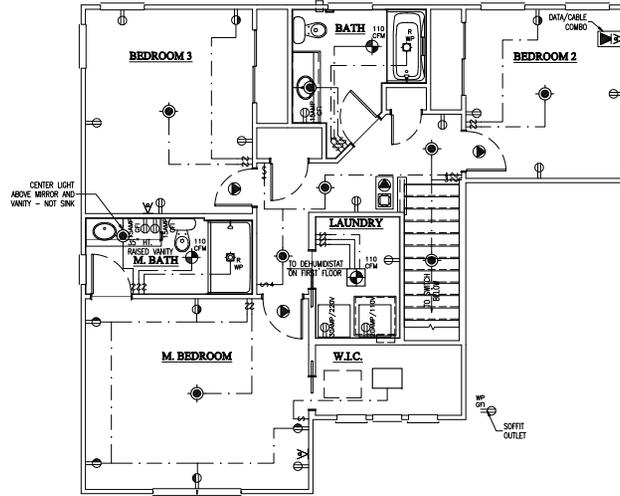
ELEVATION 3
*** THE LOCATION OF THE OUTLETS SHOWN ARE TO BE VERIFIED IN THE FIELD AND TO COMPLY WITH THE ELECTRICAL CODE ***
FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS							
	SINGLE POLE SWITCH	GFI	INDICATES GROUND FAULT INTERRUPT		SEC P SECURITY PANEL		SMOKE DETECTOR / CARBON MONOXIDE SENSOR
	THREE WAY SWITCH	WP	INDICATES WATERPROOF		R RECESSED CAN FIXTURE		1 x 2 FLUORESCENT PACKAGE
	FOUR WAY SWITCH	∅	DISPOSAL		DECORATIVE CEILING FIXTURE		HEAT LAMP/TIMER PACKAGE
	DIMMER SWITCH ROTARY	∅	DOOR BELL CHIMES		CFP CEILING FAN ONE SWITCH		FAN / HEAT LAMP / TIMER PACKAGE
	DIMMER SWITCH SLIDE	TV	TELEVISION OUTLET		LCFF CEILING FAN W/LIGHT TWO SWITCHES		FAN
	DIMENSIONS WITH SYMBOL INDICATES HEIGHT ABOVE FLOOR	TE	TELEPHONE OUTLET		PC PULL CHAIN FIXTURE		FAN / LIGHT
	SINGLE OUTLET (15-20 AMP)	D	DEDICATED TELEPHONE OUTLET		DW DECORATIVE WALL FIXTURE		GDO GARAGE DOOR OPENER
	DUPLEX OUTLET (15-20 AMP)	SW	STRUCTURAL WIRING SINGLE COTS/RGB DUPLEX		1 x 4 FLUORESCENT PACKAGE		ELECTRICAL METER
	REINFORCED CEILING OUTLET (15-20 AMP)	SW	STRUCTURAL WIRING DUAL COTS/RGB DUPLEX		2 x 4 FLUORESCENT PACKAGE		ELECTRICAL PANEL(400/32-8) 250 AMP SERVICE
	DUPLEX OUTLET (15-20 AMP) FLOOR MOUNTED	SW	SPEAKER		CSM CEILING MOUNTED SMOKE DETECTOR		DEHUMIDISTAT
	CENTRAL VAC, GAS COOK TOP, WASHER MICROWAVE (110V-20 AMP) DEDICATED	VVC	THERMOSTAT		CMO CARBON MONOXIDE DETECTOR		DBPB DOORBELL PUSH BUTTON
	ELECTRIC COOK TOP, ELECTRIC DRYER (220V-30 AMP) DEDICATED	PH	PHOTOCELL		GDOPB GARAGE DOOR OPENER PUSH BUTTON		
	ELECTRIC RANGE (220V-40 AMP) DEDICATED						

NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1	9.2.15	PLAN DRAFT 1		
2	8.14.15	PLAN DRAFT 2		
3	7.28.15	PLAN DRAFT 1		

JOB NUMBER
46-021

SHEET NUMBER
A9



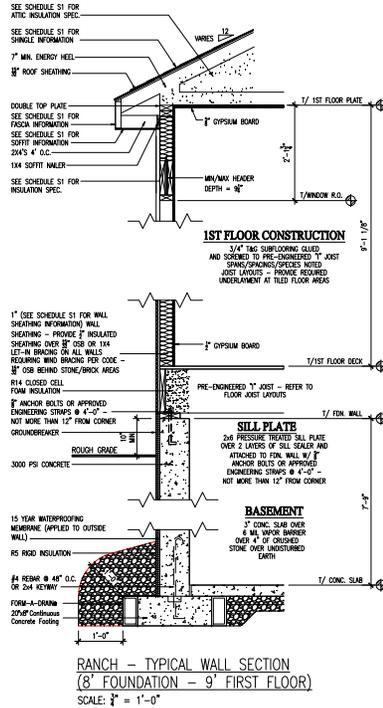
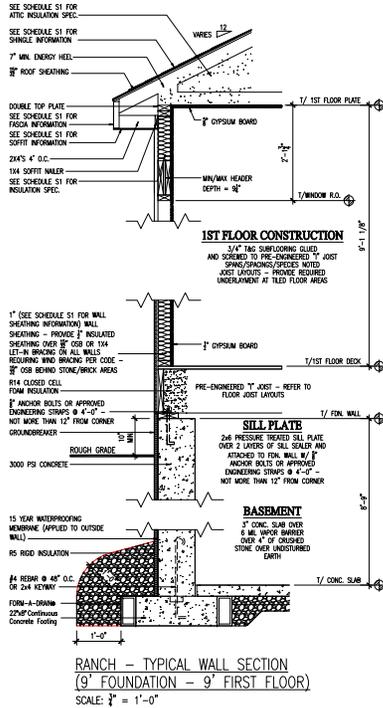
ELEVATION 3
 *** THE LOCATION OF THE OUTLETS SHOWN ARE TO BE VERIFIED IN THE FIELD AND TO COMPLY WITH THE ELECTRICAL CODE ***
SECOND FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1	7.28.15	PLAN DRAFT 1		
2	8.14.15	PLAN DRAFT 2		
3	7.28.15	PLAN DRAFT 1		
4				
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JOB NUMBER
46-021

SHEET NUMBER
A10

ELECTRICAL SYMBOLS							
	SINGLE POLE SWITCH	GFI	INDICATES GROUND FAULT INTERRUPT		SECURITY PANEL		SMOKE DETECTOR / CARBON MONOXIDE SENSOR
	THREE WAY SWITCH	WP	INDICATES WATERPROOF		RECESSED CAN FIXTURE		1 x 2 FLUORESCENT PACKAGE
	FOUR WAY SWITCH		DISPOSAL		DECORATIVE CEILING FIXTURE		HEAT LAMP/TIMER PACKAGE
	DIMMER SWITCH ROTARY		DOOR BELL CHIMES		CEILING FAN ONE SWITCH		FAN / HEAT LAMP / TIMER PACKAGE
	DIMMER SWITCH SLIDE		TELEVISION OUTLET		CEILING FAN W/LIGHT TWO SWITCHES		FAN / LIGHT
	SINGLE OUTLET (15-20 AMP)		TELEPHONE OUTLET		STRUCTURAL WIRING SINGLE GUTS/RGB DUPLEX		PULL CHAIN FIXTURE
	DUPLEX OUTLET (15-20 AMP)		DEDICATED TELEPHONE OUTLET		STRUCTURAL WIRING DUAL GUTS/RGB DUPLEX		DECORATIVE WALL FIXTURE
	REINFORCED CEILING OUTLET (15-20 AMP)		DUPLEX OUTLET (15-20 AMP) ONE HALF SWITCHED		SPEAKER		GARAGE DOOR OPENER
	DUPLEX OUTLET (15-20 AMP) FLOOR MOUNTED		V.C. (VACUUM CLEANER)		THERMOSTAT		ELECTRICAL METER
	CENTRAL VAC, GAS COOK TOP, WASHER MICROWAVE (110V-20 AMP) DEDICATED		PHOTOCELL		CEILING MOUNTED SMOKE DETECTOR		ELECTRICAL PANEL(400/32-8) 200 AMP SERVICE
	ELECTRIC COOK TOP, ELECTRIC DRYER (220V-30 AMP) DEDICATED				CARBON MONOXIDE DETECTOR		DEHUMIDISTAT
	ELECTRIC RANGE (220V-40 AMP) DEDICATED						DOORBELL PUSH BUTTON
							GARAGE DOOR OPENER PUSH BUTTON

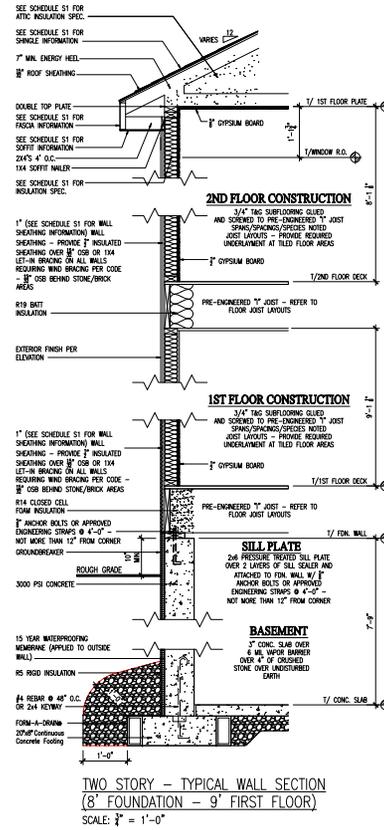
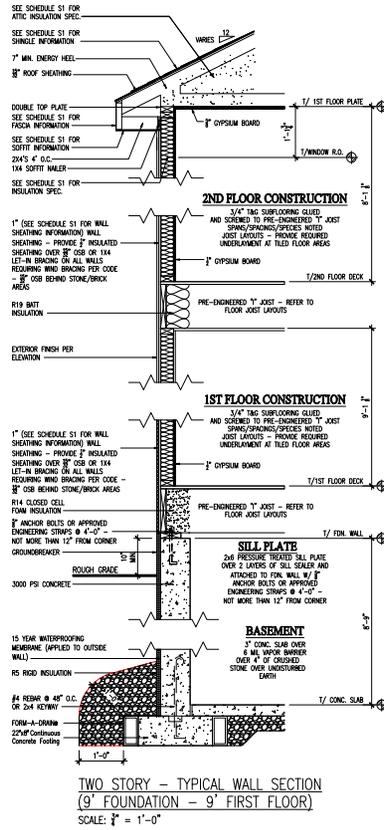


NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
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JOB NUMBER

SHEET NUMBER

D1

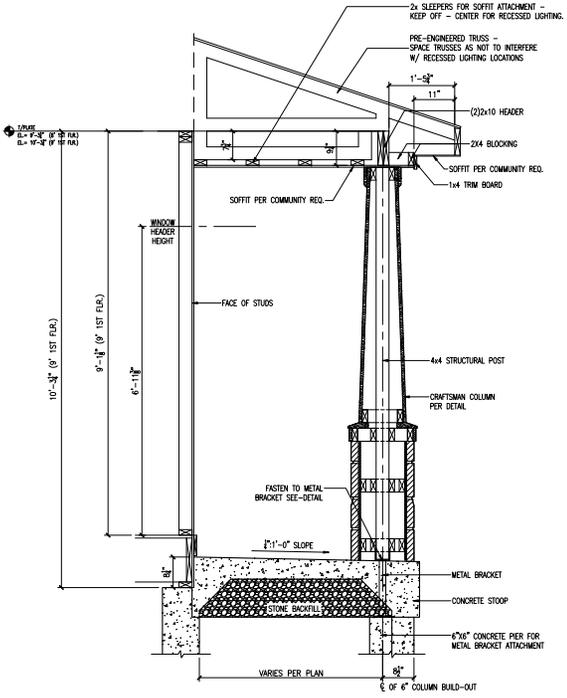


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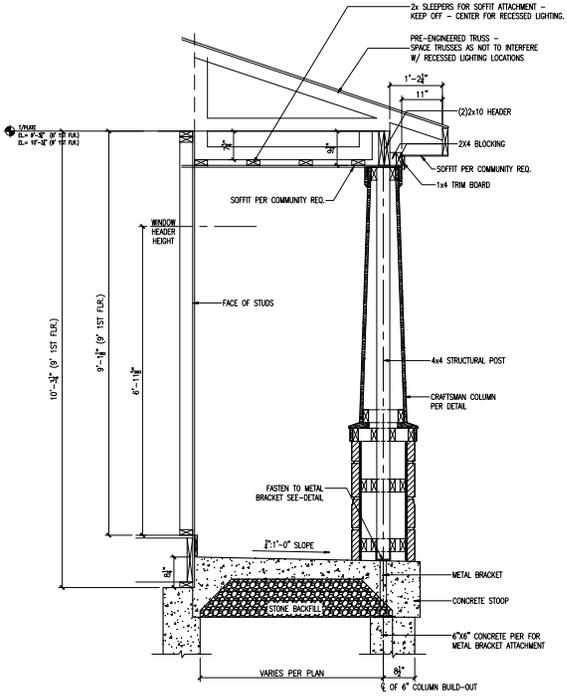
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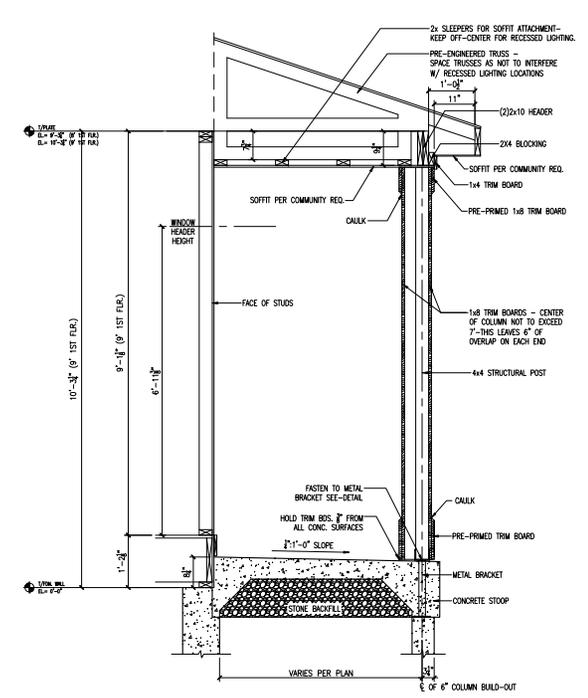
SHEET NUMBER
D3



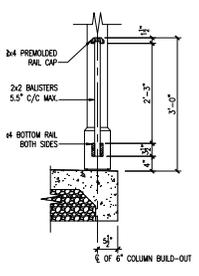
COVERED PORCH DETAIL W/ CRAFTSMAN COLUMN
(PORCH HEADER MOVES BACK)
SCALE: 3/8" = 1'-0"



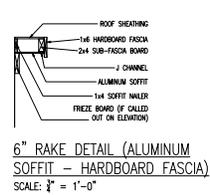
COVERED PORCH DETAIL W/ CRAFTSMAN COLUMN
(CONC. STOOP PULLED OUT 4")
SCALE: 3/8" = 1'-0"



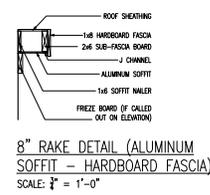
COVERED PORCH DETAIL (STANDARD)
SCALE: 3/8" = 1'-0"



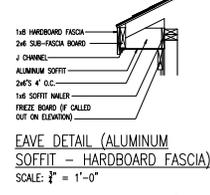
FRONT PORCH RAILING DETAIL
SCALE: 3/8" = 1'-0"



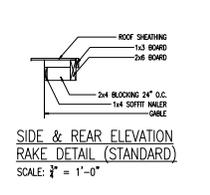
6" RAKE DETAIL (ALUMINUM SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



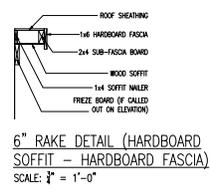
8" RAKE DETAIL (ALUMINUM SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



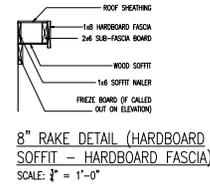
EAVE DETAIL (ALUMINUM SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



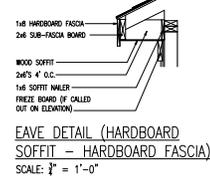
SIDE & REAR ELEVATION RAKE DETAIL (STANDARD)
SCALE: 3/8" = 1'-0"



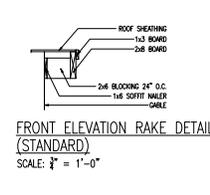
6" RAKE DETAIL (HARDBOARD SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



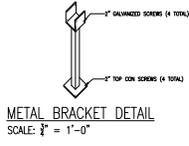
8" RAKE DETAIL (HARDBOARD SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



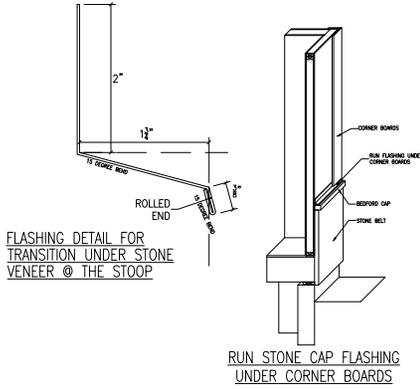
EAVE DETAIL (HARDBOARD SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



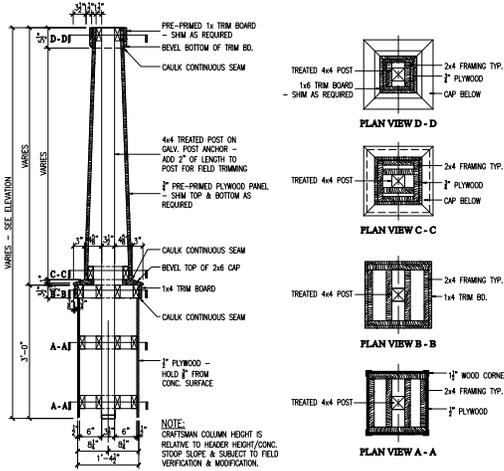
FRONT ELEVATION RAKE DETAIL (STANDARD)
SCALE: 3/8" = 1'-0"



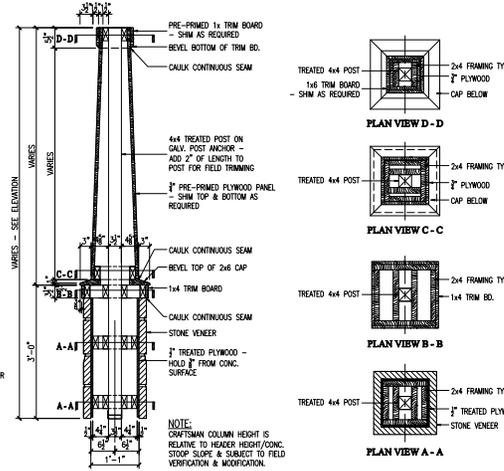
METAL BRACKET DETAIL
SCALE: 3/8" = 1'-0"



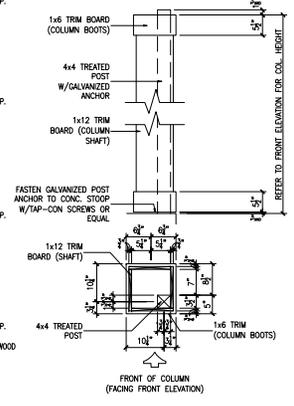
FLASHING DETAIL FOR TRANSITION UNDER STONE VENEER @ THE STOOP
RUN STONE CAP FLASHING UNDER CORNER BOARDS



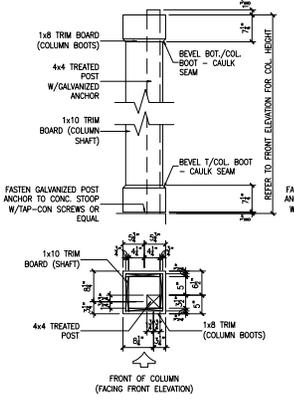
TAPERED CRAFTSMAN COLUMN BUILD-OUT (WOOD BASE)
SCALE: 1/2" = 1'-0"



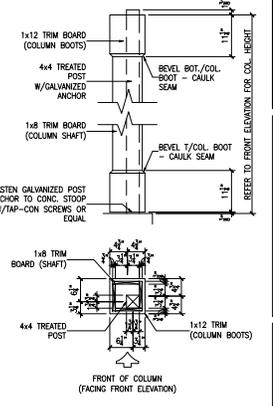
TAPERED CRAFTSMAN COLUMN BUILD-OUT (STONE BASE)
SCALE: 1/2" = 1'-0"



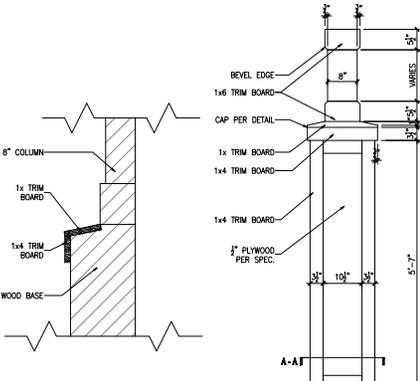
12" COLUMN DETAIL
SCALE: 1/2" = 1'-0"



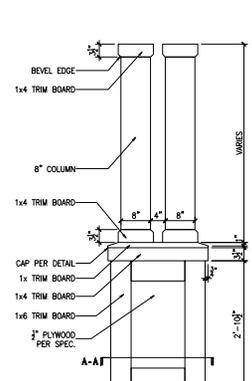
10" COLUMN DETAIL
SCALE: 1/2" = 1'-0"



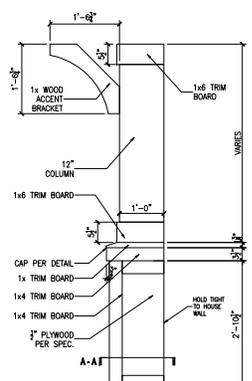
EXTERIOR COLUMN DETAIL (STANDARD)
SCALE: 1/2" = 1'-0"



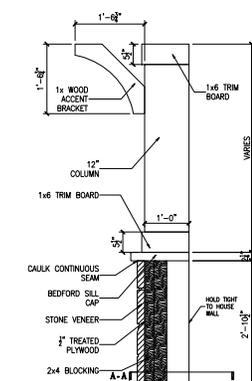
WOOD BASE CAP DETAIL
SCALE: 1/2" = 1'-0"



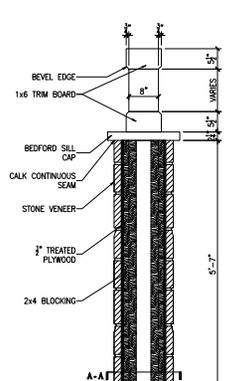
CRAFTSMAN COLUMN W/8" COULMN BUILD-OUT (WOOD BASE)
SCALE: 1/2" = 1'-0"



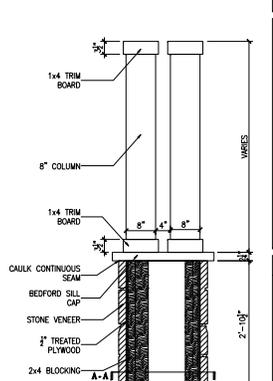
CRAFTSMAN COLUMN (AZALEA ELEV. 3) W/12" COULMN BUILD-OUT (WOOD BASE)
SCALE: 1/2" = 1'-0"



CRAFTSMAN COLUMN (AZALEA ELEV. 3) W/12" COULMN BUILD-OUT (STONE BASE)
SCALE: 1/2" = 1'-0"



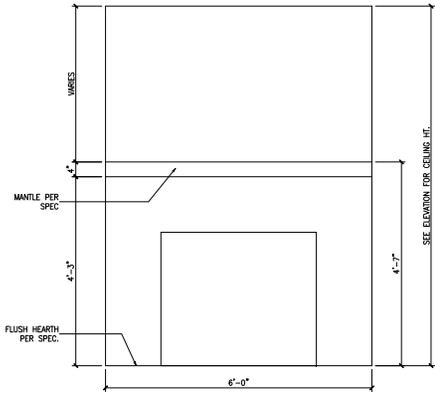
PRAIRIE COLUMN BUILD-OUT (STONE BASE)
SCALE: 1/2" = 1'-0"



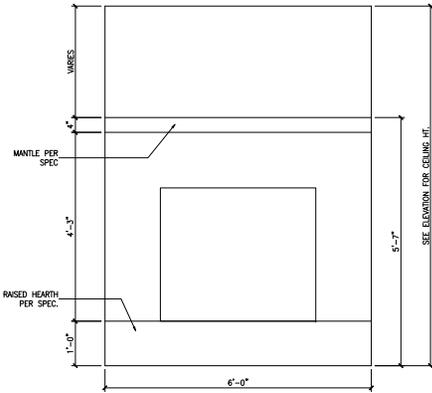
CRAFTSMAN COLUMN BUILD-OUT (STONE BASE)
SCALE: 1/2" = 1'-0"

