

AGENDA

PLAN COMMISSION MEETING

Thursday – DECEMBER 4, 2014 – 7:00 pm

Jackson Village Hall

N168W20733 Main St

Jackson, WI 53037

1. Call to Order & Roll Call.
2. Minutes – October 30, 2014, Plan Commission Meeting.
3. Planned Unit Development – Cedar Creek Motor Sports Warehouse – Delaney Court.
4. Citizens to address the Plan Commission.
5. Adjourn.

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

DRAFT MINUTES
PLAN COMMISSION MEETING
Thursday – October 30, 2014 – 7:00 p.m.
Jackson Village Hall
N168W20733 Main St
Jackson, WI 53037

1. Call to Order & Roll Call.

Chairperson Wendy Kannenberg called the meeting to order at 7:00 p.m.
Members present: Peter Habel, Doug Alfke, Tr. Kruepke, Steve Schoen, Tr. Lippold, and Jeff Dalton.
Staff present: John Walther, Brian Kober and Jim Micech.

2. Minutes – September 25, 2014, Plan Commission Meeting.

A motion was made by Peter Habel, seconded by Doug Alfke to approve the minutes of the September 25, 2014, Plan Commission meeting.
Vote: 7 ayes, 0 nays. Motion carried.

3. Conditional Use – Oversized Shed – Jerry Warner, Linden Circle.

Jerry Warner was present. Jerry commented that he wants the shed for additional storage. He continued that he would like to build more of a barn style with a field stone bottom to look like a small regular style barn and to consider the dimensions of 14x26 to be the interior dimensions. Brian Kober commented that he is matching his home. Jerry commented he will submit a new set up plans for the permit.

After discussion, a motion was made by Peter Habel, second by Steve Schoen to Recommend the Village Board Approve the Conditional Use – Oversized Shed – for Jerry Warner, Linden Circle per Staff Comments.

Vote: 7 ayes, 0 nays. Motion carried.

4. Conditional Use – Refractory Service, Inc – Sign and Building Use, Northwest Passage.

Lance Stanwyck presented an overview. They would like to move in before the first of the year with minor renovations to the building. Refractory Service specializes in high temperature insulation. Brian Kober commented that the gallons per year use has changed to 40,000 gallons. Brian commented that there will not be a charge for an additional RU at this time, with a review in the future. After discussion, a motion was made by Peter Habel, second by Tr. Lippold to Recommend the Village Board Approve the Conditional Use – Refractory Service, Inc. – Sign and Building Use, Northwest Passage per Staff Comments.

Vote: 7 ayes, 0 nays. Motion carried.

- 5. Concept Plan – ABC Supply Company – Alcan Drive.**
Jim Blise presented detail on the ABC Company and Cedar Creek Motor Sports (Items 5 & 6).
Motion by Peter Habel, second by Steve Schoen to take items 5 & 6 as a consent agenda and Recommend the Village Board Approve of the Concept Plan - ABC Supply Company – Alcan Drive and Concept Plan – Cedar Creek Motor Sports – Delaney Court per staff comments.
Vote: 7 ayes, 0 nays. Motion carried.
- 6. Concept Plan – Cedar Creek Motor Sports – Delaney Court.**
See item number 5.
- 7. Certified Survey Map – Adjust Boundary Lines – Donna Spaeth, Main Street.**
Motion by Peter Habel, second by Jeff Dalton, to Recommend the Village Board Approve of the Certified Survey Map – Adjust Boundary Lines – Donna Spaeth, Main Street, per staff comments. Donna Spaeth was present and had received Staff Comments.
Vote: 7 ayes, 0 nays. Motion carried.
- 8. Planned Unit Development Amendment – Poblocki Sign Company LLC, Children’s Hospital of Wisconsin – Sign at Prairie View Lane.**
Matt Kaminski was present and had received Staff Comments. Three signs total were requested, one sign for each gable (North, South, and East gables). There will be one sign with the initial opening. The other two signs will follow. All of the signs will be the same.
Motion by Peter Habel, second by Tr. Kruepke, to Recommend Approval of the Planned Unit Development Amendment – Poblocki Sign Company, LLC, Children’s Hospital of Wisconsin – Sign at Prairie View Lane, per staff comments.
Vote: 7 ayes, 0 nays. Motion carried.
- 9. Planned Unit Development Amendment – Cranberry Creek Estates – 60 Unit Multi-Family.**
Tom Wood gave a presentation and addressed the items from Staff Comments. He commented on moving the main into the private street. Additional discussion of the hydrants, dumpsters, and drainage ensued. He commented that the condo association requested a change to one of the dumpster locations, and they have also accommodated for an additional dumpster. Peter Habel commented on proper grading and landscaping. Tom commented that a culvert will be added. The previous wetland delineation had expired. The wetland boundary has been remarked and has shrunk. They have applied for a new permit. It is in the works and they do not anticipate any problems. The permit in the Staff Comments has expired. Discussion of the landscaping ensued.

Steve Schoen questioned sidewalks. Brian commented that this is the last development on Jackson Drive that we would enforce the sidewalk ordinance. This would warrant the Village to put in sidewalks and would be special assessed. Motion by Peter Habel, second by Steve Schoen, to Recommend Approval of the Planned Unit Development Amendment – Cranberry Creek Estates – 60 Unit Multi - Family, per staff comments.
Vote: 7 ayes, 0 nays. Motion carried.

10. Premier Cranberry Jackson LLC – Development Agreement.

The development agreement will be reviewed by counsel prior to the Village Board meeting. Attachments will be complete prior to the Village Board meeting. Pres. Kannenberg questioned if it was typical in development agreements for only one notice of deficiencies. Joe Goldberger commented that he will work with staff after counsel review. He used the same format that was used previously. Motion by Peter Habel, second by Steve Schoen to recommend approval of the Premier Cranberry Jackson LLC Development Agreement per staff comments and legal counsel review.

Vote: 7 ayes, 0 nays. Motion carried.

11. Citizens to address the Plan Commission.

None.

12. Adjourn.

A motion was made by Peter Habel, seconded by Jeff Dalton to adjourn.

Vote: 7 ayes, 0 nays. Motion was adjourned at 7:31 p.m.

Respectfully submitted by Deanna L. Boldrey – Clerk/Treasurer.

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
 (Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant BRAD EGAN DESIGN 2 CONSTRUCT
 Contact _____ Address/ZIP N 173 02100 NW PASSAGE Phone # 262 677 9933
 E-mail Address brad@design2construct.com Fax # where Agenda/Staff comments are to be faxed 262 677 9934
 Name of Owner JIM SEPSON Address/ZIP 7518 Hwy 60 CEDARBURG 53012 Phone# 262 377 5700
 Owner Representative/Developer DZC
 Proposed Use of Site WARE HOUSE Present Zoning PUD

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	(1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	(2) Describe what you intend to do (paragraph) (3) Address Labels of adjacent owners to be notified (500' / 200')	labels	XXX
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	(4) Owner acknowledgement of the request (5) Impact Statement	1	XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	(6) Location Map (7) Development Plan / Site Plan		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	(8) Preliminary Plat (9) Final Plat		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	(10) Certified survey Map (11) Annexation Petition		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	(12) Annexation Map (13) Sketch Plan	1	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	(14) Landscape Plan Engineering Review - Infrastructure	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	(15) Grading/Drainage Plan (16) Water / Sewer / Storm Sewer Plans	4 (24x36) 4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	(17) Street / Right of Way cross sections (18) Erosion Control Plan	4 (24x36) 4 (24x36)	XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	(19) Proposed colors / materials (20) Developers Agreement		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	(21) Annexation Agreement (includes pre-annex agreements) (22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name BRAD EGAN Signature [Signature] Date 11/14/17

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a Special Use Conditional Use Planned Unit Development

Permit to:

Name of Business/Applicant: CEDAR CREEK WAREHOUSE

For a property located at (address): DELANEY COURT

Phone number of Business/Applicant: CEDAR CREEK 262 377 5700 DCL 262 677 9833

For (land use, activity, sign, site plan, other): NEW 50,000 SQFT WAREHOUSE

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): NONE

Hours of Operation: _____

Comprehensive/Master Plan Compatibility: _____

Building Materials (type, color): GRAY CMU, ASH GRAY METAL PANEL

Setbacks from rights-of-way and property lines: 100' FRONT, 20' N, 406' E & 128' S

Screening/Buffering: SEE SITE / LANDSCAPE PLAN

Landscape Plan (sizes, species, location): SEE PLAN

Signing (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s)), (sidewalk/pedestrian way width and material): PARKING ON WEST SIDE OF BLDG

Storm-water Management: SEE EROSION CONTROL PLAN

Erosion Control: SEE PLAN

Fire Hydrant Location(s): SW CORNER OF BUILDING

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: KNOX BOX @ ENTRY

Hazardous Material Storage: NONE

Alarm Systems: _____

Site Features/Constraints: _____

Parking (no. of spaces, handicapped parking, and dimensions): 13 SPACES PLUS 2 H.C.