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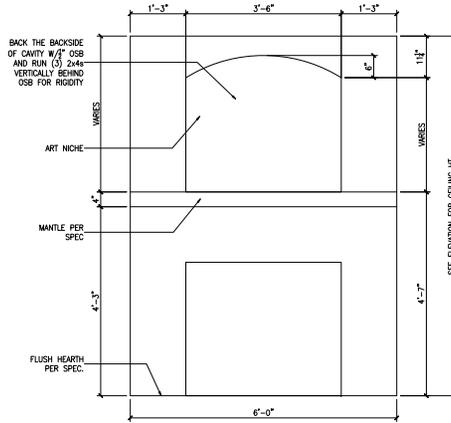
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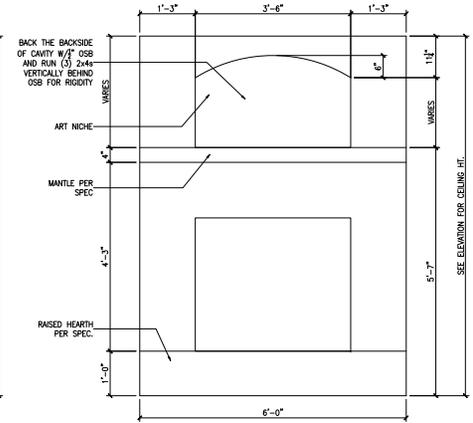
FIREPLACE DETAIL "A"
SCALE: 1/2" = 1'-0"



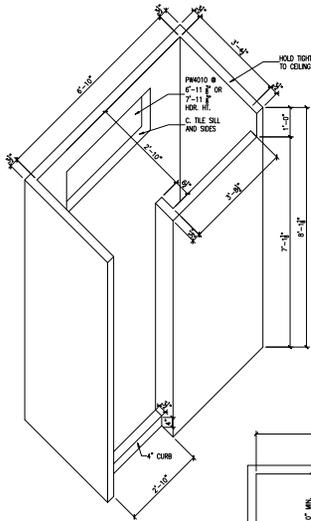
FIREPLACE DETAIL "B"
SCALE: 1/2" = 1'-0"



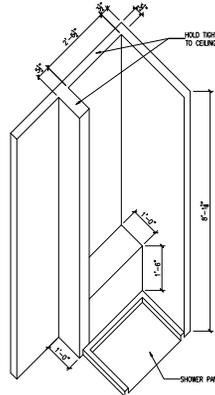
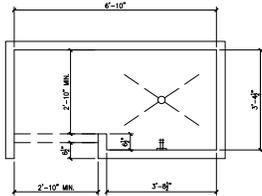
FIREPLACE DETAIL "C"
SCALE: 1/2" = 1'-0"



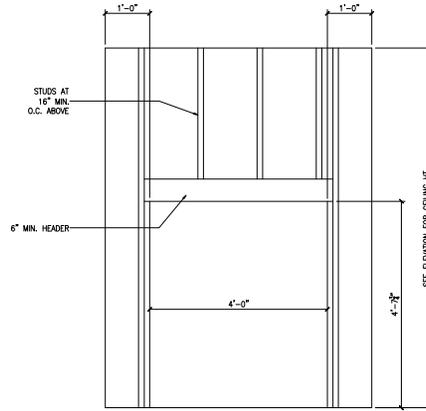
FIREPLACE DETAIL "D"
SCALE: 1/2" = 1'-0"



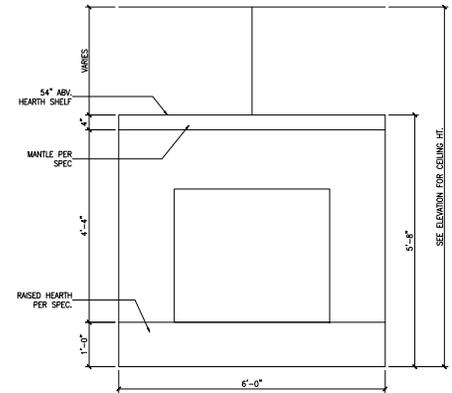
SNAIL SHOWER CUT-AWAY PROFILE
SCALE: 1/2" = 1'-0"



C-TILE SHOWER W/ SEAT (BENCH CUT-AWAY PROFILE)
SCALE: 1/2" = 1'-0"

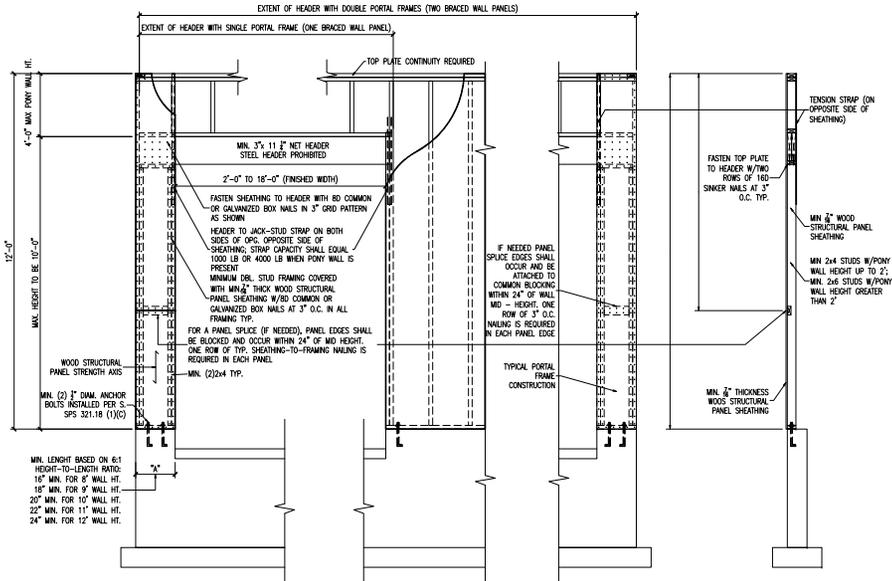


FIREPLACE R.O. DETAIL
SCALE: 1/2" = 1'-0"

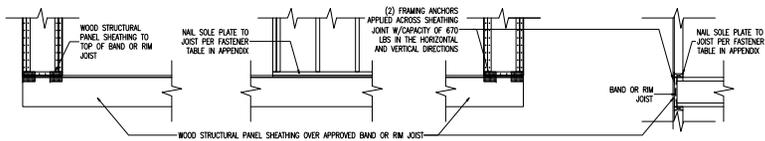


FIREPLACE DETAIL "E"
SCALE: 1/2" = 1'-0"

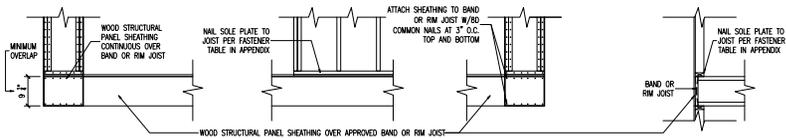
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
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OVER CONCRETE WALL



OVER RAISED WOOD FLOOR OR SECOND FLOOR - FRAMING ANCHOR OPTION



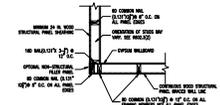
OVER RAISED WOOD FLOOR OR SECOND FLOOR - WOOD STRUCTURAL PANEL OVERLAP OPTION

CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING AND EXTENDED HEADERS SHP REV.6/19/2014

4 PORTAL FRAME DETAIL (PF)

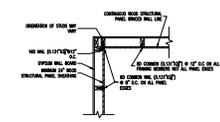
SCALE: 1/2" = 1'-0"

CODE REFERENCES
WISCONSIN UNIFORM BUILDING CODE (ONE AND TWO STORY DWELLINGS) Comm 21.25-K
2007 INTERNATIONAL RESIDENTIAL BUILDING CODE SUPPLEMENT R902.10.4.6
REFERENCE TABLE TO RIGHT FOR TENSION STRAP CAPACITY REQUIRED FOR RESISTING WIND PRESSURES PERPENDICULAR TO 6:1 ASPECT RATIO
WALLS
REFERENCE TABLE TO RIGHT FOR MAXIMUM PONY WALL HEIGHT, MAXIMUM WALL HEIGHT AND MAXIMUM OPENING WIDTH (FINISHED)



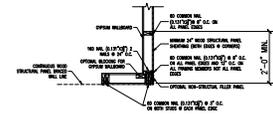
OUTSIDE CORNER DETAIL SHP REV. 4/28/09

1 BRACE PANEL DETAIL
SCALE: 1/2" = 1'-0"



INSIDE CORNER DETAIL SHP REV. 4/28/09

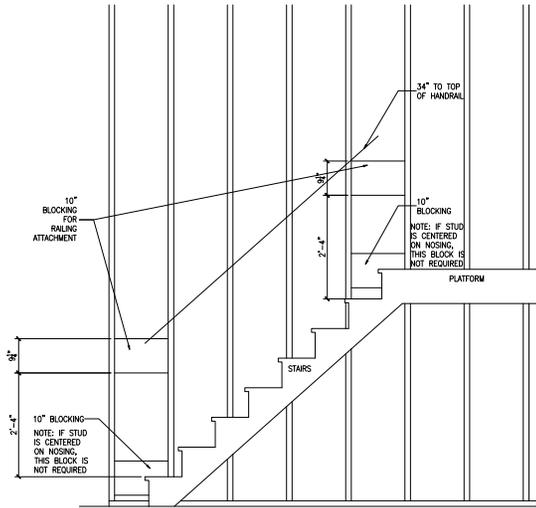
2 BRACE PANEL DETAIL
SCALE: 1/2" = 1'-0"



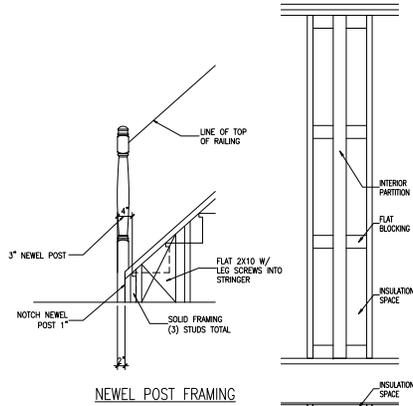
GARAGE CORNER DETAIL SHP REV. 4/28/09

3 BRACE PANEL DETAIL
SCALE: 1/2" = 1'-0"

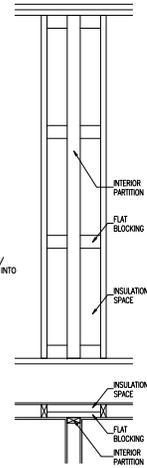
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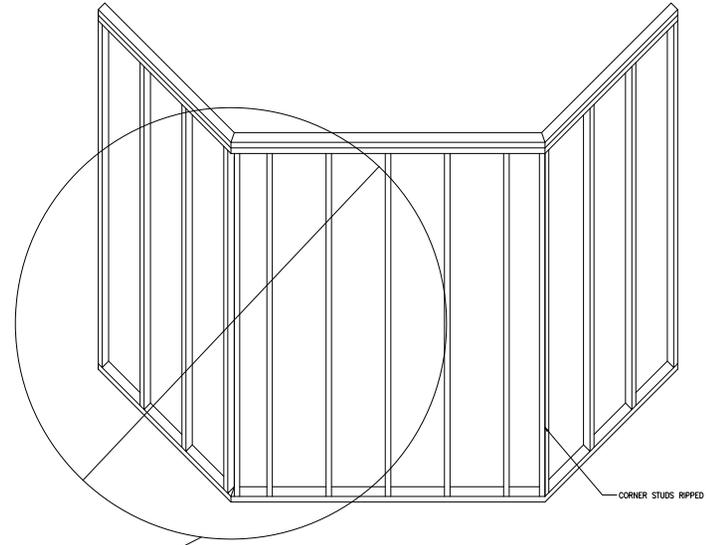
STAIR BLOCKING DETAIL



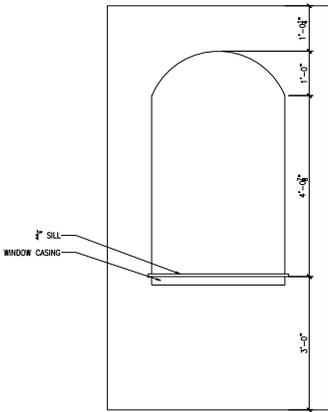
NEWEL POST FRAMING



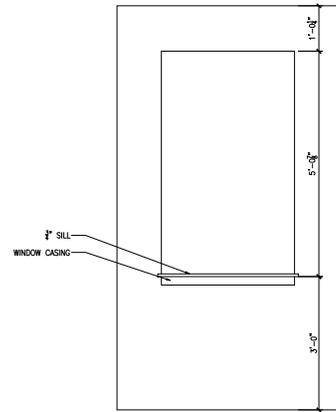
PARTITION TO EXTERIOR WALL CONNECTION
SCALE: 1/2" = 1'-0"



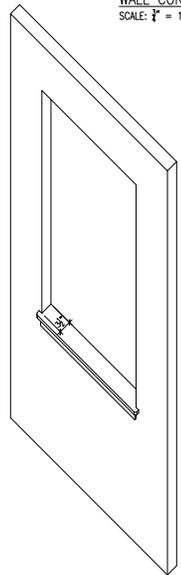
45 DEGREE ANGLE - CORNER FRAMING DETAIL



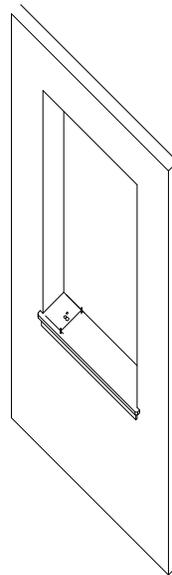
ART NICHE PROFILE - OPT. ARCH



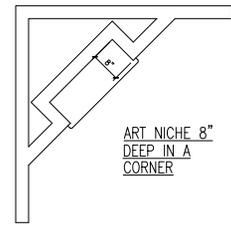
ART NICHE PROFILE



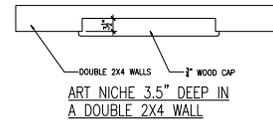
ART NICHE 3 1/2" DEEP AXON



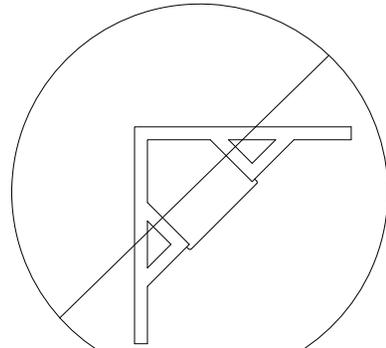
ART NICHE 8" DEEP AXON



ART NICHE 8" DEEP IN A CORNER

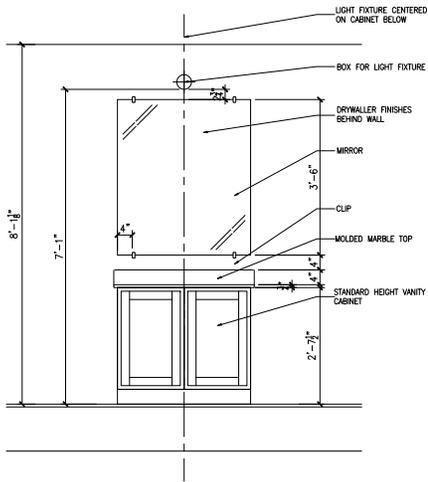


ART NICHE 3.5" DEEP IN A DOUBLE 2X4 WALL

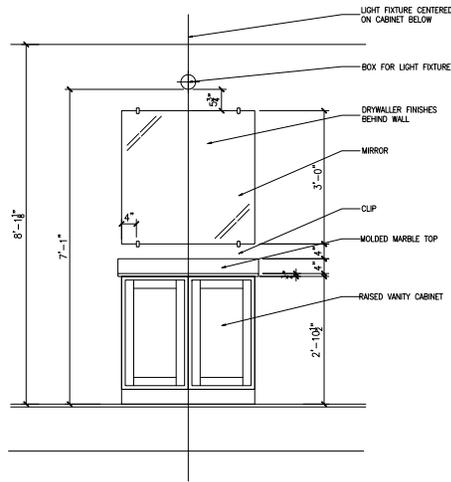


NOTE: NO POINTED ART NICHE IN CORNERS

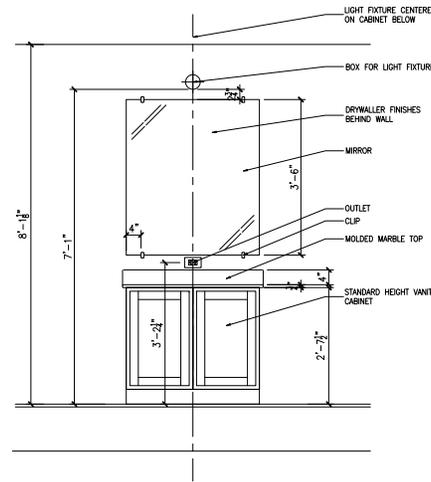
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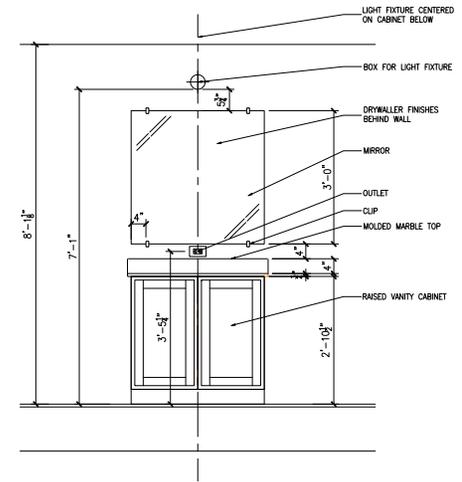
STANDARD HEIGHT VANITY
CABINET INSTALLATION
SCALE: 3/8" = 1'-0"



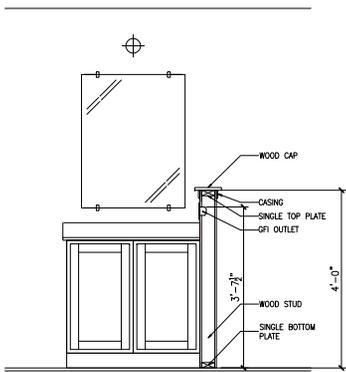
RAISED HEIGHT VANITY
CABINET INSTALLATION
SCALE: 3/8" = 1'-0"



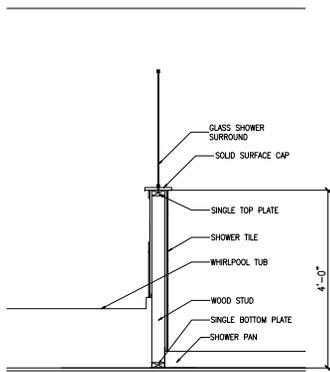
STANDARD HEIGHT VANITY CABINET
WITH DUPLEX OUTLET INSTALLATION
SCALE: 3/8" = 1'-0"



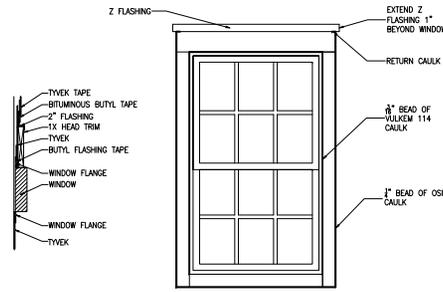
RAISED HEIGHT VANITY CABINET
WITH DUPLEX OUTLET INSTALLATION
SCALE: 3/8" = 1'-0"



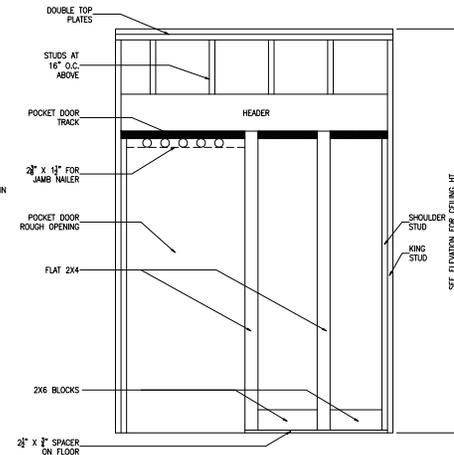
STANDARD HALF WALL IN BATHROOM
(SINGLE TOP PLATE)
SCALE: 3/8" = 1'-0"



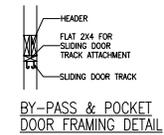
STANDARD HALF WALL IN BATHROOM
W/GLASS ON TOP
SCALE: 3/8" = 1'-0"



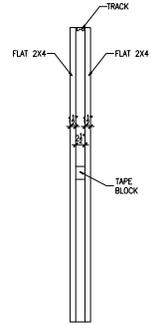
TYPICAL WINDOW INSTALLATION
SCALE: 3/8" = 1'-0"



2X6 WALL - POCKET DOOR R.O. DETAIL
SCALE: 3/8" = 1'-0"

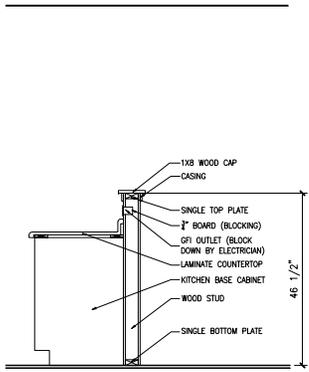


BY-PASS & POCKET
DOOR FRAMING DETAIL

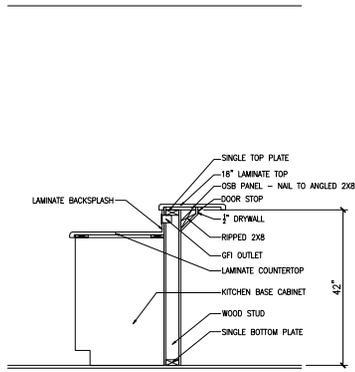


2X6 WALL -
POCKET DOOR R.O.
SECTION

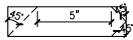
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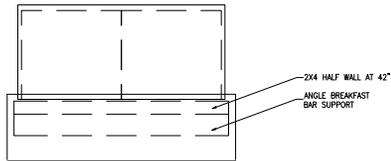
STANDARD KITCHEN HALF WALL
SCALE: 1/4" = 1'-0"



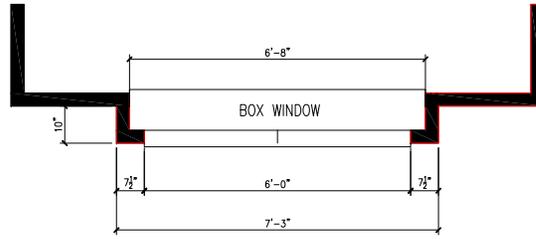
RAISED 18" BREAKFAST BAR OVER HALF WALL
(NEW DETAIL)
SCALE: 1/4" = 1'-0"



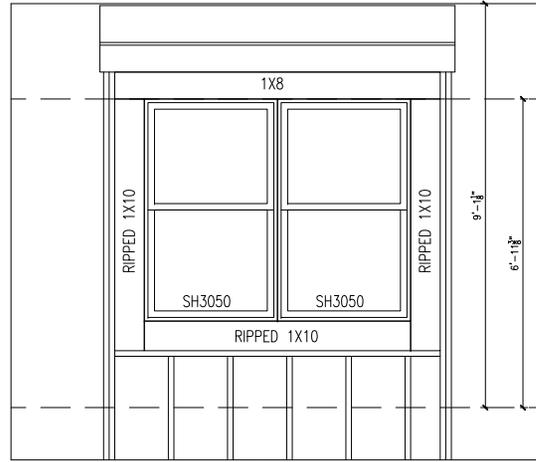
2X8 SECTION PROFILE



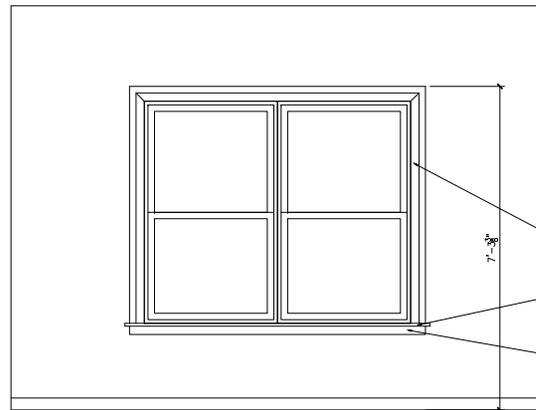
RAISED 18" BREAKFAST BAR
OVER HALF WALL (NEW DETAIL)
PLAN VIEW



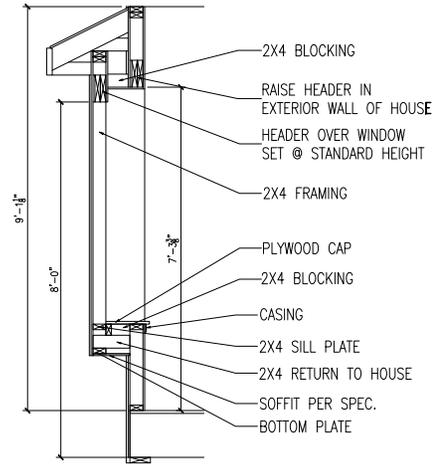
TOP VIEW



EXTERIOR VIEW



INTERIOR VIEW



SECTION DETAIL

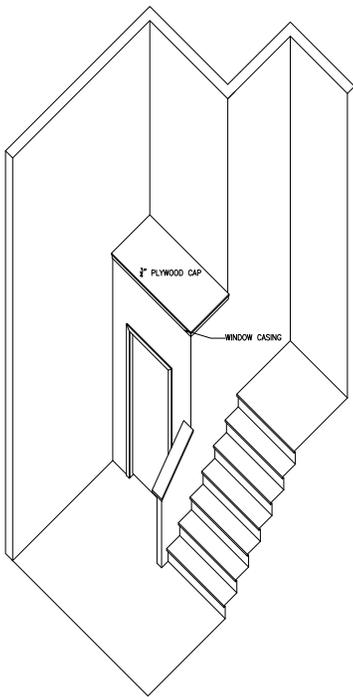
BOX WINDOW DETAILS
SCALE: 1/4" = 1'-0"