Tree and shrub preservation: EXISTING STREET TREES

Setbacks/height limitations: _____

Wastewater Usage Projected: TBD gal/year

Water Usage Projected: TBD gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____



Jay Sepsom, Owner
Please print name

John M. Walther, Administrator

Applications shall be submitted by 4:00 PM of the first Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (from face of application form):

1. Application Form: Must be submitted on CD.

2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: a copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc. * * *
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.

- A. Annual water consumption estimate (100% occupancy and build-out)
- B. Annual sewage generation estimate (100% occupancy and build-out)
- C. Vehicle trip generation (trips per day per unit x number of units)
- D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
- E. Proposed sign(s) (advertising business, industry, dwelling unit)
- F. General hours of operation
- G. Anticipated User profiles (for residential developments)
- H. Proposed dates of construction and completion
- I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.)

6. Location Map: Show where the site is relative to a Village map.

7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and Water/Sewer/Storm plans may be shown combined on this plan if the composition is easily read and understood.

8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.

10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.

11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.

12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.

13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.

14. Landscape Plan: Shows location, size, type, botanical name, and common name of proposed trees and shrubs. Also calls out surface treatments. Shows walls, fences, and details.

15. Grading/Drainage Plan: Shows original and proposed grades and runoff calculations based on a 10-year storm. Is usually combined with a Storm Sewer Plan (storm sewer system, ditches, culverts, etc.)

16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains and fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.

17. Street Cross-Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.

18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.

19. Proposed Colors and Materials: Submit samples of exterior colors and materials.

20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.

21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED
BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO
QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**



DESIGN
•
CONSTRUCTION

PHONE (262) 677-9933
FAX (262) 677-9934

•
N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

BUILDING DESIGN FOR:
CEDAR CREEK WAREHOUSE
DELANY COURT
JACKSON, WISCONSIN 53037

PROJECT DATA: SHEET INDEX:

BUILDING CODE:	2009 INTERNATIONAL BUILDING CODE
OCCUPANCIES:	STORAGE S-1 BUSINESS B
CLASS OF CONSTRUCTION:	TYPE IIB
NO. OF STORIES:	ONE
BUILDING IS:	SPRINKLER SYS. (NFPA-13) ESFR
BUILDING TYPE:	WAREHOUSE
AREAS (GROSS):	
STORAGE:	48,000 SF
BUSINESS:	2,000 SF
TOTAL:	50,000 SF
AREAS (GROSS):	
STORAGE (WORST CASE):	17,500 SF
FRONTAGE INCREASE:	5,510 SF
SPRINKLER INCREASE:	35,000 SF
TOTAL:	58,010 SF
OCCUPANCY SEPARATIONS:	NONE: NON-SEPARATED USES METHOD USED
OCCUPANT LOAD:	
NO. OF EMPLOYEES:	8 (6M / 2W)
WAREHOUSE (500 SF / OCC):	96 OCC
BUSINESS (100 SF/OCC):	20 OCC
TOTAL:	116 OCC
EXIT WIDTH (.18" PER OCCUPANT):	
REQUIRED:	20.88 (72" MINIMUM)
PROVIDED:	288
EXIT DISTANCES:	
STORAGE (WORST CASE):	250'
SANITARY REQUIREMENTS:	116 OCCUPANTS
REQUIRED (MALE):	1 WC, 1 LAV
PROVIDED (MALE):	1 WC, 1 LAV, 1 UR
REQUIRED (FEMALE):	1 WC, 1 LAV
PROVIDED (FEMALE):	1 WC, 1 LAV
PROVIDED (GENERAL):	1 SERV. SINK

NOTES:

TS	TITLE SHEET
	CIVIL DRAWINGS
C1.0	GRADING PLAN
C1.1	EROSION CONTROL PLAN
	ARCHITECTURAL
A1.0	SITE / LANDSCAPE PLAN
A2.1	FIRST FLOOR PLAN
A4.0	EXTERIOR ELEVATIONS
A5.0	BUILDING SECTIONS