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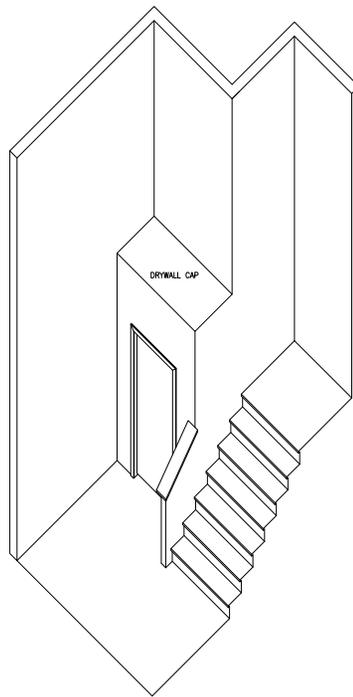
JOB NUMBER

SHEET NUMBER

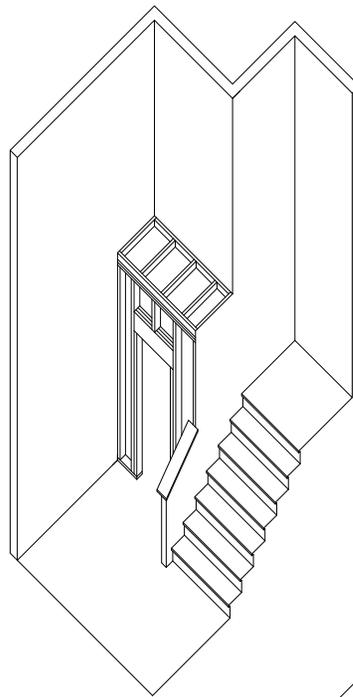
D10



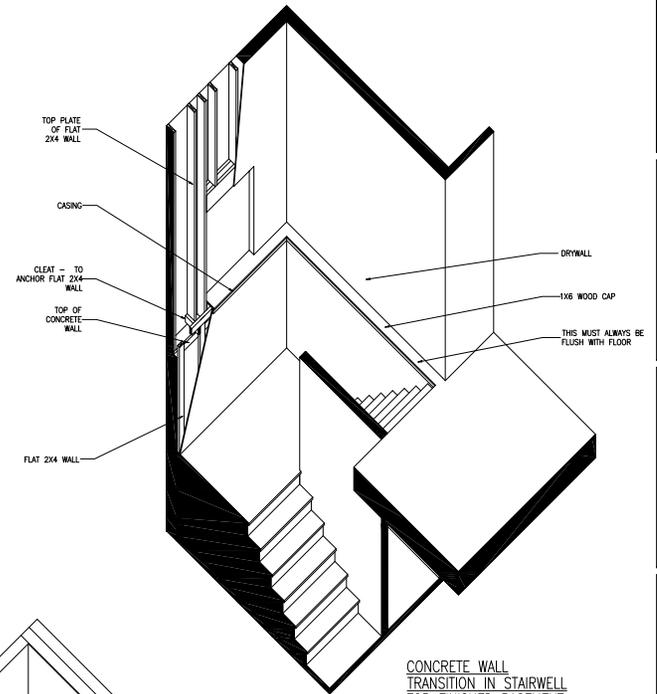
PLANT SHELF (WOOD CAP) OPT.



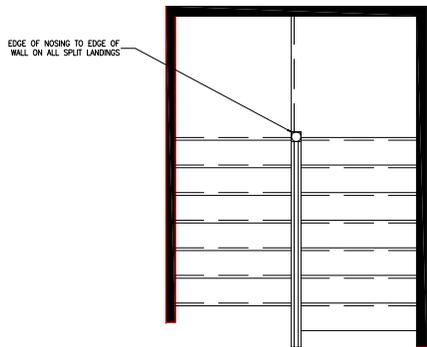
PLANT SHELF (DRYWALL CAP) STANDARD



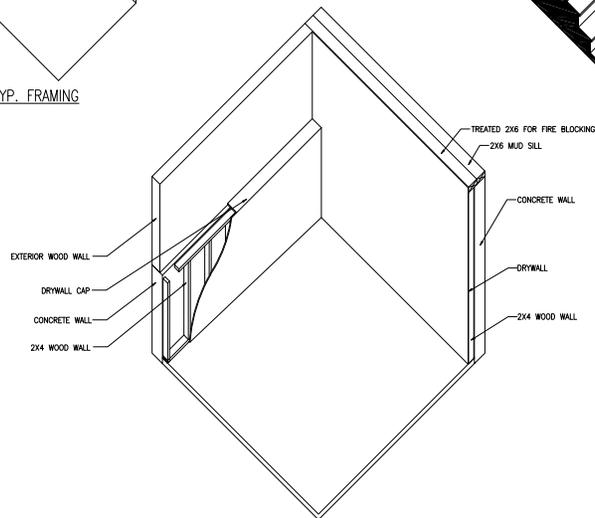
PLANT SHELF TYP. FRAMING



CONCRETE WALL TRANSITION IN STAIRWELL FOR FINISHED BASEMENT STAIRCASE

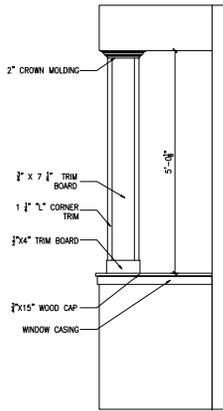
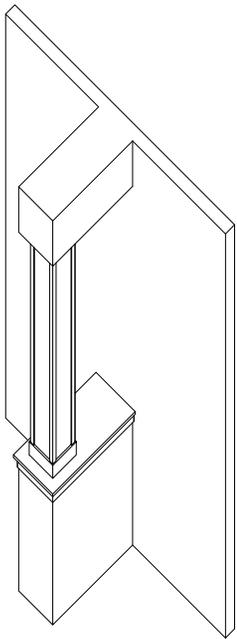


SPLIT LANDING LOCATION

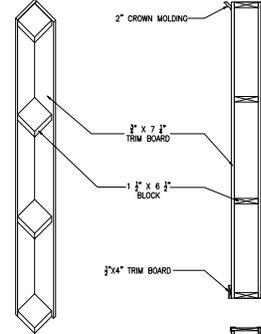
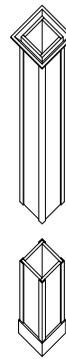
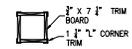
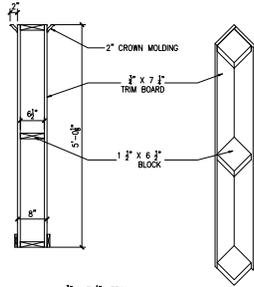


FINISHED BASEMENT LOOKOUT WALL

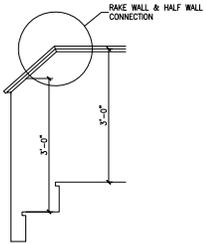
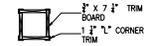
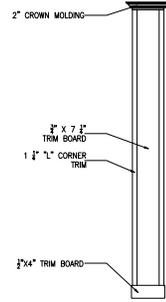
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1				
2				
3				
4				
5				



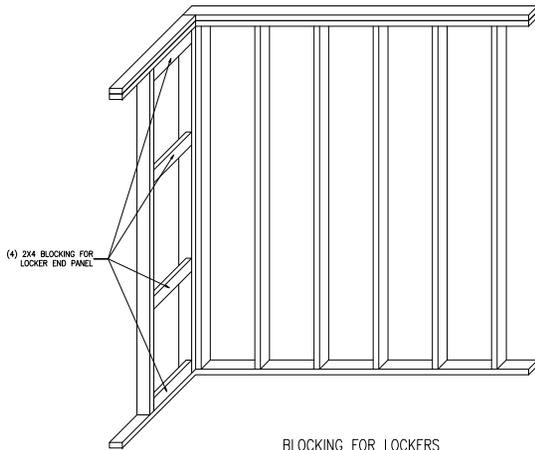
INTERIOR (HALF)
COLUMN DETAILS



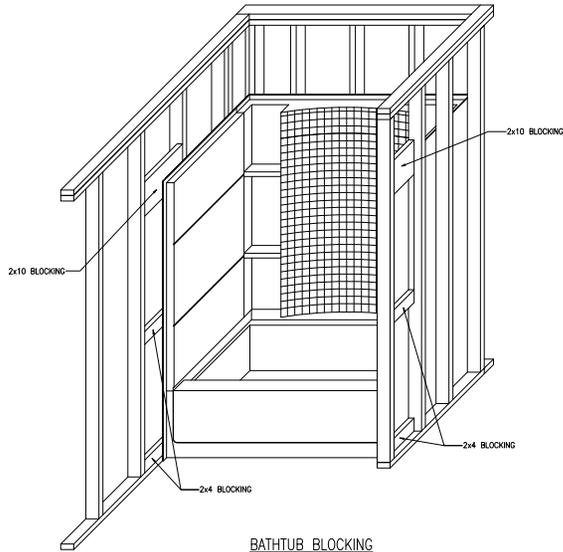
INTERIOR (FULL)
COLUMN DETAILS



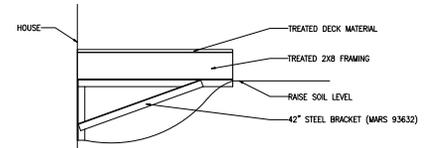
RAKE WALL & HALF
WALL CONNECTION



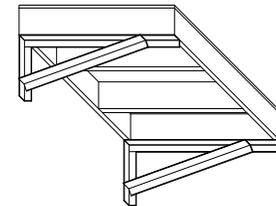
BLOCKING FOR LOCKERS



BATHTUB BLOCKING



42"x42" SINGLE DOOR
PLATFORM (REAR DOOR)



42"x42" SINGLE DOOR
PLATFORM (REAR DOOR)

NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1				
2				
3				
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5				

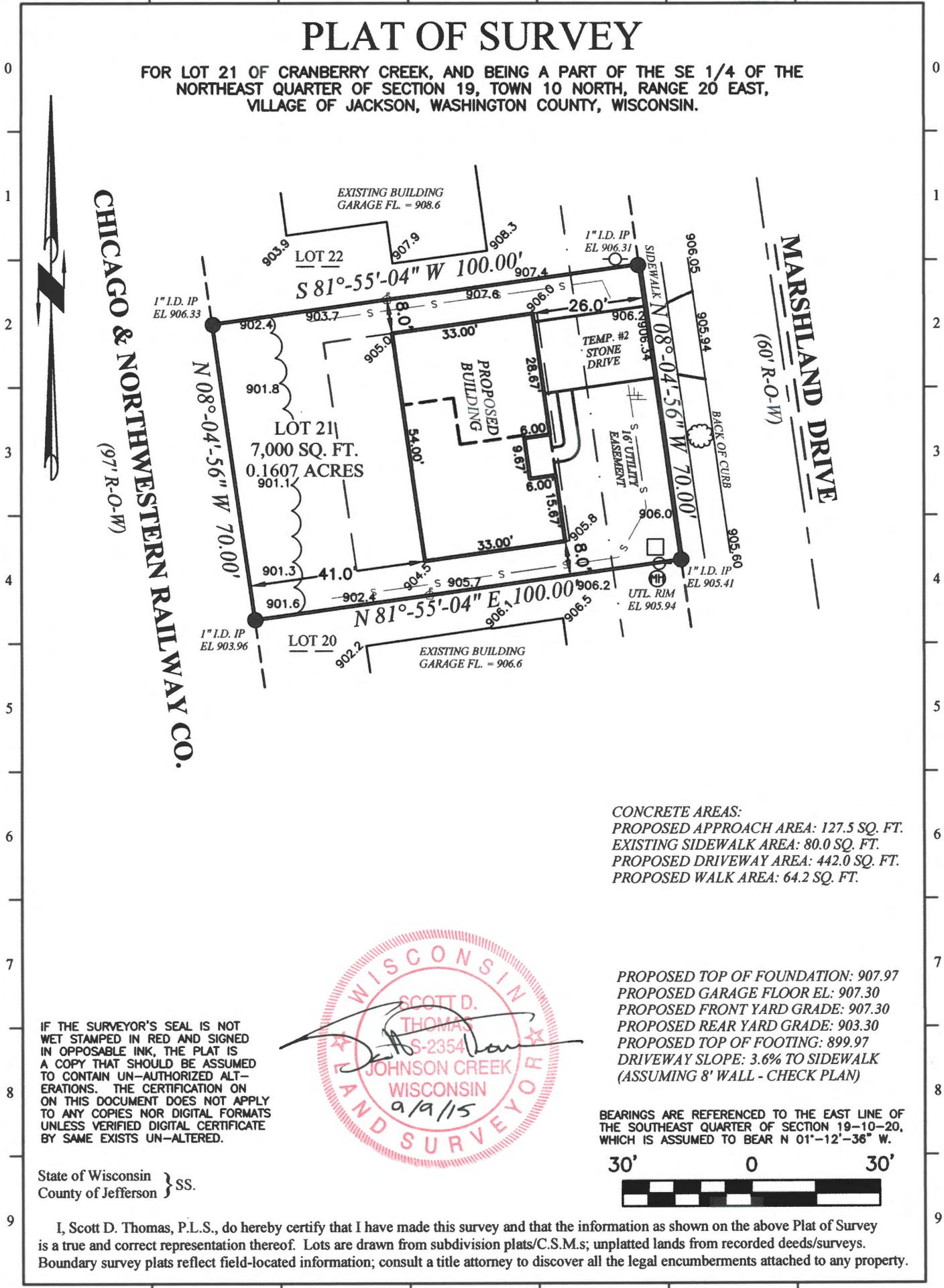
HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305

A B C D E F G

PLAT OF SURVEY

FOR LOT 21 OF CRANBERRY CREEK, AND BEING A PART OF THE SE 1/4 OF THE NORTHEAST QUARTER OF SECTION 19, TOWN 10 NORTH, RANGE 20 EAST, VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.



CONCRETE AREAS:
 PROPOSED APPROACH AREA: 127.5 SQ. FT.
 EXISTING SIDEWALK AREA: 80.0 SQ. FT.
 PROPOSED DRIVEWAY AREA: 442.0 SQ. FT.
 PROPOSED WALK AREA: 64.2 SQ. FT.

PROPOSED TOP OF FOUNDATION: 907.97
PROPOSED GARAGE FLOOR EL: 907.30
PROPOSED FRONT YARD GRADE: 907.30
PROPOSED REAR YARD GRADE: 903.30
PROPOSED TOP OF FOOTING: 899.97
DRIVEWAY SLOPE: 3.6% TO SIDEWALK
(ASSUMING 8' WALL - CHECK PLAN)

BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 19-10-20, WHICH IS ASSUMED TO BEAR N 01°-12'-36" W.



IF THE SURVEYOR'S SEAL IS NOT WET STAMPED IN RED AND SIGNED IN OPPOSABLE INK, THE PLAT IS A COPY THAT SHOULD BE ASSUMED TO CONTAIN UN-AUTHORIZED ALTERATIONS. THE CERTIFICATION ON THIS DOCUMENT DOES NOT APPLY TO ANY COPIES NOR DIGITAL FORMATS UNLESS VERIFIED DIGITAL CERTIFICATE BY SAME EXISTS UN-ALTERED.



State of Wisconsin }
 County of Jefferson } SS.

I, Scott D. Thomas, P.L.S., do hereby certify that I have made this survey and that the information as shown on the above Plat of Survey is a true and correct representation thereof. Lots are drawn from subdivision plats/C.S.M.s; unplatted lands from recorded deeds/surveys. Boundary survey plats reflect field-located information; consult a title attorney to discover all the legal encumbrances attached to any property.

NOTE: EXCAVATOR AND MASON MUST VERIFY AT LEAST TWO BENCHMARKS SHOWN ABOVE.

LEGEND: These standard symbols may be found in the drawing.

- Lot Corner (Found) w/desc.
- Elec. Trans. Box
- ⊕ Man Hole
- Utility Pedestal
- ⊗ Water Valve
- ⊥ Lateral End
- ⊕ 8' Offset
- ⊙ Hardwood Tree
- Platted Easement Boundary
- Platted Setback Line
- s — Proposed Silt Fence
- ~ Treeline

PROJECT: 46-021
BUILDER: Tim O'Brien Homes
 N27 W24075 Paul Ct.
 Suite 100
 Pewaukee, WI 53072
 Ph: (262) 542-5750
 Fax: (262) 542-9780

STAFF REVIEW COMMENTS
Plan Commission Meeting – December 3, 2015

1. *Planned Unit Development Amendment – Construction of Oversized Garage, Marshland Drive.*

Building Inspection

- This submittal is here before the Board due to the size of the garage. Per Village Code, no garage shall exceed 720 Sq. ft. unless receiving Village Board Approval. This garage is actually 796 Sq. ft.
- The house and enlarged garage meets all PUD setbacks and fits in with the adjoining residential properties. This will allow for the camper and vintage car to be stored inside the structure and not outside.
- Recommend approval.

Public Works/Engineering

- No additional comments.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- The Village has allowed reasonable requests such as this before.
- Recommend approval.

**DRAFT MINUTES
PLAN COMMISSION MEETING
Thursday – December 3, 2015 – 7:00 pm
Jackson Village Hall
N168W20733 Main St
Jackson, WI 53037**

1. Call to Order & Roll Call.

Chairperson Mike Schwab called the meeting to order at 7:00 p.m.
Members present: Steve Schoen, Peter Habel, Jeff Dalton, Tr. Kruepke
Members excused: Tr. Emmrich, Doug Alfke.
Staff present: John Walther, Jim Micech, Brian Kober, Kelly Valentino, Chief Skodinski,
and Chief Dolnick.

2. Minutes – October 29, 2015, Plan Commission Meeting.

Steve Schoen questioned who made the motions on two of the items. Clerk Boldrey will correct the minutes and bring the October 29, 2015, minutes back to the January 7, 2016, Plan Commission Meeting.

3. Planned Unit Development Amendment – Construction of Oversized Garage – Marshland Drive.

Jackie Guansing of Tim O'Brian homes and the future home owner Kevin Kunstek were both present at the meeting and had received staff comments. Jackie presented information on the oversized garage that will allow for extra storage and parking of a working collector vehicle. Peter Habel commented that there is a home with an attached four car garage not too far from this home. Motion by Peter Habel, second by Jeff Dalton to recommend the Village Board approve the Planned Unit Development Amendment – Construction of Oversized Garage – Marshland Drive.
Vote: 4 ayes, 0 nays, 1 abstain (Tr. Kruepke). Motion carried.

4. Citizens to address the Plan Commission.

Steve Schoen questioned if there were any long term plans for the recycle barn as it looks like it is falling apart. Brian Kober commented that there is potential for the elementary school there and this would encourage the Village to take the barn down. The barn is currently used for storage.

5. Adjourn.

Motion by Peter Habel, second by Jeff Dalton to adjourn.
Vote: 5 ayes, 0 nays. Meeting was adjourned at 7:08 p.m.

Respectfully submitted by Deanna L. Boldrey – Clerk / Treasurer

DRAFT MINUTES
Village Board Meeting
Tuesday, November 10, 2015, at 7:30 p.m.
Jackson Village Hall
N168W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call.

President Michael Schwab called the meeting to order at 7:30 p.m.
Members Present: Trustees Lippold, Mittelsteadt, Olson, Kruepke, Emmrich, and Kufahl.
Members Absent: None.
Staff present: John Walther, Brian Kober, Jim Micech, Chief John Skodinski, Kelly Valentino, and Sergeant Todd Fristed.

2. Pledge of Allegiance.

President Schwab commented to allow a time of silence in honor of the Veteran's for Veteran's Day. President Schwab led the assembly in the Pledge of Allegiance.

3. Any Village Citizen Comment on an Agenda Item.

None.

4. Public Hearing – Planned Unit Development Amendment – JHB Company – Tenant Use and Building Addition Center Street.

Pres. Schwab opened the public hearing. No one spoke. Pres. Schwab closed the public hearing. The item came from Plan Commission with recommendation of approval per staff comments. John Bagley did show the plan of the beige building with red trim.

Motion by Tr. Mittelsteadt, second by Tr. Kruepke to approve the Planned Unit Development Amendment – JHB Company – Tenant Use and Building Addition Center Street, subject to staff comments.

Vote: 7 ayes, 0 nays. Motion carried.

5. Public Hearing – Planned Unit Development Amendment – Midwest Vapor Pro LLC – Banners and Signs – Industrial Drive.

Pres. Schwab opened the public hearing. No one spoke. Pres. Schwab closed the public hearing. The item came from Plan Commission with recommendation of approval per staff comments. Troy Salazar and Costintine Demopoulos were also in attendance.

Motion by Tr. Kufahl, second by Tr. Lippold to approve the Planned Unit Development Amendment – Midwest Vapor Pro LLC – Banners & Signs – Industrial Drive, subject to staff comments.

Vote: 7 ayes, 0 nays. Motion carried.

6. Consent Agenda:

- Approval of Minutes for the Village Board Meeting of October 13, 2015 and October 29, 2015.
Motion by Tr. Kufahl, second by Tr. Olson to approve the October 13, 2015 and October 29, 2015 minutes.
Vote: 7 ayes, 0 nays. Motion carried.

- Licenses.
Operator Licenses:
Jackson Pub: Scott McGovney, Samantha Koenig

Motion by Tr. Mittelsteadt, second by Tr. Emmrich to approve the operator's license for Samantha Koenig.

Vote: 7 ayes, 0 nays. Motion carried.

Motion by Tr. Olson, second by Tr. Emmrich to deny the license for Scott McGovney based on his record and the recommendation of denial by Police Chief Dolnick.

Vote: 6 ayes, 0 nays, 1 Abstain (Kruepke). Motion carried.

7. **Budget & Finance Committee.**

- **Pay Request #2 – Georgetown Dr. Reconstruction Project.**

The Board of Public Works and Budget and Finance Committee recommended approval of the Pay Request #2 for Georgetown Dr. Reconstruction Project in an amount not to exceed \$238,910.29. Motion by Tr. Mittelsteadt second by Tr. Olson to approve the Pay Request #2 to Advanced Construction for Georgetown Dr. Reconstruction Project in an amount not to exceed \$238,910.29.

Vote: 7 ayes, 0 nays. Motion carried.

- **Pay Request #1 – Jackson Drive Sidewalk Project.**

The Board of Public Works and Budget and Finance Committee recommended approval of pay request #1 for Jackson Drive Sidewalk Project in an amount not to exceed \$51,769.35. Motion by Tr. Kufahl, second by Tr. Olson to approve the pay request #1 to DC Burbach for the Jackson Drive Sidewalk Project in an amount not to exceed \$51,769.35.

Vote: 6 ayes, 1 nays (Tr. Emmrich). Motion carried.

- **Sale of Village Equipment.**

The Budget and Finance Committee recommended approval of the sale of village equipment. Motion by Tr. Kufahl, second by Tr. Emmrich to approve the sale of village equipment.

Vote: 7 ayes, 0 nays. Motion carried.

- **Price Reduction of EMS Invoice for Mr. Witte.**

This item came from the Budget and Finance Committee as a recommendation to deny the reduction of the invoice and to offer a payment plan to be consistent with past requests. Mrs. Witte was allowed the floor. She had called 911 and hung up. The sheriff's deputy came to her house. She did have Mr. Witte in the car when the deputy arrived. The deputy called for the ambulance and told her that there would not be a bill unless the ambulance transported her husband.