PROJECT CONTACTS

CIVIL CONSULTANT
GREMMER AND ASSOCIATES
93 S. PIONEER ROAD SUITE 300
FOND DU LAC, WI 54935
TOM LANSEER
t.lanser@gremmerassociates.com
OFF: (920) 924-5720
FAX: (920) 924-5725

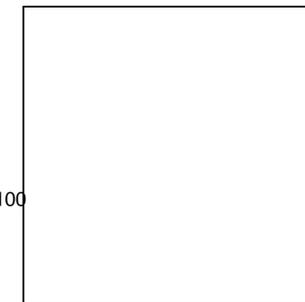
ARCHITECT
MARK HERTZFELDT

PROJECT MANAGER
JAMIE KEUPER

PROJECT NO.
14-00141

DATE
11.11.2014

SEAL



STRUCTURAL CONSULTANT
AMBROSE ENGINEERING
W66 N215 COMMERCE CT. SUITE 100
CEDARBURG, WI 53012
JEFF DRAKE
jeff.drake@ambeng.com
OFF: (262) 377-7602
FAX: (262) 377-4868

PREV. TRANS. NO.:
NEW TRANS. NO.: 2476767
REVIEWER: DONALD DIEDRICK



N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:
CEDAR CREEK WAREHOUSE
*
DELANY COURT
JACKSON, WI 53037

SHEET TITLE

TITLE SHEET

REVISIONS

PROJECT DATA

DATE

11.11.2014

JOB NO.

14-00202

SET USE

PLAN COMMISSION SUBMITTAL
FILE NAME

DRAWN BY

A1-TS

SHEET NO.

BCE

TS

GRADING NOTES

TOPOGRAPHIC SURVEY FOR INFINITY LOCATED IN SE 1/4, NW 1/4, SEC. 18, T10N, R20E, VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.
 LOT LINES AND BOUNDARY DATA AS SHOWN ARE APPROXIMATE ONLY AND WERE DEVELOPED FROM EXISTING MAPS, TAX ROLLS, AND OTHER INFORMATION OF RECORD. NO BOUNDARY SURVEY WAS PERFORMED TO ESTABLISH ACTUAL PROPERTY LINES. THE BOUNDARY INFORMATION SHOWN SHALL NOT BE CONSTRUED AS A LEGAL OR BOUNDARY SURVEY.
 UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES PRESENT WHICH ARE NOT SHOWN. CONTACT APPROPRIATE UTILITIES AND DIGGERS HOTLINE BEFORE DIGGING. DIGGERS HOTLINE: 1-800-242-8511.
 CONTRACTOR SHALL VERIFY EXISTING PIPE SIZES, MATERIALS AND INVERT ELEVATIONS WHEN CONNECTING NEW STORM SEWER INTO EXISTING STORM SEWER AND PRIOR TO ORDERING CATCH BASINS AND MANHOLES.
 ALL SPOT ELEVATIONS ARE TO FINISHED GRADE UNLESS OTHERWISE NOTED.