Discussion ensued that the County should be informed of the correct information.

Motion by Tr. Mittelsteadt, second by Tr. Kufahl to drop the EMS Ambulance billing for Mr. Witte.

Vote: 7 ayes, 0 nays. Motion carried.

- **Ratification of WPPA Contract.**

Pres. Schwab reviewed the WPPA Contract. The Budget and Finance Committee recommended the Village Board ratify the WPPA Contract.

Motion by Tr. Lippold, second by Tr. Emmrich to ratify the WPPA Contract.

Vote: 7 ayes, 0 nays. Motion carried.

- **2016 Proposed Budget – With Possible Action.**

Pres. Schwab commented on the couple changes as pointed out by the auditor. Deanna reported that the tax item in the general fund was decreased by \$8,200 and the capital improvements were increased by \$8,200. The bottom line total did not change. The mill rate remains at \$8.37 as previously discussed.

Tr. Olson commented that there needs to be prior approval of capital projects, and no spending of capital projects unless there is prior approval. He would like an accounting of the capital projects.

Discussion ensued of the Town's action in regards to the Park & Rec budget. Discussion of the enforcement of the agreements ensued. The Town did cancel the director's agreement. There is a formula that was previously agreed on. Tr. Lippold commented that he wants to go on record that a year from now if it is not paid there will be cuts to the park and rec department in some way. Tr. Olson commented that he would look to enforce the agreements that are in place.

Discussion ensued that the Town could also not honor the Fire Department Agreement. Discussion of a possible budget amendment next year ensued.

Motion by Tr. Mittelsteadt second by Tr. Kruepke to send the budget to publication, for the Public Hearing to be on November 30, at 7 p.m. Tr. Olson commented that no monies will be spent on the capital projects until there is an accounting of the capital project fund.

Vote: 7 ayes, 1 nay (Tr. Emmrich). Motion carried.

- **Resolution 15-19 Utilizing Washington County Redevelopment Grant Program.**

John Walther explained that Washington County became a lead coalition member to look to assess brownfield redevelopment sites. The coalition includes five communities. The EPA stated that the County would receive a grant of \$600,000. John Walther read the resolution. Motion by Tr. Olson, second by Pres. Schwab to approve Resolution 15-19 Utilizing Washington County Redevelopment Grant Program.

Vote: 7 ayes, 0 nays. Motion carried.

8. **Plan Commission.**

- **Certified Survey Map – We Energies – Jackson Drive – Sub Station.**

Brian Kober reported on the item. Legal counsel has reviewed the CSM. This is the only right-of-way left on Jackson Drive. If the Village wants the property, We Energies would like the Village to pay for their assessment. Brian also mentioned a possible easement. Brian will research further.

Motion by Tr. Kufahl second by Tr. Lippold to refer the item to the next meeting.

Vote: 7 ayes, 0 nays. Motion carried.

9. **Departmental Reports.**

- **Operation FINALLY HOME Community – Update.**

Pres. Schwab commented that Operation Finally Home will hold the Notes of Love for people in the community to write notes of love on the studs of the homes this Friday.

Also the second family has been announced.

Tr. Lippold questioned the finalization of water management run off plans. Brian Kober commented that he is meeting this Friday in regards to the item and will then report on the item at the Board of Public Works with a schedule of how to move forward. There will be education and public outreach.

Tr. Kufahl gave a thank you for taking down poles and barrels in the park.

10. Washington County Board Report.

No Report.

11. West Bend School District Liaison Report.

The School board passed the budget and there is about a 3% increase. The increase is to compensate for lower state funding. The four year old kindergarten is in the planning stages utilizing existing childcare in the communities. John commented that the four year old kindergarten is an absolute fit for the community center. Kelly Valentino reported that she is working on the RFPs for the four year old kindergarten.

12. Greater Jackson Business Alliance Report.

Tr. Mittelsteadt reported that the Greater Jackson Business Alliance is in the process of setting up the January meeting and a scholarship committee.

13. Mid-Moraine Legislative Committee / Mid-Moraine Municipal Report.

John Walther reported that the Legislative Committee and the Mid-Moraine Group are done for the year. The next meeting and dinner will be in January. He encouraged the Village Board to attend.

14. Citizens to Address the Village Board.

None.

15. Closed Session.

Closed session pursuant to Wis. Stats. § 19.85(1)(e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session, and, Wis. Stats. § 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved. The topics are matters relating to the Village-Town Revenue Sharing Agreement and Cooperative Boundary Plan; Jackson Properties, and Walgreens Lawsuit.

Motion by Pres. Schwab, second by Tr. Mittelsteadt, to convene into closed session at 8:14 p.m. to include the Village Board, John Walther, John St. Peter, Brian Kober, and Deanna Boldrey.

Vote: 7 ayes, 0 nays. Motion carried.

Reconvene Into Open Session.

The Village Board convened into open session at 8:51 p.m.

16. Adjourn.

Motion by Tr. Kufahl, second by Tr. Lippold to adjourn at 8:52 p.m.

Vote: 7 ayes, 0 nays. Motion carried.

Respectfully submitted by Deanna L. Boldrey, Clerk/Treasurer

DRAFT Minutes
Special Village Board Meeting
Budget Public Hearing
Monday, November 30, 2015 at 7:00 P.M.
Jackson Village Hall
N168 W20733 Main Street

1. Call To Order & Roll Call

President Schwab called the meeting to order at 7:00 p.m.

Members present: Trustees Olson, Mittelsteadt, Kruepke, Kufahl, and Emmrich.

Members absent: Trustee Lippold

Staff present: John Walther, Brian Kober, Jim Micech, Kelly Valentino, Chief Dolnick, and Chief Skodinski.

2. Budget Public Hearing – 2016 General Fund Budget as advertised.

Pres. Schwab opened the Budget Public Hearing. There were no comments.

Pres. Schwab closed the Budget Public Hearing.

3. Resolution #15-20 – Adopt the 2016 General Fund Budget.

Motion by Tr. Mittelsteadt, second by Tr. Kruepke to Approve Resolution #15-20 – Adopt the 2016 General Fund Budget. The 2016 General Fund Budget is in the amount of \$3,618,682. Tr. Olson commented that the Town issues are separate from the Budget Process.

Pres. Schwab questioned Tr. Emmrich on his “nay” vote at the November 10, 2015, Village Board meeting. Tr. Emmrich commented that it is unknown what the Town will do. He does not want to pass the budget not knowing what will happen. Pres. Schwab clarified and explained that this is a question of the levy not of the General Fund Budget.

Vote: 5 ayes, 1 nay (Tr. Emmrich). Motion carried.

4. Resolution #15-21 – Adopt the 2015 Tax Levy for the 2016 General Fund Budget.

Motion by Tr. Olson, second by Tr. Mittelsteadt to Approve Resolution #15-21 – Adopt the 2015 Tax Levy for the 2016 General Fund Budget. The 2015 tax levy is in the amount of \$4,206,000. Vote: 5 ayes, 1 nay (Tr. Emmrich). Motion carried.

5. Resolution #15-22 – Adopt the 2016 Water Utility Budget.

Motion by Tr. Mittelsteadt, second by Tr. Olson to Approve Resolution #15-22 – Adopt the 2016 Water Utility Budget. The 2016 Water Utility Budget is in the amount of \$1,179,745.

Vote: 6 ayes, 0 nays. Motion carried.

6. Resolution #15-23 – Adopt the 2016 Sewer Utility Budget.

Motion by Tr. Kufahl, second by Tr. Kruepke to Approve Resolution #15-23 – Adopt the 2016 Sewer Utility Budget. The 2016 Sewer Utility Budget is in the amount of \$1,885,610.

Vote: 6 ayes, 0 nays. Motion carried.

7. Resolution #15-24 – Establish Fees for 2016.

Motion by Tr. Mittelsteadt, second by Tr. Kufahl to Approve Resolution #15-24 – Establish Fees for 2016.

Vote: 6 ayes, 0 nays. Motion carried.

8. Adjourn.

Motion by Tr. Olson, second by Tr. Emmrich to adjourn at 7:12 p.m.

Vote: 6 ayes, 0 nays. Motion carried.

Respectfully submitted by Deanna L. Boldrey, Clerk/Treasurer

DRAFT

NAME

POLICE CHIEF
RECOMMENDATION

Operator's License Application:

Jeannine Waterson	Main Street Mart	Approve
Russell Comer	Village Mart	Approve
Liana Dronso	Village Mart	Approve
Trevor Mosey	Walgreens	Approve
Marie Sawyer	Walgreens	Approve
Surra Basterash	Walgreens	Approve
Maureen Ott	Walgreens	Approve
Kreshnite Ismajli	Walgreens	Approve

ORDINANCE #15-04

**AN ORDINANCE ESTABLISHING PARKING OF VEHICLES ON SETBACKS
OF THE VILLAGE OF JACKSON MUNICIPAL CODE**

THE VILLAGE BOARD OF THE VILLAGE OF JACKSON, WASHINGTON COUNTY,
WISCONSIN, does ordain as follows:

SECTION I.

The following Chapter, 4.04 (M), (42-87), of the Municipal Code of the Village of Jackson,
Wisconsin as pertains to Parking on Private Property is hereby created as follows:

4.04 Parking Vehicles in Setbacks.

(M) *Parking Vehicles in Setbacks.*

Vehicles (including recreational vehicles, campers, trailers, boats,
motorcycles, snowmobiles) are not permitted to be parked or to placed in the
front yard or side yard setback, in residential, commercial or industrial areas,
except on the owner's driveway or parking lot on a continuous poured
concrete or asphalt surface. Parking in all other areas require a conditional
use or a planned unit development amendment.

SECTION II. This ordinance shall take effect from and after its passage and posting.

Introduced by: _____

Seconded by: _____

Passed and Approved: _____

Vote: _____ Aye: _____ Nay

Michael E. Schwab – Village President

Attest: _____
Deanna L. Boldrey – Village Clerk

Proof of Posting:

I, the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post
Office, and one other location in the Village.

Village Official

Date

Last Name	First Name	Party
Brady	Jim	
Frank	Kathy	
Keene	Shirley	Republican
McCauley	Lorraine	Democratic
Schneider	Darlene	Democratic
Bresnahan	Carol	
Davis	Alan	Democratic
Davis	Jacquelyn	Democratic
Degner	Darlene	
Gergetz	Adam	
Gergetz	Nick	
Glassel	Howard	Republican
Glassel	Marlene	Republican
Glocke	Mary	Republican
Horning	Bob	Republican
Jones	Ken	
Klempen	Judy	
Kornelli	Brittany	
Krejci-Laabs	Shirley	
Ksioszk	Amanda	
Lanza	Gail	
Laabs	Robert	
Lipski	Sally	
Lippold	Sandy	
Olson	Lynn	
Plum	Joan	Republican
Plum	Paul	Republican
Radtke	Anita	Democratic
Schultz	Leanne	
Schwartz	Cassandra	
Stuebs	Diane	
Stuebs	Ronald	
Vaughan	Billie	
Vechart	Morgan	
Watson	Barb	
Wierschem	Becky	
Zambito	Judy	

Bid Evaluation - Unit Price Contract

Stonewall Connector Trail
 Ridgeway Rd to Eagle Dr
 Village of Jackson, Wisconsin
 Bloom Project No. BM1-3372

Johnson & Sons, LLC.

Bid Opening: July 21, 2015, 10:00 AM

Item No.	Item	Unit	Estimated Quantity	Bidder No. 3		REVISED Engineer's Estimate			REVISED J&S ESTIMATE			
				Unit Price	Total	Estimated Quantity	Unit Price	Total	Estimated Quantity	Unit Price	Total	
	Excavation Common	CY	600	\$ 33.00	\$ 19,800.00	175	\$33.00	\$ 5,775.00	175	\$50.00	\$ 8,750.00	
	Base Aggregate Dense 1-1/4 Inch	TON	530	\$ 20.00	\$ 10,600.00	420	\$20.00	\$ 8,400.00	550	\$24.00	\$ 13,200.00	
	Tack Coat	GAL	--	--	-	56	\$5.00	\$ 280.00	45	\$8.00	\$ 360.00	
	Asphaltic Surface	TON	370	\$ 115.00	\$ 42,550.00	270	\$115.00	\$ 31,050.00	270	\$150.00	\$ 40,500.00	
	Concrete Sidewalk 5 Inch	SF	270	\$ 9.30	\$ 2,511.00	69	\$9.30	\$ 641.70	69	\$30.00	\$ 2,070.00	
	Curb Ramp Detectable Warning Field Yellow	SF	32	\$ 74.40	\$ 2,380.80	8	\$74.40	\$ 595.20	8	\$150.00	\$ 1,200.00	
	Mobilization	EACH	1	\$ 1,143.45	\$ 1,143.45	1	\$1,143.45	\$ 1,143.45	1	\$3,125.00	\$ 3,125.00	
	Salvaged Topsoil	SY	1640	\$ 1.50	\$ 2,460.00	898	\$1.50	\$ 1,347.00	898	\$1.50	\$ 1,347.00	
	Mulching	SY	1500	\$ 1.00	\$ 1,500.00	898	\$1.00	\$ 898.00	898	\$1.25	\$ 1,122.50	
	Erosion Bales	EACH	184	\$ 22.00	\$ 4,048.00	216	\$22.00	\$ 4,752.00	216	\$31.25	\$ 6,750.00	
	Silt Fence	LF	1200	\$ 2.50	\$ 3,000.00	1,138	\$2.50	\$ 2,845.00	1,138	\$3.20	\$ 3,641.60	
	Silt Fence Maintenance	LF	1200	\$ 0.70	\$ 840.00	1,138	\$0.70	\$ 796.60	1,138	\$1.25	\$ 1,422.50	
	Erosion Mat Class I Type B	SY	62	\$ 4.50	\$ 279.00	370	\$4.50	\$ 1,665.00	370	\$6.25	\$ 2,312.50	
	Inlet Protection Type C	EACH	1	\$ 126.00	\$ 126.00	2	\$126.00	\$ 252.00	2	\$127.00	\$ 254.00	
	Tracking Pads	EACH	3	\$ 1,200.00	\$ 3,600.00	4	\$1,200.00	\$ 4,800.00	4	\$1,200.00	\$ 4,800.00	
	Seeding Mixture No. 20	LB	45	\$ 15.00	\$ 675.00	25	\$15.00	\$ 375.00	25	\$19.00	\$ 475.00	
	Posts Wood 4x4 Inch x 12 Ft	EACH	2	\$ 126.00	\$ 252.00	1	\$126.00	\$ 126.00	1	\$188.00	\$ 188.00	
	Signs Type II Reflective H	SF	12.125	\$ 62.00	\$ 751.75	10	\$62.00	\$ 620.00	10	\$69.00	\$ 690.00	
	Traffic Control	EACH	1	\$ 240.00	\$ 240.00	1	\$240.00	\$ 240.00	1	\$3,370.90	\$ 3,370.90	
	Traffic Control Drums	DAY	1350	\$ 1.00	\$ 1,350.00	420	\$1.00	\$ 420.00	420	\$0.50	\$ 210.00	
	Traffic Control Signs	DAY	270	\$ 1.00	\$ 270.00	140	\$1.00	\$ 140.00	140	\$0.50	\$ 70.00	
	Pavement Marking Stop Line Epoxy 24 Inch	LF	20	\$ 2.50	\$ 50.00	20	\$2.50	\$ 50.00	20	\$5.00	\$ 100.00	
	Pavement Marking Crosswalk Epoxy 12 Inch	LF	100	\$ 2.50	\$ 250.00	100	\$2.50	\$ 250.00	100	\$5.00	\$ 500.00	
				Total No. 3	\$ 187,888.00	Total Est.			\$ 67,461.95	Total Est.		\$ 96,459.00

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 SHEET SET : 5.00
 PLOT SCALE : 40:1

BP: 0+00.00

INSTALL TRAFFIC CONTROL
 PER SDD "TRAFFIC CONTROL,
 WORK ON SHOULDER OR
 PARKING LANE, UNDIVIDED
 ROADWAY."
 (SEE DETAIL)

BEGIN PROJECT
 STA. 1+00.00
 Y=147,930.33
 X=369,778.96

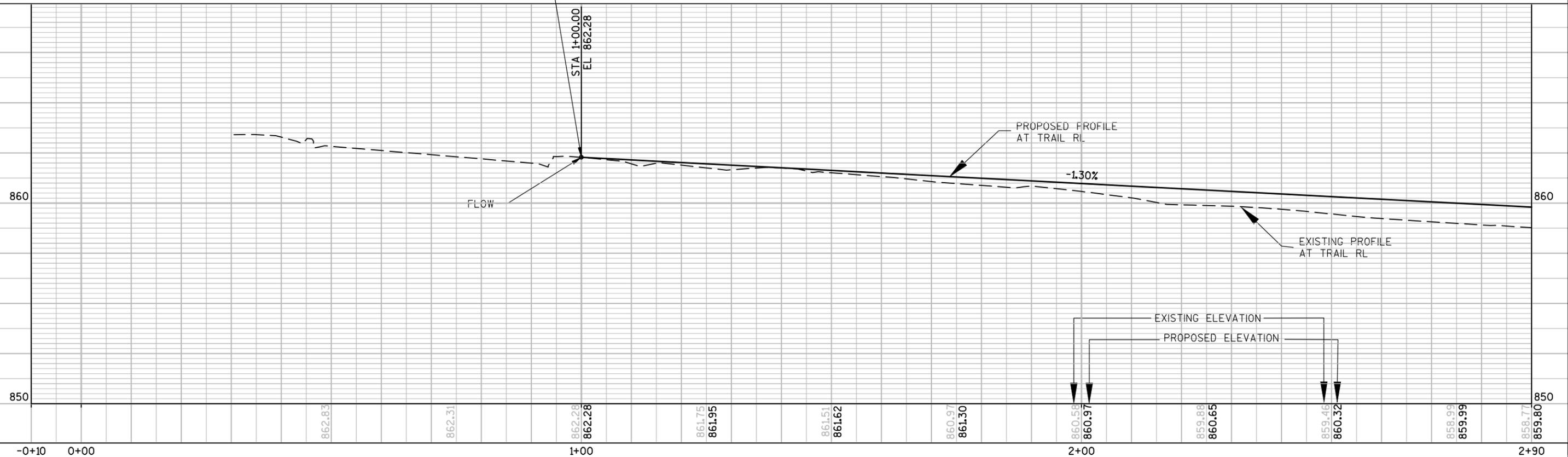
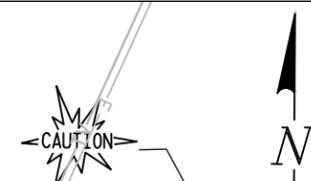
RIDGEWAY RD

STH 60 (MAIN STREET)

APPROX. R/W

SLOPE INTERCEPT
 TYP

PC: 2+22.35



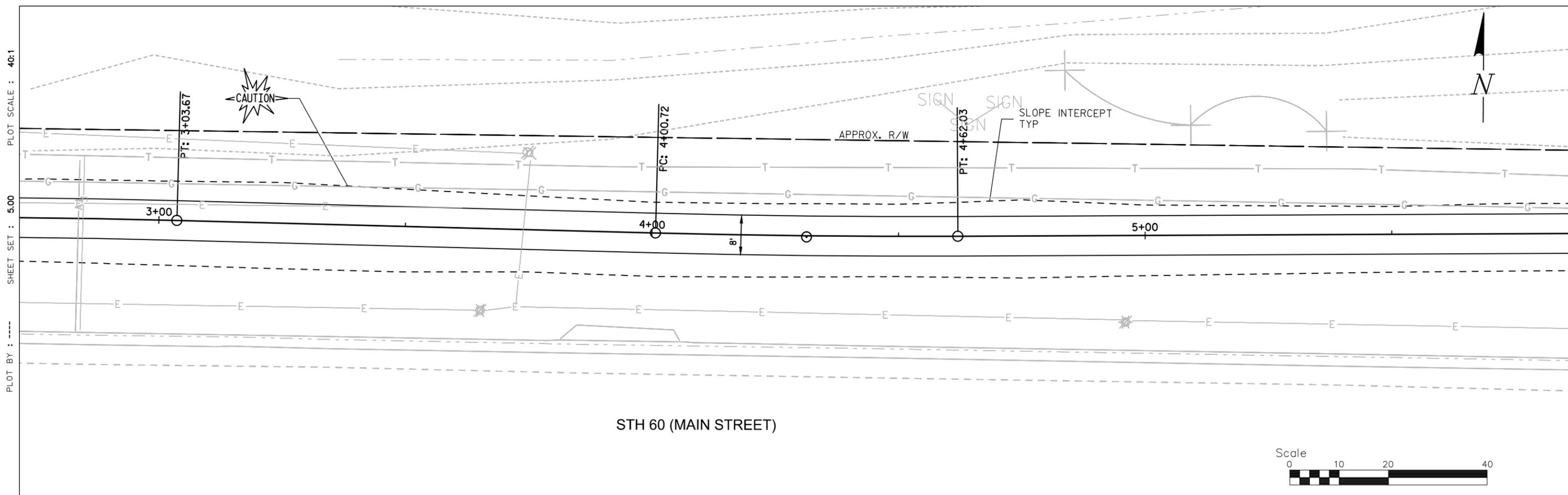
BLOOM COMPANIES, LLC
Infrastructure Innovation and Ingenuity
 10501 W. Research Drive • Milwaukee, WI 53226
 Phone: (414) 771-3390 Fax: (414) 771-4490

**STONEWALL CONNECTION TRAIL
 RIDGEWAY RD TO EAGLE DR
 VILLAGE OF JACKSON**

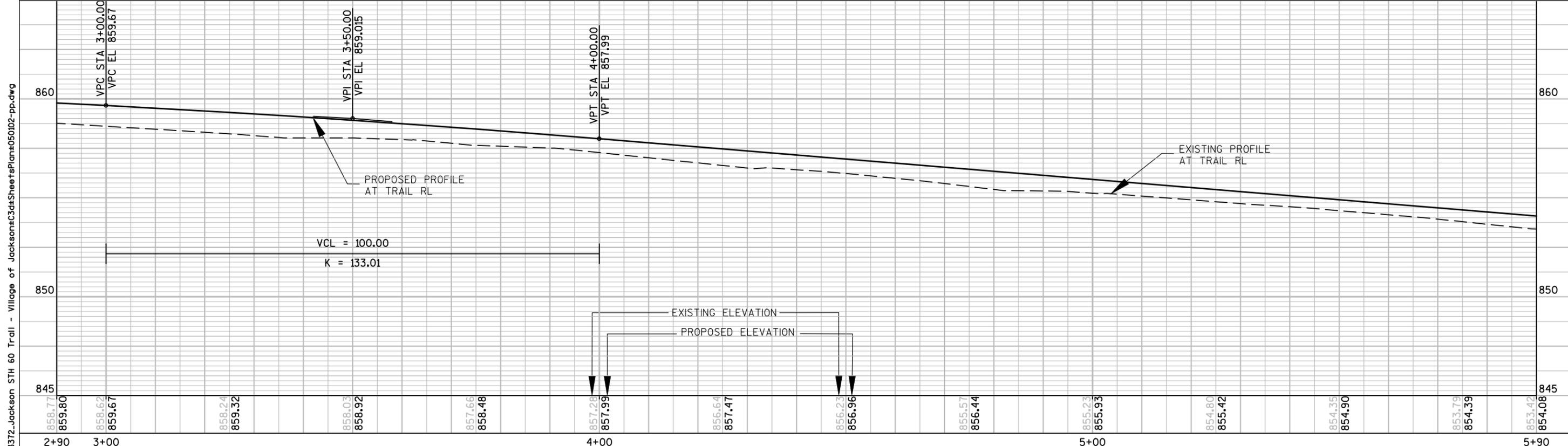
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Designer NRK	Technician TAL	Approval SMC	Sheet Number

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STH 60 (MAIN STREET)



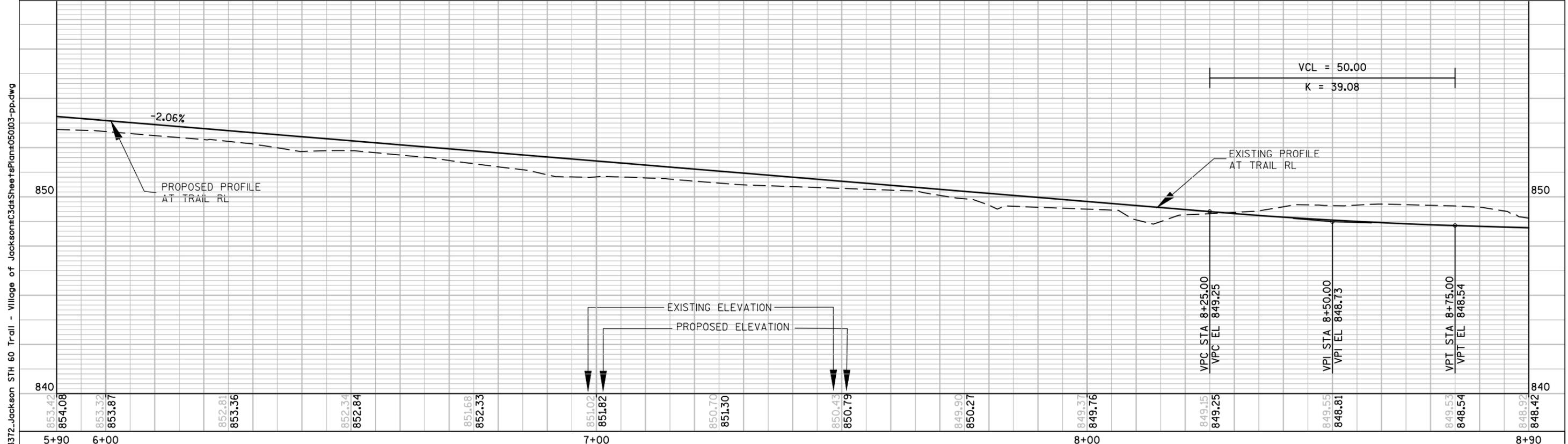
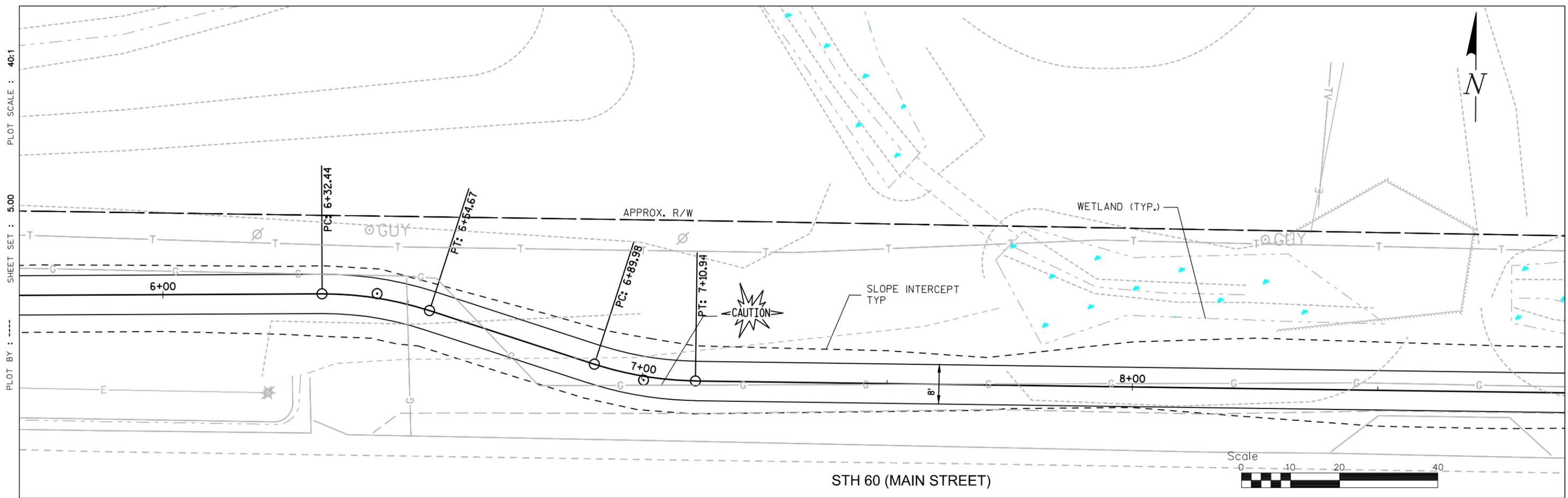
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Designer	Technician	Approval	11/19/15
NRK	TAL	SMC	Sheet Number

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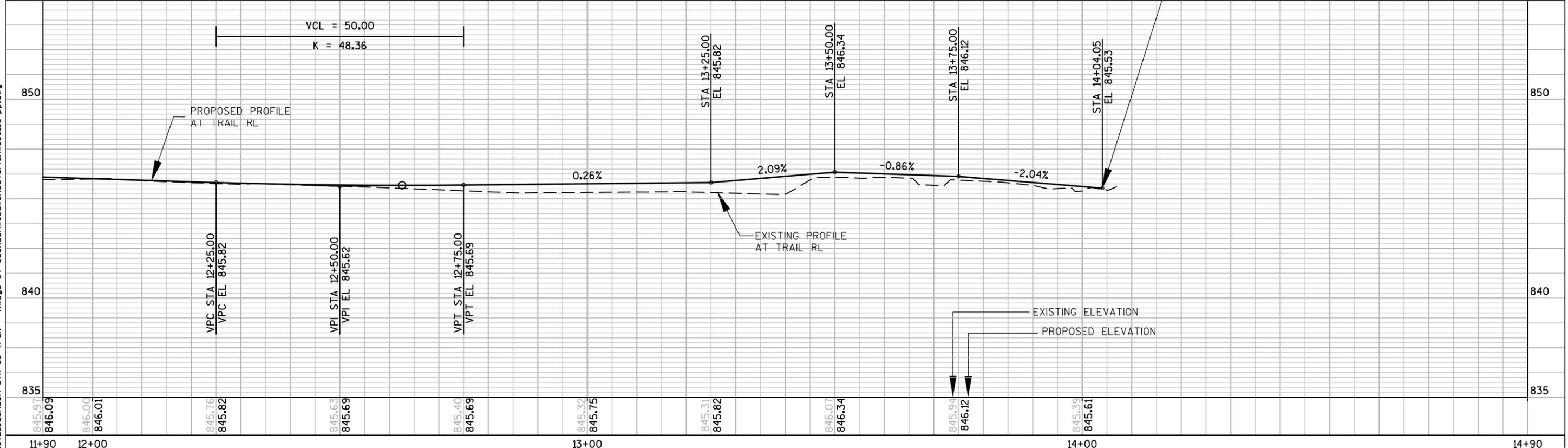
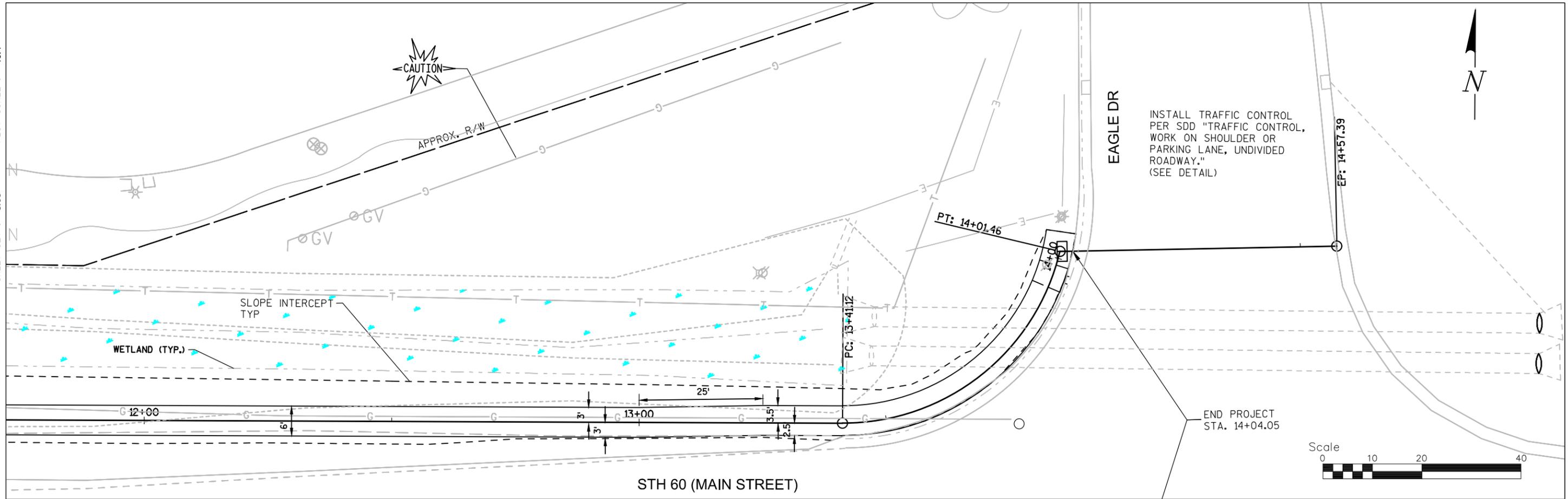


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RIDGEWAY RD TO EAGLE DR
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PLAN & PROFILE			Date 11/19/15
Designer NRK	Technician TAL	Approval SMC	Sheet Number

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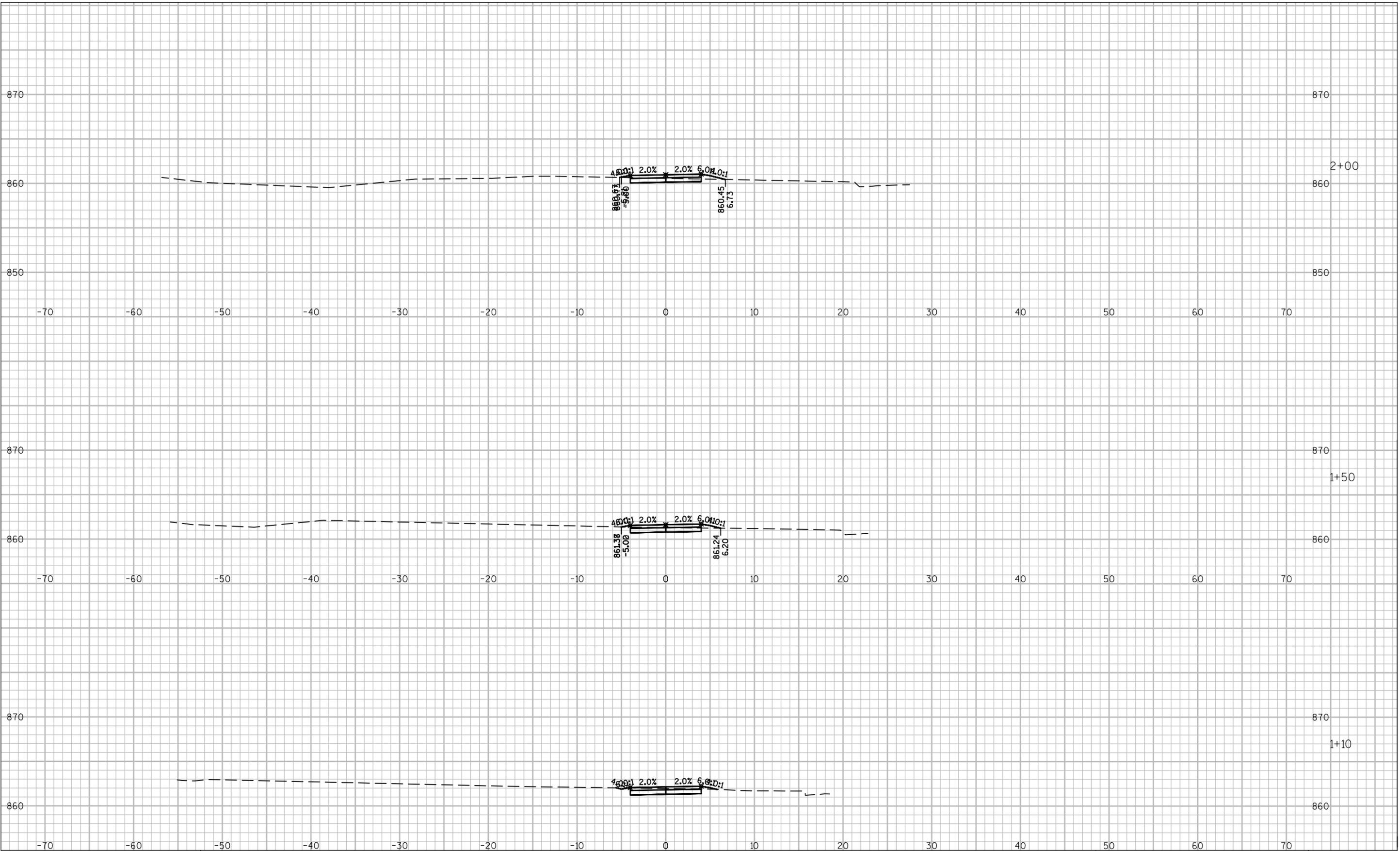


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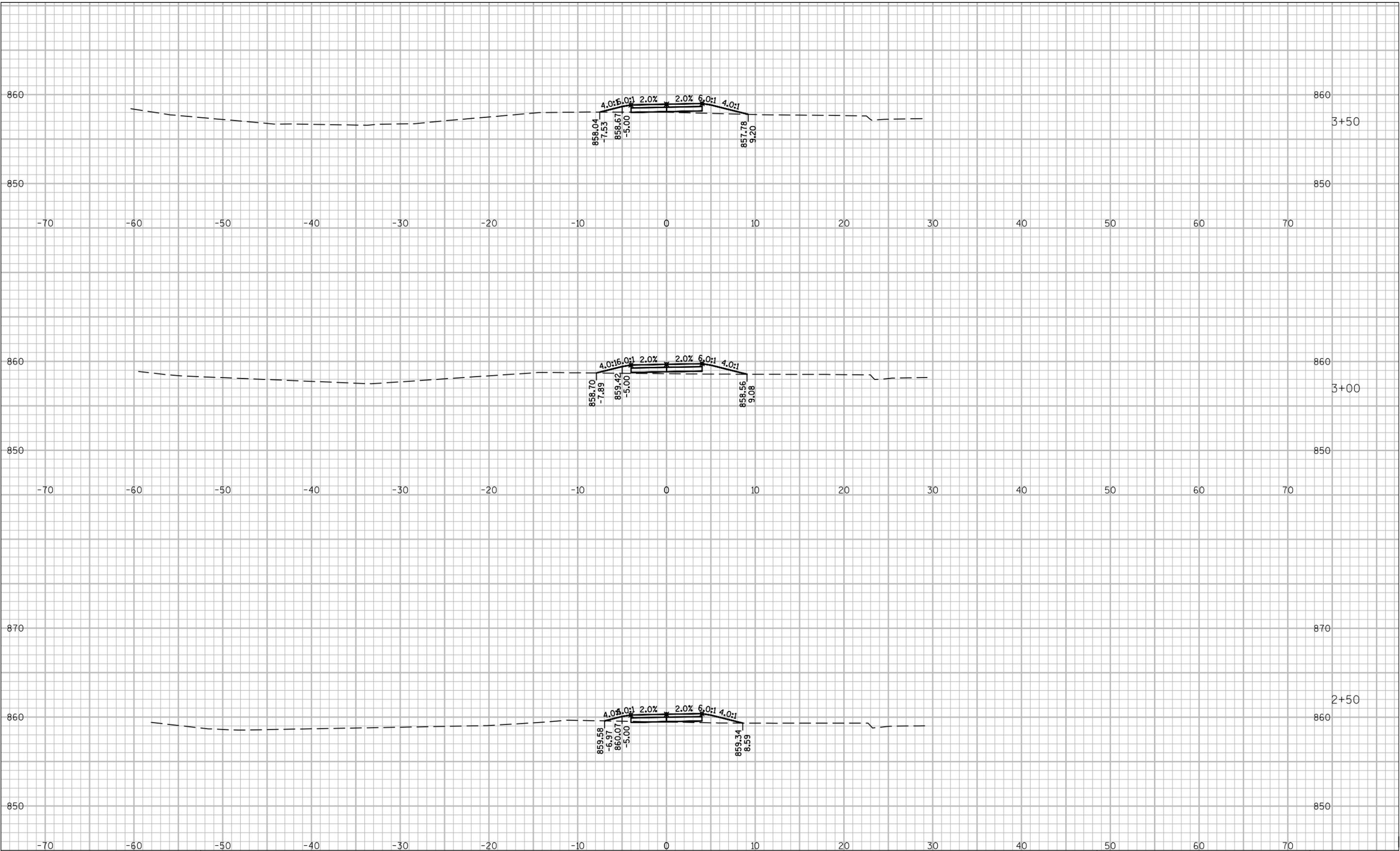
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**STONEWALL CONNECTION TRAIL
RIDGEWAY RD TO EAGLE DR
VILLAGE OF JACKSON**

CROSS SECTIONS			Date
Designer	Technician	Approval	11/19/15
NRK	TAL	SMC	Sheet Number

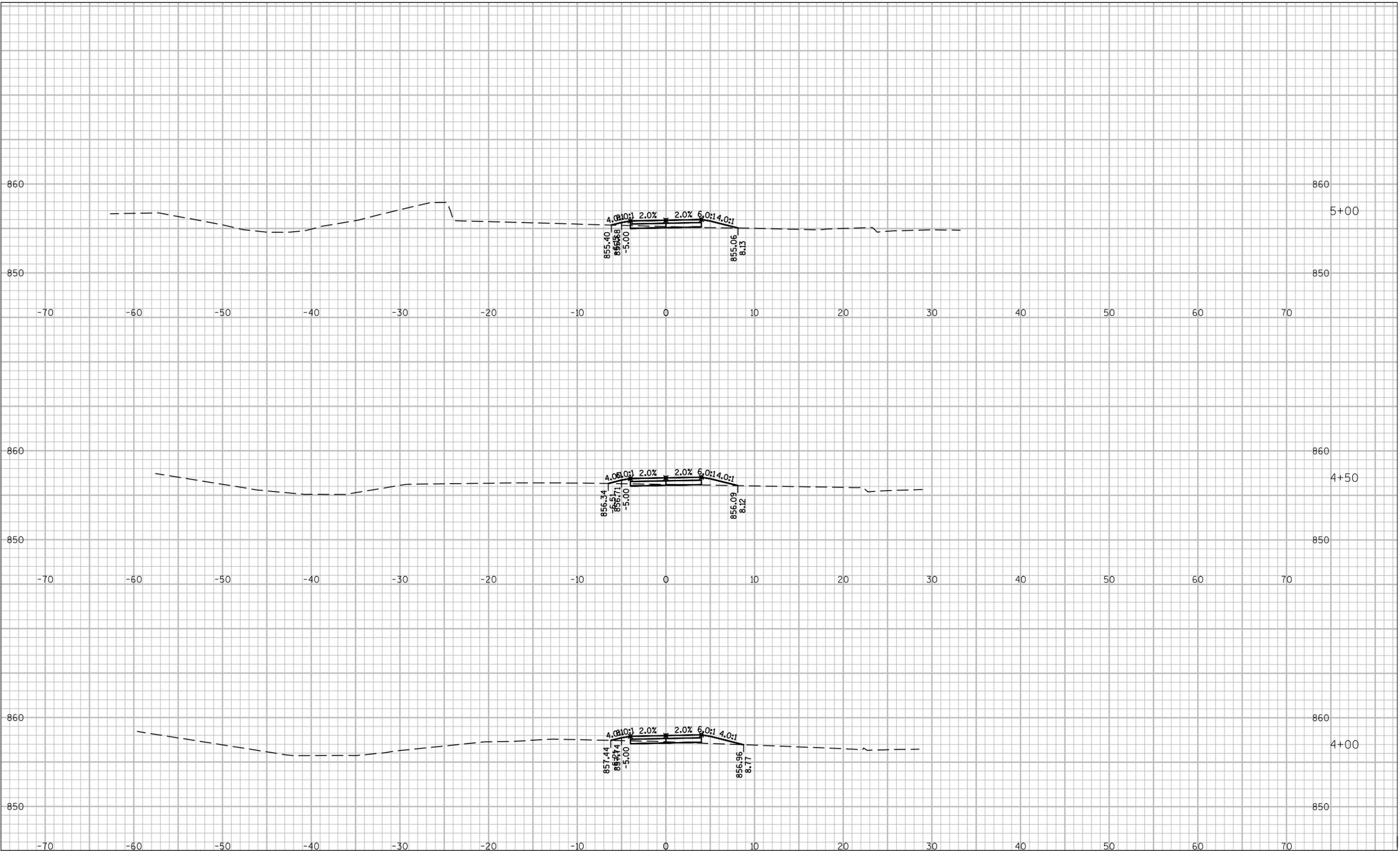
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 SHEET SET : 5.00
 PLOT SCALE : 10:1



**STONEWALL CONNECTION TRAIL
 RIDGEWAY RD TO EAGLE DR
 VILLAGE OF JACKSON**

CROSS SECTIONS			Date
Designer	Technician	Approval	11/19/15
NRK	TAL	SMC	Sheet Number

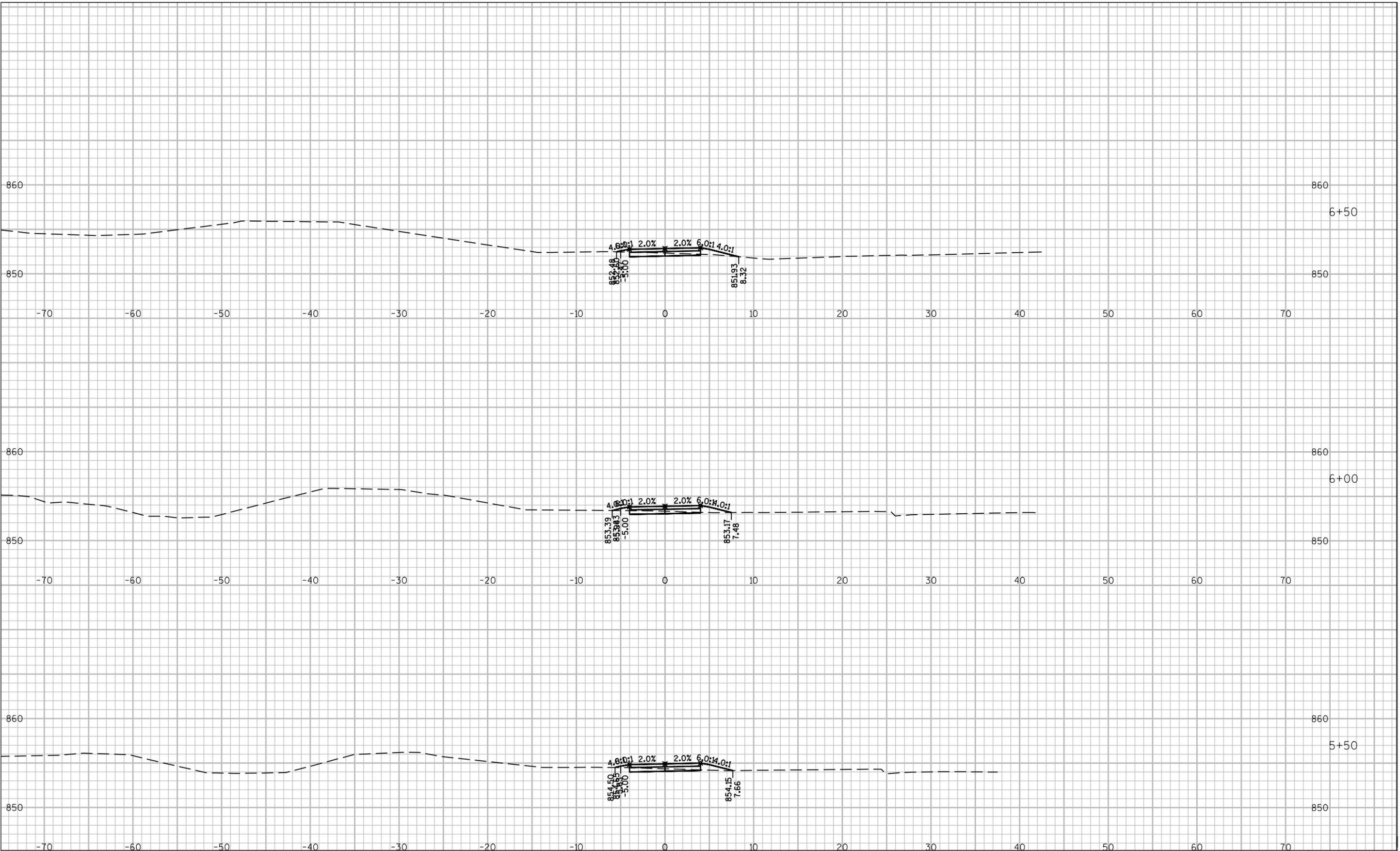
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CROSS SECTIONS			Date
Designer	Technician	Approval	11/19/15
NRK	TAL	SMC	Sheet Number

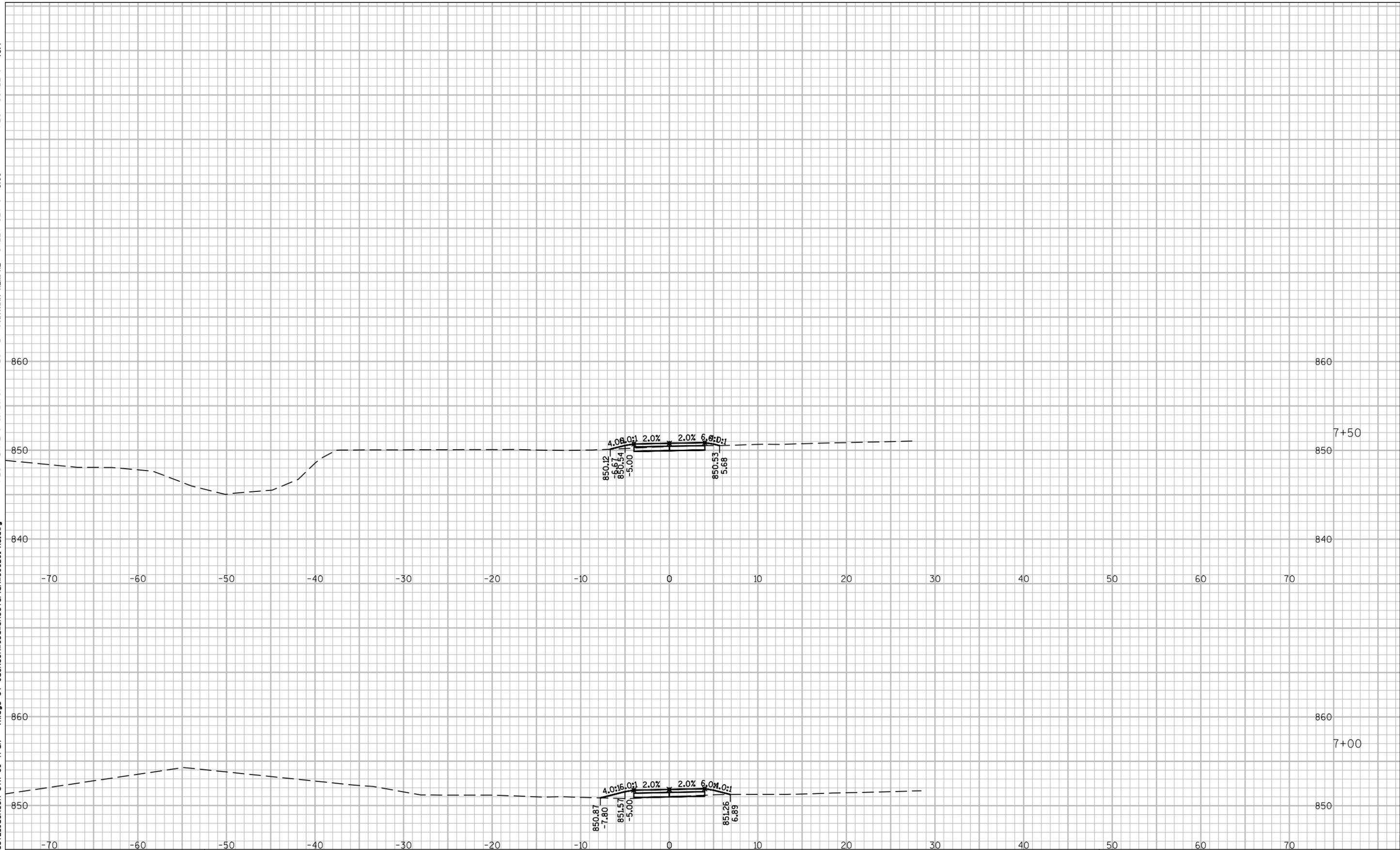
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 PLOT DATE : 10/20/14
 PLOT BY : NATHAN KEMPKRE
 SHEET SET : 5.00
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Designer	Technician	Approval	11/19/15
NRK	TAL	SMC	Sheet Number

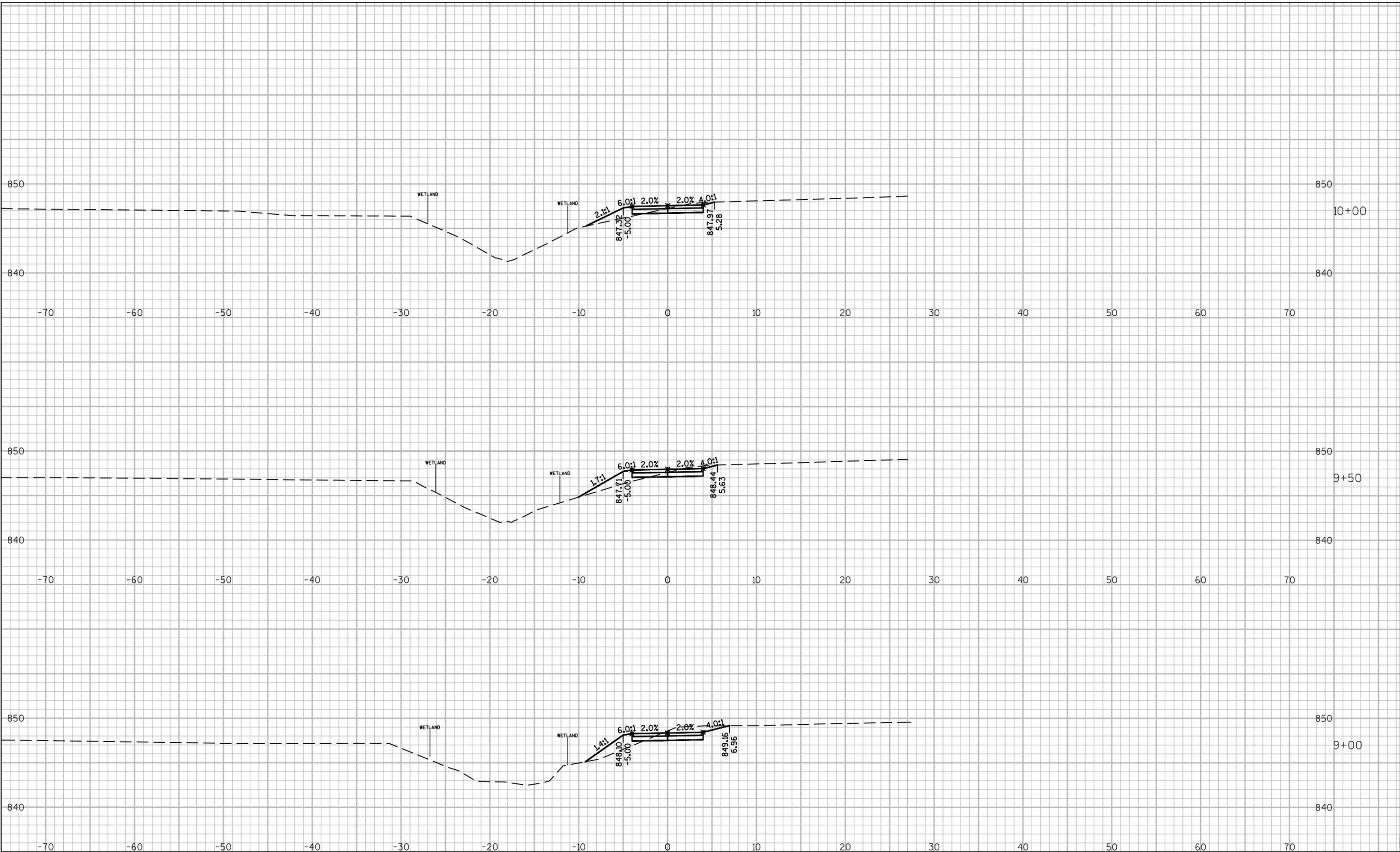
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 VILLAGE OF JACKSON**

CROSS SECTIONS			Date 11/19/15
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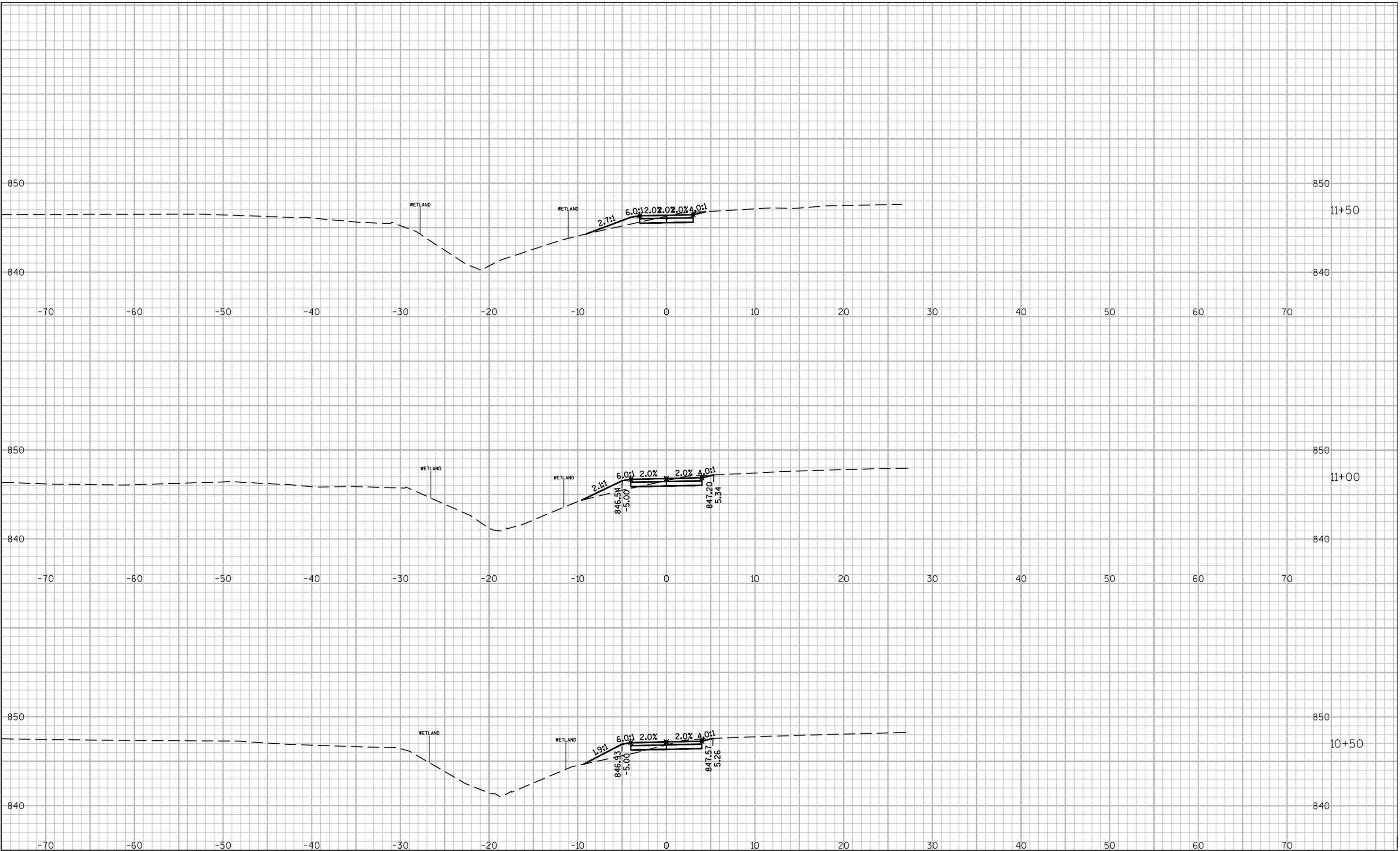
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 SHEET SET : 5.00
 PLOT SCALE : 10:1



**STONEWALL CONNECTION TRAIL
 RIDGEWAY RD TO EAGLE DR
 VILLAGE OF JACKSON**

CROSS SECTIONS			Date
Designer	Technician	Approval	11/19/15
NRK	TAL	SMC	Sheet Number

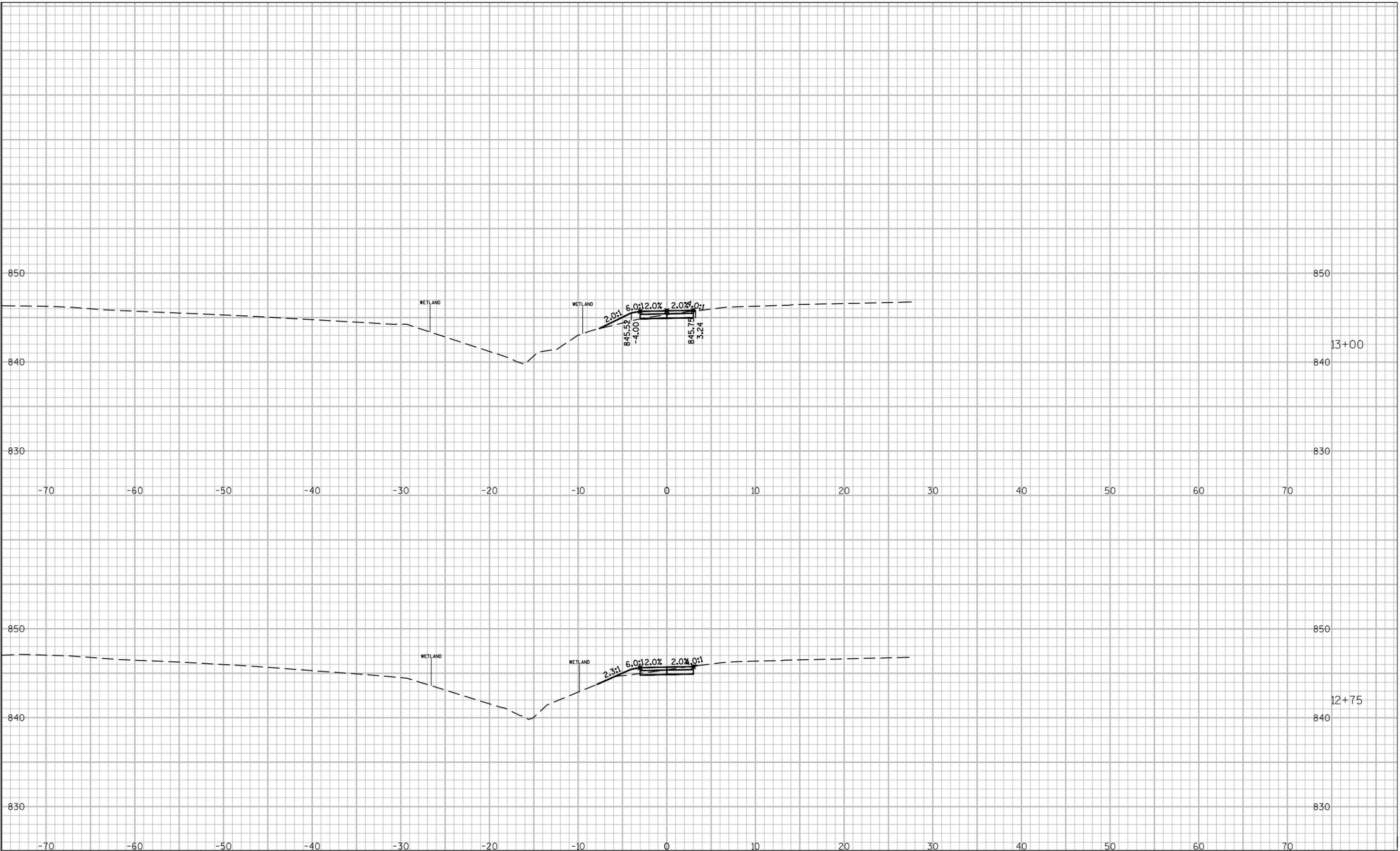
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**STONEWALL CONNECTION TRAIL
 RIDGEWAY RD TO EAGLE DR
 VILLAGE OF JACKSON**

CROSS SECTIONS			Date
Designer	Technician	Approval	11/19/15
NRK	TAL	SMC	Sheet Number

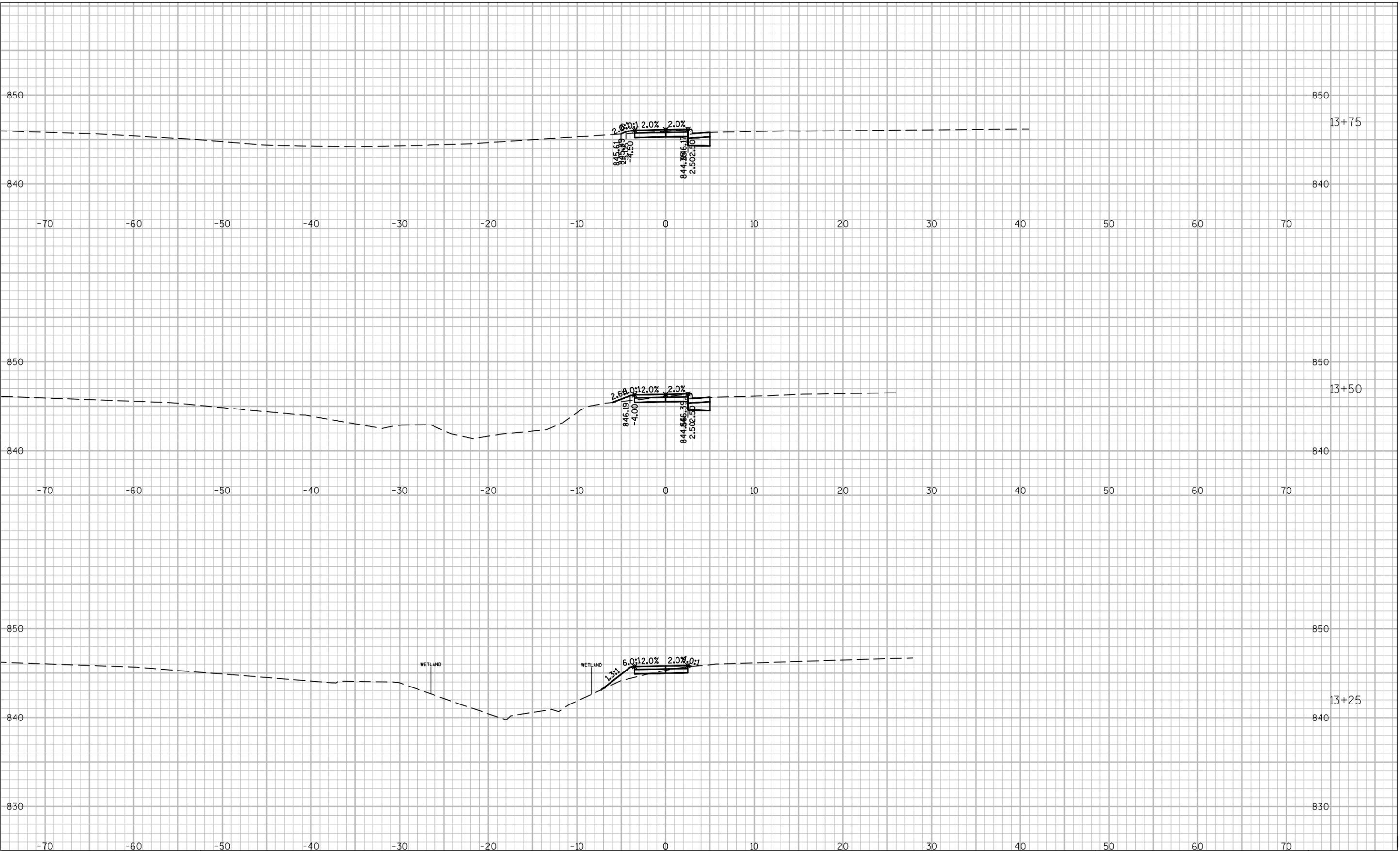
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 RIDGEWAY RD TO EAGLE DR
 VILLAGE OF JACKSON**

CROSS SECTIONS			Date 11/19/15
Designer NRK	Technician TAL	Approval SMC	Sheet Number

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 PLOT SCALE : 10:1



**STONEWALL CONNECTION TRAIL
 RIDGEWAY RD TO EAGLE DR
 VILLAGE OF JACKSON**

CROSS SECTIONS			Date 11/19/15
Designer NRK	Technician TAL	Approval SMC	Sheet Number

November 17, 2015

W141579.00

Mr. Brian Kober, Director of Public Works
Village of Jackson
N168 W20733 Main Street
P.O. Box 637
Jackson, Wisconsin 53037

**Application for Payment No. 3
Georgetown Drive Improvements
Village of Jackson, Wisconsin**

Dear Brian:

Enclosed for your use in payment to Advance Construction Co., in the amount of \$147,684.66 is Application for Payment No. 3.

Following your review and approval, please complete the application for payment form within the areas reserved for the Owner and process payment to the Contractor accordingly.

Should you have any questions, please feel free to contact me at our Milwaukee Regional office.

Sincerely,

GAI Consultants, Inc.



Chris J. Walter, P.E.
Assistant Design Manager

Enc.: Application for Payment No. 2

cc: Paul Kultger, Advance Construction Co.

Contractor's Application For Payment No.

3(three)

Application Period: 9/23 thru 11/17/2015		Application Date: 11/17/2015	
To (Owner): Village of Jackson	From (Contractor): Advance Construction, Inc.	Via (Engineer):	GAI
Project: Georgetown Drive	Contract: Georgetown Drive Reconstruction		
Owner's Contract No.:	Contractor's Project No.:	Engineer's Project No.:	W141579.00

Application for Payment
Change Order Summary

Approved Change Orders		
Numbers	Additions	Deductions
TOTALS	\$0.00	\$0.00
NET CHANGE BY CHANGE ORDERS		

1. ORIGINAL CONTRACT PRICE	\$	619,153.10
2. Net change by Change Orders	\$	
3. CURRENT CONTRACT PRICE (Line 1± 2)	\$	619,153.10
4. TOTAL COMPLETED AND STORED TO DATE (Column G on Progress Estimate)	\$	599,828.29
5. RETAINAGE:		
a. 5 % x 309,576.55 Work Completed	\$	15,478.83
b. % x Stored Material	\$	0.00
c. Total Retainage (Line 5a + 5b)	\$	15,478.83
6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line5c)	\$	584,349.46
7. LESS PREVIOUS PAYMENTS (line 6 from prior Application)	\$	436,664.80
8. AMOUNT DUE THIS APPLICATION	\$	147,684.66
9. BALANCE TO FINISH, PLUS RETAINAGE (Column G on Progress Estimate + Line 5 above)	\$	34,803.64

Contractor's Certification

The undersigned Contractors certifies that: (1) all previous progress payments received from Owner on account of Work done under the contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear off all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest or encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

By: *[Signature]* Date: 11-18-2015

Payment of: \$ 147,684.66
(Line 8 or other - attach explanation of the other amount)

is recommended by: *[Signature]* 11/17/15
(Engineer) (Date)

Payment of: \$ _____
(Line 8 or other - attach explanation of other amount)

is approved by: _____ (Owner) _____ (Date)

Approved by: _____ (Date)
Funding Agency (if applicable)

Progress Estimate

Contractor's Application

For (contract):							Application Number:				
Village of Jackson - Georgetown Drive Reconstruction							3(three)				
Application Period							Application Date:				
September 23, 2015 - November 17, 2015							11/17/2015				
A				B	C	D	E	F			
Bid Item No.	Item Description	Bid Quantity		Unit Price	Bid Value	Estimated Quantity Installed	Value	Materials Presently Stored (not in C)	Total Completed and Stored to date (D + E)	% (F + B)	Balance to Finish (B - F)
Section A - Sanitary Sewer											
1	8" sanitary sewer relay	725.00	lf	114.00	82,650.00	762.30	86,902.20		86,902.20	105%	-4,252.20
2	48" diameter sanitary manhole	38.00	vf	250.00	9,500.00	37.62	9,405.00		9,405.00	99%	95.00
3	6" sanitary sewer lateral	143.00	lf	85.00	12,155.00	42.00	3,570.00		3,570.00	29%	8,585.00
Section B - Water main											
4	8" water main relay	748.00	lf	89.25	66,759.00	755.50	67,428.38		67,428.38	101%	-669.38
5	8" gate valve	3.00	ea	1,591.00	4,773.00	3.00	4,773.00		4,773.00	100%	0.00
6	6" water main relay	14.00	lf	89.25	1,249.50	19.50	1,740.38		1,740.38	139%	-490.88
7	6" gate valve	1.00	ea	1,016.00	1,016.00	1.00	1,016.00		1,016.00	100%	0.00
8	Hydrant assembly	3.00	ea	6,290.00	18,870.00	3.00	18,870.00		18,870.00	100%	0.00
9	1 1/4" water ervice	136.00	lf	36.00	4,896.00	81.50	2,934.00		2,934.00	60%	1,962.00
10	1 1/4" water service fittings	4.00	ea	522.50	2,090.00	2.00	1,045.00		1,045.00	50%	1,045.00
Section C - Storm Sewer											
11	36" HDPE Storm Sewer	117.00	lf	117.00	13,689.00	95.00	11,115.00		11,115.00	81%	2,574.00
12	30" HDPE Storm Sewer	300.00	lf	104.00	31,200.00	294.50	30,628.00		30,628.00	98%	572.00
13	15" HDPE Storm Sewer	10.00	lf	64.50	645.00	10.00	645.00		645.00	100%	0.00
14	12" HDPE Storm Sewer	224.00	lf	52.50	11,760.00	230.50	12,101.25		12,101.25	103%	-341.25
15	19x30 CL HE-V RCP storm sewer	646.00	lf	120.00	77,520.00	680.00	81,600.00		81,600.00	105%	-4,080.00
16	19x30 CL HE-V RCP - 15 degree mitered pipe	2.00	ea	2,300.00	4,600.00	2.00	4,600.00		4,600.00	100%	0.00
17	6" pvc storm sewer lateral	314.00	lf	34.00	10,676.00	273.00	9,282.00		9,282.00	87%	1,394.00
18	60" storm manhole(2units)	14.20	vf	540.00	7,668.00	9.93	5,362.20		5,362.20	70%	2,305.80
19	72" storm manhole(1unit)	4.50	vf	707.40	3,183.30	8.62	6,097.79		6,097.79	192%	-2,914.49



PROJECT NO: W141579.00
 PROJECT ID: Georgetown Drive Reconstruction
 CLIENT: Village of Jackson
 CONTRACTOR: Advance Construction Co.

ESTIMATED QUANTITIES

Item	Unit Price	ORIGINAL Estimated Quantity	ORIGINAL Schedule of Values
1	8" Sanitary Sewer Relay	\$ 114.00	725 \$ 82,650.00
2	48" Sanitary Manhole (3 units)	\$ 250.00	38 \$ 9,500.00
3	6" Sanitary Sewer Lateral (5 units)	\$ 85.00	143 \$ 12,155.00
4	8" Water Main Relay	\$ 89.25	748 \$ 66,759.00
5	8" Gate Valve	\$ 1,591.00	3 \$ 4,773.00
6	6" Water Main Relay	\$ 89.25	14 \$ 1,249.50
7	6" Gate Valve	\$ 1,016.00	1 \$ 1,016.00
8	Hydrant Assembly	\$ 6,290.00	3 \$ 18,870.00
9	1-1/4" Water Service (4 units)	\$ 36.00	136 \$ 4,896.00
10	1-1/4" Water Service Fittings	\$ 522.50	4 \$ 2,090.00
11	36" HDPE Storm Sewer	\$ 117.00	117 \$ 13,689.00
12	30" HDPE Storm Sewer	\$ 104.00	300 \$ 31,200.00
13	15" HDPE Storm Sewer	\$ 64.50	10 \$ 645.00
14	12" HDPE Storm Sewer	\$ 52.50	224 \$ 11,760.00
15	19"X30" CL HE-III RCP	\$ 120.00	646 \$ 77,520.00
16	19"X30" CL HE-III RCP	\$ 2,300.00	2 \$ 4,600.00
17	6" PVC Storm Sewer Lateral (10 units)	\$ 34.00	314 \$ 10,676.00
18	60" Storm Manhole (3 units)	\$ 540.00	14.2 \$ 7,668.00
19	72" Storm Manhole (1 unit)	\$ 707.40	4.5 \$ 3,183.30
20	120" Storm Manhole (4 units)	\$ 1,776.00	16.8 \$ 29,836.80
21	Standard Catch Basin	\$ 2,247.00	11 \$ 24,717.00
22	Common Excavation	\$ 21,000.00	1 \$ 21,000.00
23	Pavement Removal	\$ 3.50	3000 \$ 10,500.00
24	Excavation Below Subgrade (Estimated)	\$ 6.00	200 \$ 1,200.00
25	Granular Backfill (3") for EBS (Estimated)	\$ 14.00	400 \$ 5,600.00
26	30" Concrete Curb and Gutter	\$ 13.00	1520 \$ 19,760.00
27	7" Concrete Sidewalk	\$ 3.50	1100 \$ 3,850.00
28	5" Concrete Sidewalk	\$ 5.00	6100 \$ 30,500.00
29	7" Concrete Driveway	\$ 54.90	115 \$ 6,313.50
30	Base Aggregate Dense	\$ 11.00	2200 \$ 24,200.00
31	Asphaltic Concrete Pavement	\$ 64.81	950 \$ 61,569.50
32	Sawcutting	\$ 2.00	260 \$ 520.00
33	Lawn Restoration	\$ 6.50	800 \$ 5,200.00
34	Adjust Storm Manhole	\$ 500.00	2 \$ 1,000.00
35	Adjust Sanitary Manhole	\$ 500.00	3 \$ 1,500.00
36	Traffic Control	\$ 7,000.00	1 \$ 7,000.00
TOTAL - Items thru , Inclusive,.....			\$ 619,166.60
CHANGE ORDER ITEMS (& Supplemental Items by Change Order):			
CO1			\$ -
1	2" Water Service Fittings	\$ 605.25	3 \$ 1,815.75
2	2" Water Service	\$ 37.00	72 \$ 2,645.50
3	Fix Unmarked Services	\$ 2,281.18	1 \$ 2,281.18
4	Install 6" Valve	\$ 150.00	1 \$ 150.00
		Total=	\$ 6,892.43
Project TOTALS =			\$ 626,059.03

Application For Payment No. 1					Application For Payment No. 2					Application For Payment No. 3									
QUANTITIES	VALUES	QUANTITIES	VALUES	\$	QUANTITIES	VALUES	QUANTITIES	VALUES	\$	QUANTITIES	VALUES	QUANTITIES	VALUES	\$					
Submitted This Application	Submitted This Application	Submitted TO DATE	Submitted TO DATE	% of Est.	Submitted This Application	Submitted This Application	Submitted TO DATE	Submitted TO DATE	% of Est.	Submitted This Application	Submitted This Application	Submitted TO DATE	Submitted TO DATE	% of Est.					
337.00	\$ 38,418.00	337.00	\$ 38,418.00	46.48%	425.30	\$ 48,484.20	762.30	\$ 86,902.20	105.14%	0.00	\$ -	762.30	\$ 86,902.20	105.14%					
12.20	\$ 3,050.00	12.20	\$ 3,050.00	32.11%	25.42	\$ 6,355.00	37.62	\$ 9,405.00	99.00%	0.00	\$ -	37.62	\$ 9,405.00	99.00%					
0.00	\$ -	0.00	\$ -	0.00%	42.00	\$ 3,570.00	42.00	\$ 3,570.00	29.37%	0.00	\$ -	42.00	\$ 3,570.00	29.37%					
100.00	\$ 8,925.00	100.00	\$ 8,925.00	13.37%	655.50	\$ 58,503.38	755.50	\$ 67,428.38	101.00%	0.00	\$ -	755.50	\$ 67,428.38	101.00%					
0.00	\$ -	0.00	\$ -	0.00%	3.00	\$ 4,773.00	3.00	\$ 4,773.00	100.00%	0.00	\$ -	3.00	\$ 4,773.00	100.00%					
0.00	\$ -	0.00	\$ -	0.00%	19.50	\$ 1,740.38	19.50	\$ 1,740.38	139.29%	0.00	\$ -	19.50	\$ 1,740.38	139.29%					
0.00	\$ -	0.00	\$ -	0.00%	1.00	\$ 1,016.00	1.00	\$ 1,016.00	100.00%	0.00	\$ -	1.00	\$ 1,016.00	100.00%					
0.00	\$ -	0.00	\$ -	0.00%	3.00	\$ 18,870.00	3.00	\$ 18,870.00	100.00%	0.00	\$ -	3.00	\$ 18,870.00	100.00%					
0.00	\$ -	0.00	\$ -	0.00%	81.50	\$ 2,934.00	81.50	\$ 2,934.00	59.93%	0.00	\$ -	81.50	\$ 2,934.00	59.93%					
0.00	\$ -	0.00	\$ -	0.00%	2.00	\$ 1,045.00	2.00	\$ 1,045.00	50.00%	0.00	\$ -	2.00	\$ 1,045.00	50.00%					
95.00	\$ 11,115.00	95.00	\$ 11,115.00	81.20%	0.00	\$ -	95.00	\$ 11,115.00	81.20%	0.00	\$ -	95.00	\$ 11,115.00	81.20%					
15.50	\$ 1,612.00	15.50	\$ 1,612.00	5.17%	279.00	\$ 29,016.00	294.50	\$ 30,628.00	98.17%	0.00	\$ -	294.50	\$ 30,628.00	98.17%					
0.00	\$ -	0.00	\$ -	0.00%	10.00	\$ 645.00	10.00	\$ 645.00	100.00%	0.00	\$ -	10.00	\$ 645.00	100.00%					
146.00	\$ 7,665.00	146.00	\$ 7,665.00	65.18%	84.50	\$ 4,436.25	230.50	\$ 12,101.25	102.90%	0.00	\$ -	230.50	\$ 12,101.25	102.90%					
680.00	\$ 81,600.00	680.00	\$ 81,600.00	105.26%	0.00	\$ -	680.00	\$ 81,600.00	105.26%	0.00	\$ -	680.00	\$ 81,600.00	105.26%					
2.00	\$ 4,600.00	2.00	\$ 4,600.00	100.00%	0.00	\$ -	2.00	\$ 4,600.00	100.00%	0.00	\$ -	2.00	\$ 4,600.00	100.00%					
66.00	\$ 2,244.00	66.00	\$ 2,244.00	21.02%	67.50	\$ 2,295.00	133.50	\$ 4,539.00	42.52%	139.50	\$ 4,743.00	273.00	\$ 9,282.00	86.94%					
0.00	\$ -	0.00	\$ -	0.00%	9.93	\$ 5,362.20	9.93	\$ 5,362.20	69.93%	0.00	\$ -	9.93	\$ 5,362.20	69.93%					
4.27	\$ 3,020.60	4.27	\$ 3,020.60	94.89%	4.35	\$ 3,077.19	8.62	\$ 6,097.79	191.56%	0.00	\$ -	8.62	\$ 6,097.79	191.56%					
16.29	\$ 28,931.04	16.29	\$ 28,931.04	96.96%	-3.67	\$ (6,517.92)	12.62	\$ 22,413.12	75.12%	0.00	\$ -	12.62	\$ 22,413.12	75.12%					
6.00	\$ 13,482.00	6.00	\$ 13,482.00	54.55%	5.00	\$ 11,235.00	11.00	\$ 24,717.00	100.00%	0.00	\$ -	11.00	\$ 24,717.00	100.00%					
0.00	\$ -	0.00	\$ -	0.00%	1.00	\$ 21,000.00	1.00	\$ 21,000.00	100.00%	0.00	\$ -	1.00	\$ 21,000.00	100.00%					
0.00	\$ -	0.00	\$ -	0.00%	3000.00	\$ 10,500.00	3000.00	\$ 10,500.00	100.00%	-8.60	\$ (30.10)	2991.40	\$ 10,469.90	99.71%					
0.00	\$ -	0.00	\$ -	0.00%	32.70	\$ 196.20	32.70	\$ 196.20	16.35%	0.00	\$ -	32.70	\$ 196.20	16.35%					
0.00	\$ -	0.00	\$ -	0.00%	46.50	\$ 651.00	46.50	\$ 651.00	11.63%	0.00	\$ -	46.50	\$ 651.00	11.63%					
0.00	\$ -	0.00	\$ -	0.00%	0.00	\$ -	0.00	\$ -	0.00%	1555.30	\$ 20,218.90	1555.30	\$ 20,218.90	102.32%					
0.00	\$ -	0.00	\$ -	0.00%	0.00	\$ -	0.00	\$ -	0.00%	849.00	\$ 2,971.50	849.00	\$ 2,971.50	77.18%					
0.00	\$ -	0.00	\$ -	0.00%	0.00	\$ -	0.00	\$ -	0.00%	6035.00	\$ 30,175.00	6035.00	\$ 30,175.00	98.93%					
0.00	\$ -	0.00	\$ -	0.00%	0.00	\$ -	0.00	\$ -	0.00%	173.50	\$ 9,525.15	173.50	\$ 9,525.15	150.87%					
0.00	\$ -	0.00	\$ -	0.00%	1344.92	\$ 14,794.12	1344.92	\$ 14,794.12	61.13%	517.30	\$ 5,690.30	1862.22	\$ 20,484.42	84.65%					
0.00	\$ -	0.00	\$ -	0.00%	0.00	\$ -	0.00	\$ -	0.00%	802.98	\$ 52,041.13	802.98	\$ 52,041.13	84.52%					
0.00	\$ -	0.00	\$ -	0.00%	0.00	\$ -	0.00	\$ -	0.00%	260.00	\$ 520.00	260.00	\$ 520.00	100.00%					
0.00	\$ -	0.00	\$ -	0.00%	0.00	\$ -	0.00	\$ -	0.00%	1351.90	\$ 8,787.35	1351.90	\$ 8,787.35	168.99%					
0.00	\$ -	0.00	\$ -	0.00%	0.00	\$ -	0.00	\$ -	0.00%	2.00	\$ 1,000.00	2.00	\$ 1,000.00	100.00%					
0.00	\$ -	0.00	\$ -	0.00%	0.00	\$ -	0.00	\$ -	0.00%	3.00	\$ 1,500.00	3.00	\$ 1,500.00	100.00%					
0.50	\$ 3,500.00	0.50	\$ 3,500.00	50.00%	0.00	\$ -	0.50	\$ 3,500.00	50.00%	0.50	\$ 3,500.00	1.00	\$ 7,000.00	100.00%					
TOTAL - Items thru , Inclusive,.....	\$ 208,162.64	\$ 208,162.64	\$ 208,162.64	33.62%	\$ 243,980.99	\$ 452,143.63	\$ 452,143.63	\$ 452,143.63	73.02%	\$ 140,642.23	\$ 592,785.86	\$ 592,785.86	\$ 592,785.86	95.74%					
CHANGE ORDER ITEMS (& Supplemental Items by Change Order):																			
CO1																			
1	2" Water Service Fittings	\$ 605.25	3 \$ 1,815.75							3.0	\$ 1,815.75	3.0	\$ 1,815.75						
2	2" Water Service	\$ 37.00	72 \$ 2,645.50							71.5	\$ 2,645.50	71.5	\$ 2,645.50						
3	Fix Unmarked Services	\$ 2,281.18	1 \$ 2,281.18							1.0	\$ 2,281.18	1.0	\$ 2,281.18						
4	Install 6" Valve	\$ 150.00	1 \$ 150.00							1.0	\$ 150.00	1.0	\$ 150.00						
		Total=	\$ 6,892.43							Total =	\$ 6,892.43	Total =	\$ 6,892.43						
Project TOTALS =			\$ 626,059.03		\$ 208,162.64	\$ 208,162.64	\$ 208,162.64	\$ 208,162.64	33.52%	\$ 243,980.99	\$ 452,143.63	\$ 452,143.63	\$ 452,143.63	73.02%	\$ 147,534.66	\$ 599,678.29	\$ 599,678.29	\$ 599,678.29	96.85%

November 20, 2015

Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

Attention: Brian Kober, P.E.
Director of Public Works

Subject: Project I.D. 150513
Jackson Drive Sidewalk
Cranberry Creek Lane – STH 60
Estimate #2

Dear Mr. Kober:

Enclosed you will find Pay Estimate # for the Jackson Drive Sidewalk project in the Village of Jackson. The total amount due to the contractor has been reduced by five percent (5%) for retainage.

Work completed, Estimate #2	= \$41,395.03
Retainage, Estimate #2 (5%)	= 2,069.75
Amount due to Contractor, Estimate #2	= \$39,325.28

If you have any questions or comments, please contact me at (920) 924-5720.

Sincerely,



Eric Stobb
Gremmer & Associates, Inc.

**Village of Jackson - Jackson Drive Sidewalk
DC Burbach - Prime Contractor**

Item No.	Description	Units	TOTAL	Unit Price	Bid Total	Estimate #1		Estimate #2		Estimate #3		Estimate #4		Estimate #5		Cumulative Totals		
						Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	
1	Clearing and Grubbing	LS	1	\$1,500.00	\$1,500.00	0.5	\$750.00	0.5	\$750.00		\$0.00		\$0.00		\$0.00	1.0	\$1,500.00	
2	Removing Curb & Gutter	LF	70	\$7.20	\$504.00	106.0	\$763.20	0.0	\$0.00		\$0.00		\$0.00		\$0.00	106.0	\$763.20	
3	Removing Concrete	SY	110	\$7.20	\$792.00	189.0	\$1,360.80	0.0	\$0.00		\$0.00		\$0.00		\$0.00	189.0	\$1,360.80	
4	Excavation Common **P**	CY	271	\$29.85	\$8,089.35	271.0	\$8,089.35	0.0	\$0.00		\$0.00		\$0.00		\$0.00	271.0	\$8,089.35	
5	Base Aggregate Dense 3/4-Inch	TON	500	\$17.65	\$8,825.00	280.1	\$4,943.77	133.0	\$2,347.45		\$0.00		\$0.00		\$0.00	413.1	\$7,291.22	
6	Concrete Driveway 6-Inch	SY	290	\$42.25	\$12,252.50	53.5	\$2,260.38	271.8	\$11,482.28		\$0.00		\$0.00		\$0.00	325.3	\$13,742.66	
7	Asphaltic Surface Driveways and Field Entrances	TON	15	\$275.00	\$4,125.00	0.0	\$0.00	14.5	\$3,987.50		\$0.00		\$0.00		\$0.00	14.5	\$3,987.50	
8	Concrete Curb & Gutter, 24-Inch Type D	LF	70	\$32.10	\$2,247.00	76.0	\$2,439.60	30.0	\$963.00		\$0.00		\$0.00		\$0.00	106.0	\$3,402.60	
9	Concrete Sidewalk 4-Inch	SF	9400	\$3.35	\$31,490.00	8124.6	\$27,217.41	780.0	\$2,613.00		\$0.00		\$0.00		\$0.00	8,904.6	\$29,830.41	
10	Concrete Sidewalk 6-Inch	SF	380	\$4.30	\$1,634.00	121.0	\$520.30	0.0	\$0.00		\$0.00		\$0.00		\$0.00	121.0	\$520.30	
11	Curb Ramp Detectable Warning Field Yellow	SF	24	\$50.00	\$1,200.00	0.0	\$0.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	0.0	\$0.00	
12	Topsoil, Seed Mix 40, Fertilizer Type B and Erosion Mat Urban Class I Type A	SY	2400	\$6.40	\$15,360.00	0.0	\$0.00	1,762.0	\$11,276.80		\$0.00		\$0.00		\$0.00	1,762.0	\$11,276.80	
13	Inlet Protection Type C	EACH	10	\$75.00	\$750.00	9.0	\$675.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	9.0	\$675.00	
14	Traffic Control	LS	1	\$4,150.00	\$4,150.00	0.5	\$2,075.00	0.5	\$2,075.00		\$0.00		\$0.00		\$0.00	1.0	\$4,150.00	
15	Sawing Asphalt	LF	135	\$2.50	\$337.50	140.5	\$351.25	0.0	\$0.00		\$0.00		\$0.00		\$0.00	140.5	\$351.25	
16	Sawing Concrete	LF	56	\$4.00	\$224.00	12.0	\$48.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	12.0	\$48.00	
17	Sawing Curb Head	LF	20	\$30.00	\$600.00	10.0	\$300.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	10.0	\$300.00	
18	Adjusting Sanitary Sewer Manhole	EACH	1	\$1,200.00	\$1,200.00	1.0	\$1,200.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	1.0	\$1,200.00	
	Extra: Remove Loading Dock at Ray's Automotive as Authorized	LS	1	\$1,500.00	\$1,500.00	1.0	\$1,500.00		\$0.00		\$0.00		\$0.00		\$0.00	1.0	\$1,500.00	
	Extra: Option #5 - Remove & Replace Asphalt on Jackson Drive per DC Burbach proposal	LS	1	\$5,900.00	\$5,900.00	0.0	\$0.00	1.0	\$5,900.00		\$0.00		\$0.00		\$0.00	1.0	\$5,900.00	
					SUBTOTAL	\$102,680.35		\$54,494.05		\$41,395.03		\$0.00		\$0.00		\$0.00		\$95,889.08



Work completed, previous estimates	\$54,494.05
Work completed, this estimate	\$41,395.03
Total work completed	\$ 95,889.08
Retainage, this estimate	\$ 2,069.75
Retainage, total all estimates	\$ 4,794.45
Amount due to contractor, this estimate	\$ 39,325.28

Jackson Truck Body Inc.

N168 W20640 Main St
Jackson WI. 53037

262-677-3133 Fax 262-677-4675

QUOTE

DATE	ESTIMATE #
11/17/2015	56515

Village of Jackson
N168 W20733 Main St.
PO Box 637
Jackson Wi. 53037

P.O. NO.	TERMS	FOB	SALES PEOPLE
	Due on receipt	Jackson Wi.	Jeff

QTY	ITEM	DESCRIPTION	TOTAL
1	short single	cost to shorten truck frame hydraulic brakes, drive shaft shortened and balanced slide the axle forward to fit the tank	1,650.00T
1	miss	build new fenders on the truck Steel 12 gauge fenders with new supports to the frame	600.00T
1	miss	install new strobe light and wiring to the strobe light new lighted switch installed in the cab	365.00T
1	miss	remove the existing platform and underbody cabinets from the new chassis	530.00T
1	hot shift Allis...	Power take off to fit transmission Hot shift installed on your truck	1,740.00T

TOTAL

SIGNATURE

Jackson Truck Body Inc.

N168 W20640 Main St
Jackson WI. 53037

262-677-3133 Fax 262-677-4675

QUOTE

DATE	ESTIMATE #
11/17/2015	56515

Village of Jackson
N168 W20733 Main St.
PO Box 637
Jackson Wi. 53037

P.O. NO.	TERMS	FOB	SALES PEOPLE
	Due on receipt	Jackson Wi.	Jeff

QTY	ITEM	DESCRIPTION	TOTAL
1	miss	cost to transfer the complete tank and pump onto the new chassis replace/repair the broken mount springs and mount brackets remount the tail lights install a new ICC step on the back of the unit	2,150.00 ^T
		Sales Tax	0.00
		<i>TRADE-IN EXISTING FLAT BED</i>	<i>-1,500⁰⁰</i>
		<i>TOTAL</i>	<i>\$ 5,535⁰⁰</i>

All of the above prices are subject to change after 15 days.
Any changes or modifications to the job will void the above prices.
Please SIGN this quote and we will put your job into the production order.
THANK YOU

TOTAL	\$7,035.00
--------------	------------

SIGNATURE



Hansen & Young
 1264 5th Avenue
 Prairie Farm, WI 54762
 Phone: (715) 837-1016
 Fax: (715) 837-1025

Paddle #: 3815
 Invoice #: 3815-42582-1
 Date: 29-Oct-2015 01:32 CDT

Buyer Information

Buyer Name: Jeff Deitsch
 Paddle #: 3815
 Phone #:
 Email:
 Billing:

Auction Information

Auction: KBS Grove Cranes and Contractor
 Construction Equipment
 Date: 10/27/2015
 Location: 4425 W Mitchell St
 Milwaukee, WI 53204

Shipping:

Lot	Paddle	Description	Qty	Bid	Sale Price	Premium	Tax	Total
20	3815	04 Sterling Acterra 24' Stake Bed Truck - Vin 2FZACGDC75AU1318, 84201.9 miles, 40" removable sides, cat engine 7.2L	1x	\$18,750.00	\$18,750.00	\$1,875.00	\$0.00	\$20,625.00
Total Lots: 1				Totals	\$18,750.00	\$1,875.00	\$0.00	\$20,625.00

PAID IN FULL

SubTotal: \$20,625.00
 Cash Total Due: \$0.00
 Paid Check \$20,625.00
 Check 63864560

Tax codes used: Milwaukee City

PLEASE NOTE: IF YOU ARE CONTINUING TO PURCHASE from catalogs 9, 10, 11 & 12, a second final invoice will be sent when bidding ends Wednesday. (Catalog 4 items will be in a separate invoice).

AS IS: All sales are made "as is", with no warranties either expressed or implied by our company or its representatives.

SALES TAX: If you are sales tax exempt, a sales tax exempt form can be filled out and sales tax will be deducted from your invoice.

Find more auctions at www.hansenandyoung.com!

This is a large pick up, so please allow extra time for picking up items.

Please bring help for loading if you need it.

Pick Up: Wednesday, October 28 • 10:00 AM – 4:00 PM,

Thursday, October 29 • 8:00 AM – 4:00 PM &

Friday, October 30 • 8:00 AM – 2:00 PM

Directions: From I-94 take exit 308B to go south on WI-341 S/Miller Park 1 mile. Continue ½ miles on Miller Park Way. Turn right on W Mitchell St. Destination on the left. 4425 W Mitchell St, Milwaukee, WI 53204.



VILLAGE OF JACKSON



07/10/2014 PM 11:37



07/10/2014 PM 11:34



07/10/2014 PM 11:34



07/10/2014 PM 11:36

Performance

Spin Doctor™ Features and Options



Performance	SD400	SD800	ERB800
Capacity	Operates all valves 4" - 60"	Operates all valves 4" - 60"	Operates all valves 4" - 60"
Speed	0 - 60, depending on hydraulic supply flow	0 - 60, depending on hydraulic supply flow 5 - 30 with ValveSTAR in Auto Mode	0 - 60, depending on hydraulic supply flow 5 - 30 with ValveSTAR in Auto Mode
Torque	0 - 400 ft lbs	0 - 800 ft lbs	0 - 800 ft lbs
Range	Approximately 270 degrees with Extended Reach, 180 degrees without	Approximately 270 degrees with Extended Reach, 180 degrees without	Approximately 270 degrees
Reach	Horizontal: 13' with ER; 9' without Vertical: 4' below surface, 7' above surface	Horizontal: 13' with ER; 9' without Vertical: 4' below surface, 7' above surface	Horizontal: 13' Vertical: 4'
Alignment	Self leveling head to allow for connection to valve not perfectly straight	Self leveling head to allow for connection to valve not perfectly straight	Self leveling head to allow for connection to valve not perfectly straight
Head Tilt	90 degrees side to side 22 degrees front to back	90 degrees side to side 22 degrees front to back	22 degrees side to side 22 degrees front to back
ValveSTAR Capable	No	Yes - Can still run in manual mode when equipped with ValveSTAR option	Yes - Can still run in manual mode when equipped with ValveSTAR option

Features

- All booms come with a LIFETIME WARRANTY for failure due to torque
- All valve exercisers are capable of being mounted by truck, trailer, or vacuum. Slides into any standard 2" receiver hitch.
- Supplied with valve key to operate standard AWWA 2" nut. Telescopic 4' to 9' range, with 3' extension pieces available.
- Unique vertical range allows for valve exercisers to easily reach valves on a hill or in a ditch.
- Vertically positioned SD400 and SD800 allow for reaching over fences and bushes without damaging them.
- When equipped with the ValveStar or ValveStar Auto, the SD800 and ERB800 can still function in manual mode for emergency situations, or when there is a computer failure.

Optional Equipment

- ValveStar - Allows for capturing all exercising data. Uses IMS software to create work orders, store data, and create detailed reports, (included with ValveStar).
- ValveStar Auto - Works in conjunction with the ValveStar to allow for hands free exercising.
- Power Pack - Available in 6.5HP for the SD400, or 14HP for any of the options.
- Trailer - Small trailer unit to contain all of your valve exercising equipment.
- Vacuum - Utility vacuum to allow for an all in one system for cleaning and maintaining valves.
- Slick Stick - Loosens corrosion on valve stems

HURCO
TECHNOLOGIES, INC.
HURCO TECH.COM
1-800-888-1436

VILLAGE OF JACKSON
 PO BOX 637
 JACKSON WI 53037
 Telephone: 262-677-3278
 Fax: 262-677-2028

MILWAUKEE WI
 15655 West Rogers Dr
 New Berlin WI 53151
 Telephone: 262-786-5186
 Fax: 262-782-5952

10/29/15 Bid ID: 4375016 SD800 SPIN DOCTOR

Page 1

Line	Quantity	Sell Per	Description	Net Price	Extended Price
20	1	EA	HURCO SPIN DOCTOR SD800 BOOM WITH HEAD	7,850.00	7,850.00
50	1	EA	HURCO PP14E 14HP POWER PACK	3,825.00	3,825.00
Subtotal:					11,675.00
Tax:					.00
Bid Total:					11,675.00

DRAFT MINUTES
Board of Public Works Meeting
Tuesday, November 24, 2015 – 7:00 P.M.
Jackson Village Hall
N168W20733 Main Street

1. Call to Order and Roll Call.

Chairman Tr. Don Olson called the meeting to order at 7:00 p.m.

Members present: Tr. Scott Mittelsteadt, Linda Granec, Brian Heckendorf, and Tr. Jack Lippold.

Members excused: Scott Thielmann.

Not Present: Corinne Benson.

Staff present: Brian Kober

2. Approval of Minutes for October 27, 2015 meeting.

Motion by Brian Heckendorf, second by Tr. Lippold to approve the minutes of the October 27, 2015, Board of Public Works meeting.

Vote: 5 ayes, 0 nays. Motion carried.

3. Review of Bids for Stonewall Connector Trail Project.

Brian Kober presented information on the Stonewall Connector Trail Project. The Project is now an eight foot wide sidewalk that narrows to six feet when the trail connects to Eagle Drive. It is now called a sidewalk or trail. The DOT no longer has design requirements on the project. Brian will confirm that the Village still qualifies for the grant. Johnson's Paving is reviewing the new quantities for a new base bid proposal. Brian commented he needs a firm number from Johnson's Paving to complete the contract. The Board of Public Works does not meet in December. There will be an update at the January meeting. Brian commented that the best is to lock in this year's asphalt prices.

Motion by Tr. Olson, second by Tr. Lippold to place on the Village Board Agenda for possible action and update the Board of Public Works at the January meeting.

Vote: 5 ayes, 0 nays. Motion carried.

4. Acceptance of Work – West Shore Pipeline Water Extension Project.

Brian reported on the project. The exhibits have not been submitted.

He reported that the flushing station issues were due to a filter that was incorrectly installed backwards at the factory. The flushing station does have a two year warranty.

Motion by Linda Granec, second by Brian Heckendorf to refer the Acceptance of Work – West Shore Pipeline Water Extension Project to the January Board of Public Works meeting.

Vote: 5 ayes, 0 nays. Motion carried.

5. Pay Request #3 – Georgetown Dr. Reconstruction Project.

Brian Kober reviewed the project with the Board. Brian commented to hold back less than the \$34,803 for the retainage. The Village Board pay request may differ due to holding less for the retainage. Motion by Tr. Mittelsteadt, second by Tr. Lippold to recommend the Village Board approve the Pay Request #3 to Advance Construction Company for Georgetown Drive Reconstruction Project in an amount not to exceed \$147,684.66.

Vote: 5 ayes, 0 nays. Motion carried.

6. Pay Request #2 Jackson Dr. Sidewalk Project.

Brian Kober reviewed the project with the Board. This is not the final pay request as there may be adjustment for the landscaping. Tr. Lippold questioned if We Energies is aware that they are responsible to clear the sidewalk on their property. Discussion ensued of the We Energies items and their assessment. Brian commented that a couple properties have paid their assessments based on the preliminary estimates. Motion by Tr. Lippold, second by Linda Granec, to recommend the Village Board approve the Pay Request #2 to Gremmer & Associates for the Jackson Drive Sidewalk Project in an amount not to exceed \$39,325.28. Brian Heckendorf questioned if the full amount was utilized for the inspections. Brian commented that the inspections were at about ½ - ¾ of the time.

Vote: 5 ayes, 0 nays. Motion carried.

7. Review of Jackson Sewer Utility Pumper Truck Upgrade.

Brian Kober reviewed the Sewer Utility Pumper Truck Upgrade with the Board. He commented that the 2016 budget reflected the purchase of a vac truck for \$35,000. This would replace the 1980 vac truck. The pump portion was replaced last year. The Hanson and Young auction showed a 2005 sterling truck at a very good price. The plan was to find a truck 2007 or older because of emissions. The truck was \$20,625. Jackson Truck Body proposal is to shorten the axle and drive train. The flat bed portion will be used as a trade-in to reduce the cost. The conversion proposal will be at \$5,535 or less. This is a good fix for the next 35 years. The replacement fund will be used for the truck and the upgrade item and will then be reimbursed with the 2016 budget.

Motion by Tr. Mittelsteadt, second by Tr. Lippold, to recommend the Village Board approve the Sewer Utility Truck Upgrade for \$5,535.

Vote: 5 ayes, 0 nays. Motion carried.

8. Purchase of Hurco Spin Doctor Valve Turner.

Brian Kober gave information on the Hurco Spin Doctor to be used on water valves for exercising. The monies from the West Shore Pipeline reimbursements will be utilized. He commented that this has a counter and boom that works from the back off a truck instead of lifting off a trailer. Discussion of selling the old one ensued.

Motion by Linda Granec, second by Tr. Olson to Recommend the Village Board approve the purchase of the Hurco Spin Doctor in an amount not to exceed \$11,675.

Vote: 5 ayes, 0 nays. Motion carried.

9. Engineering Proposal for Jackson Sewer Utility SCADA System Upgrade.

Brian Kober reported on the SCADA System Upgrade. He pointed out details from the memorandum, stating that the system is made up of eight panels and the additional panel for the remote lift station. The system has Ethernet connections, fiber optics and the DH plus. There is a nightmare of communication throughout the plant. The computers were going bad in the lab; the server was upgraded to a 2012 Server format and the old SCADA system was run under 2003 Sever format. The SCADA system upgrade of Intellisys approved last year has 28 screens done and 5 more to go. The PLCs are going down and losing pump communication. Basically, the systems are not communicating with one another causing them not to work properly.

Brian is proposing to look to another program. The fiber optic is not being utilized in the plant due to additional adapters for the system. The proposal is to create a project scope and a plan to revamp the PLCs and utilize the fiber optic that is already at the plant. The overall project cost is \$300,000-\$500,000.

The engineering service proposal from Town and Country for the project is estimated to cost between \$46,000 to \$54,000 based on time and material. Due to confusion of the project and the explanation, Brian recommended to have Greg Droessler from Town and Country Engineering give a presentation at the next Board of Public Works meeting.

Motion by Tr. Olson, second by Tr. Lippold to refer the item to the January Board of Public Works Meeting.

Vote: 5 ayes, 0 nays. Motion carried.

10. Jackson Storm Water Management Plan Update.

Brian Kober distributed a memo from Graef in regards to the Storm Water Management Program. He reported that the data for the ponds is still being compiled for an update to the DNR. The memorandum details that 47 existing ponds were evaluated to determine a baseline condition. A review period of all ponds is recommended every five years to recertify the pond. This will be an additional village ordinance. The Village has the general permit and will recertify with the DNR next year. No ponds are failing at this time. Brian will work with Kelly Valentino on a community outreach program.

11. Director of Public Works Report.

Brian Kober reviewed the Public Works Report.

Motion by Tr. Mittelsteadt, second by Linda Granec to place the report on file.

Vote: 5 ayes, 0 nays. Motion carried.

10. Citizens/Village Staff to address the Board.

A Thank You note for the installation of Street Lights on Glen Brooke Drive was read.

12. Adjourn.

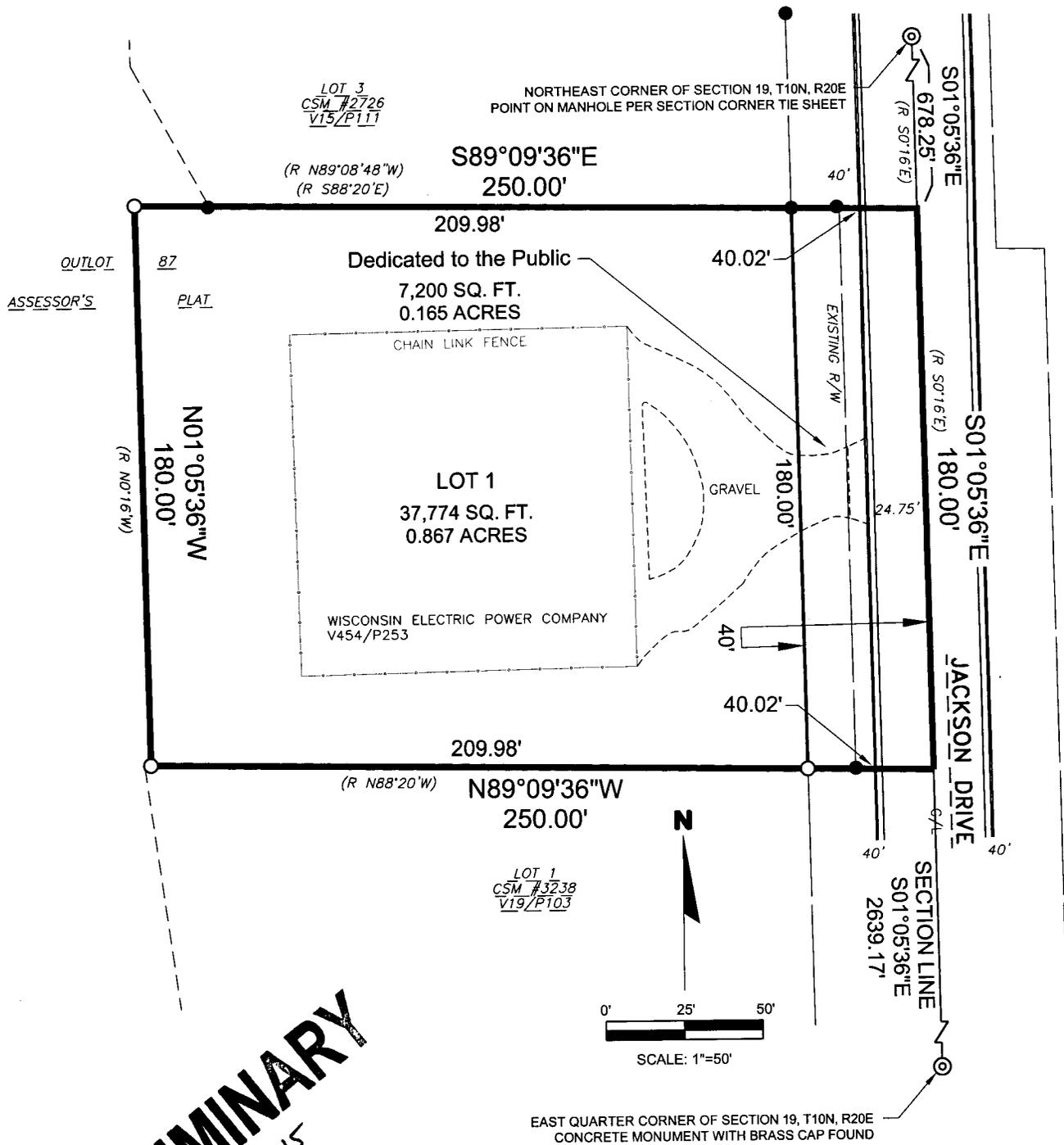
Motion by Tr. Lippold, second by Linda Granec to adjourn at 8:22 p.m.

Vote: 5 ayes, 0 nays. Motion carried.

Respectfully submitted by: Deanna L. Boldrey, Village Clerk-Treasurer

CERTIFIED SURVEY MAP NO. _____

BEING PART OF OUTLOT 87 IN ASSESSOR'S PLAT OF THE VILLAGE OF JACKSON IN THE NE1/4 OF NE1/4 OF SECTION 19, TOWNSHIP 10 NORTH, RANGE 20 EAST, VILLAGE OF JACKSON, COUNTY OF WASHINGTON, STATE OF WISCONSIN



PRELIMINARY
8/20/2015

OWNER:
WISCONSIN ELECTRIC POWER COMPANY

PREPARED BY:
JAY W. PANETTI, PLS
GREMMER AND ASSOCIATES, INC.
93 SOUTH PIONEER ROAD, SUITE 300
FOND DU LAC, WI 54935

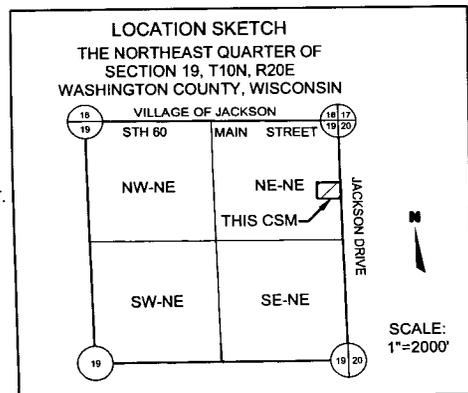
LEGEND

- (R) PREVIOUSLY RECORDED AS
- EXISTING 1" I.D. IRON PIPE
- SET 1.32" O.D. x 18" IRON PIPE WEIGHING 1.68 LBS./LIN. FT.

NOTE
BEARINGS REFERENCED TO THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 19, WHICH HAS A RECORDED GRID BEARING OF S01°05'36"E.

DATED THIS _____ DAY OF _____, 2015.

PROFESSIONAL LAND SURVEYOR S-2747



CERTIFIED SURVEY MAP NO. _____

BEING PART OF OUTLOT 87 IN ASSESSOR'S PLAT OF THE
VILLAGE OF JACKSON IN THE NE1/4 OF NE1/4 OF SECTION 19,
TOWNSHIP 10 NORTH, RANGE 20 EAST, VILLAGE OF JACKSON,
COUNTY OF WASHINGTON, STATE OF WISCONSIN

SURVEYOR'S CERTIFICATE

I, Jay W. Panetti, Professional Land Surveyor, hereby certify:

That at the direction of the Village of Jackson, I have surveyed, divided, mapped and dedicated the following described tract of land:

That part of Outlot Eighty-seven (87) in Assessor's Plat of the Village of Jackson in the Northeast one-quarter (NE1/4) of the Northeast one-quarter (NE1/4) of Section Nineteen (19), Township Ten (10) North, Range Twenty (20), described as follows:

Commencing at the northeast corner of Section 19, T10N, R20E; thence S01°05'36"E, along the east line of the Northeast one-quarter of said Section 19, 678.25 feet to the point of beginning;
thence S01°05'36"E, along the east line of the Northeast one-quarter of said Section 19, 180.00 feet;
thence N89°09'36"W, 250.00 feet;
thence N01°05'36"W, 180.00 feet;
thence S89°09'36"E, 250.00 feet to the point of beginning.

Said parcel contains 1.032 acres (44,974 square feet), more or less. Parcel subject to easements, restrictions and reservations in use or of record.

That this Certified Survey Map is a correct representation of the exterior boundaries of the land surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Land Division and Subdivision Ordinance of the Village of Jackson, in surveying, dividing, mapping and dedicating the same.

Dated this _____ day of _____, 2015.

Jay W. Panetti
Professional Land Surveyor S-2747

This instrument prepared by:
Jay W. Panetti, PLS
Gremmer & Associates, Inc.
93 South Pioneer Road, Suite 300
Fond du Lac, WI 54935
(920) 924-5720

PRELIMINARY
8/20/2015

VILLAGE OF JACKSON PLANNING COMMISSION APPROVAL

Approved by the Planning Commission of the Village of Jackson on this _____ day of _____, 2015.

Chairperson - Wendy A. Kannenberg

VILLAGE OF JACKSON VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Jackson on this _____ day of _____, 2015.

President - Wendy A. Kannenberg

Village Clerk - Deanna Boldrey

CERTIFIED SURVEY MAP NO. _____

BEING PART OF OUTLOT 87 IN ASSESSOR'S PLAT OF THE
VILLAGE OF JACKSON IN THE NE1/4 OF NE1/4 OF SECTION 19,
TOWNSHIP 10 NORTH, RANGE 20 EAST, VILLAGE OF JACKSON,
COUNTY OF WASHINGTON, STATE OF WISCONSIN

CORPORATE OWNER'S CERTIFICATE

Wisconsin Electric Power Company, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land shown and described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map.

Wisconsin Electric Power Company, does further certify that this Certified Survey Map is required by s.235.10 or s.236.12 to be submitted to the following for approval or objection:

Village of Jackson Planning Commission
Village of Jackson Village Board

IN WITNESS WHEREOF, the said Wisconsin Electric Power Company has caused these presents to be signed by _____,
and _____ at _____, Wisconsin, and its corporate seal to be hereunto affixed on this _____ day of _____, 2015.

In presence of:

Wisconsin Electric Power Company
Corporate Name

State of Wisconsin)
_____ County) SS

Personally came before me this _____ day of _____, 2015, _____ and _____, members of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to be known to be such members of said corporation, and acknowledged that they executed the foregoing instrument as such members as the deed of said corporation, by its authority.

Notary Public, State of Wisconsin

My commission expires

PRELIMINARY
8/20/2015



Jackson Joint Parks & Recreation Department
 Jackson Area Community Center
 N165 W20330 Hickory Lane, Jackson, WI 53037
 Phone: (262) 677-9665

Date of Reservation : 12/4/15

Rental Agreement

Check Here if this is a **LONG TERM**, annually renewing rental. (Note: these must be pre-approved and pre-negotiated by the Jackson Joint Parks & Recreation Department).

Name of Applicant (or Organization): Jackson Area Youth Baseball Association

Applicant's Address (Street, City, State, Zip):
P.O. Box 353 Jackson, WI 53037

Phone and/or Cell Number: (414) 708-2341 Email: jayba.chairman@gmail.com

Event Date: Sat, Jan 30th, 2016

Purpose of Event: Fundraising / Registration (Pancake Breakfast)

* Will any of your guests require special accommodations? Yes No

- If Yes please explain: _____
- * Tickets Sold or Admission Charged? Yes No
 - * Will there be decorations? Yes No
 - * Will Alcoholic Beverages be Served? Yes No

(Please be aware that it is necessary to have the appropriate license to serve alcohol in this premise. If the appropriate licenses are not obtained, the department reserves the right to refuse the reservation. Visit the Jackson Village Hall for more information.)

Estimated Number of Persons to Attend Event: 200

Rental Start Time: 8:00 am Rental End Time: ~~10:00 am~~ 11:00 am
 (Be sure to include setup and cleanup time to ensure return of your security deposit)

Please List The Rooms Being Rented & Rate:

Room Name	Number of hours	Room Rate	Total Room Cost
1. <u>Gym</u> X	<u>3</u>	<u>\$25/hr</u> =	<u>\$75</u>
2. <u>Gathering Hall & Kitchen</u> X	<u>3</u>	<u>\$10/hr</u> =	<u>\$30</u>
3. <u>Technology Center</u> X	<u>3</u>	<u>\$10/hr</u> =	<u>\$30</u>

Total Rental Fees (not including \$100.00 deposit): \$ 165

Person Responsible for Walk Through with Building Attendant Before and After Event:
Pat Sullivan Phone: 414-708-2341

Person Responsible for Cleaning after Event:
Pat Sullivan Phone: 414-708-2341

ARE THERE OTHER WAYS WE CAN MAKE YOUR COMMUNITY CENTER RENTAL PERFECT FOR YOUR EVENT?

Tell us what you would like. We may or may not be able to accommodate you but we want your event to be successful. If we can't help you, we'll try to direct you to someone who can help you.

Allow us to setup inflatables in gym on Friday night.

Computers in Tech Room

Please Circle How You Heard of the Jackson Area Community Center:

Previous Customer Acitivity Guide Event/Program Facebook Newspaper None

SETUP REQUESTS: *Tables, Chairs and general layout may be made at the time of reservation. Tables and chairs in gathering hall.*

TOTAL FEES

Rental Deposit/Cleaning/Damage/Rental Reservation Time Violation: \$ _____

Rental Fee: \$ _____ Long Term Rental Fees: Monthly Bi-Annually

Additional Charges: \$ _____ Description of Additional Charges: _____

TOTAL: \$ _____

PAYMENT: Check #: _____ Cash Total: _____ Credit Below

The applicant hereby agrees to save, secure, and keep harmless the Jackson Area Community Center/Jackson Joint Parks & Recreation Department/Village of Jackson and its officers, employees, agents, and the Village of Jackson against claims of action, liability, judgments, costs, and expenses, including attorney fees, and in all things strictly comply to the conditions of this agreement.

I certify that I have read all the **TERMS & CONDITIONS** as provided and shall accept responsibility on behalf of my group for any damage or theft sustained by the community center (i.e. premises, furniture, equipment, or supplies) because of the occupancy of said premises by our group.

Please initial after reading _____

I have read and agree with the terms and conditions of the entire contract.

Signature of responsible party: *PKM* Date: 12/4/15

Community Center Representative: _____ Date: _____

CREDIT CARD AUTHORIZATION

Name on Card (print) _____
 Billing Same as above or please list _____

AMEX Sec. Code

VISA/MC CVV Code
or Discover Exp. Mo. Exp Yr.

I authorize the Jackson Jt. Parks & Recreation Dept. to charge my credit card for the above fees. If the Jackson Jt. Parks & Recreation Dept. is unable to process my payment, I will be responsible for an alternate payment arrangement.

Signature _____ Date _____

When paying with a credit card, the cardholder agrees to pay the rental fee immediately on the provided card.

We will hold the card information on file and it will be considered and used as a security deposit.