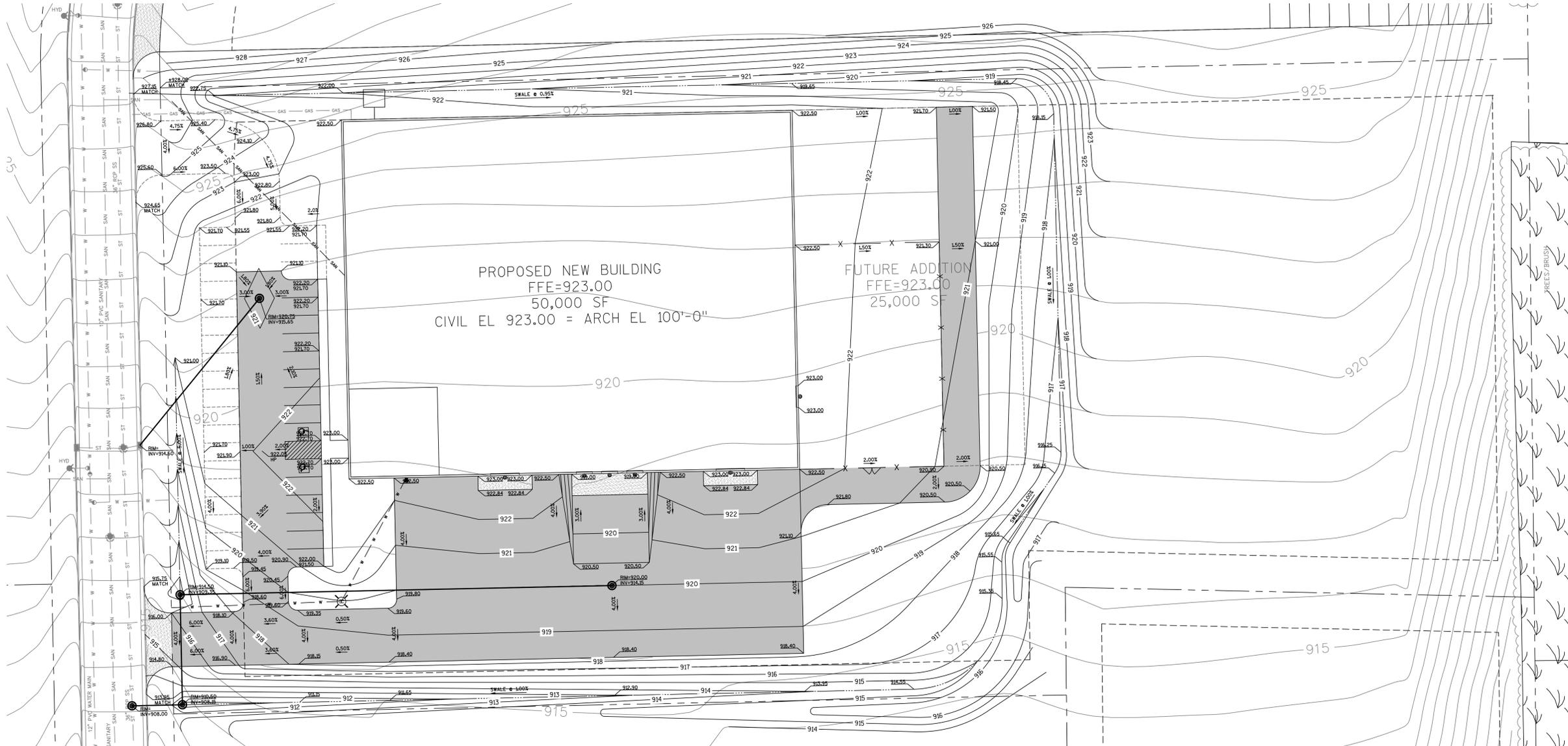
CONSTRUCT SEWELINE WITH 1.5% CROSS SLOPE. CONCRETE PADS ADJACENT TO THE BUILDING MUST DRAIN AWAY FROM THE FOUNDATION AND ENTRANCES AT A SLOPE OF AT LEAST 2%.

VERIFY BUILDING DIMENSIONS WITH SITE AND ARCHITECTURAL PLANS. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION. SEE LANDSCAPING PLAN FOR THE PLANTING OF VEGETATION.

CONTRACTOR SHALL FOLLOW ALL CURRENT ADA STANDARDS.

WEAR NOTICE OF INTENT PERMIT MUST BE ON SITE AND CONDITIONS FOLLOWED THROUGHOUT CONSTRUCTION WORK WITHIN STREET RIGHT-OF-WAY MUST BE COORDINATED WITH THE VILLAGE OF JACKSON DPW.

PROTECTED WETLANDS ARE IN CLOSE PROXIMITY OF THE CONSTRUCTION SITE. NO DISTURBANCE ALLOWED IN WETLANDS. CONTRACTOR MUST MARK WETLAND LIMITS BEFORE CONSTRUCTION AND VERIFY WITH FIELD MANAGER.



LEGEND - FEATURES

CMP CORRUGATED METAL PIPE	EXISTING INLET	① STRUCTURE NUMBER
E ELECTRIC CABLE	EXISTING MANHOLE	[63.56] BUILDING FLOOR ELEVATION
FO FIBER OPTIC CABLE	EXISTING DRAIN	— SILT FENCE
G GAS MAIN	EXISTING HYDRANT	⊕ INLET PROTECTION TYPE B (OR C)
IP IRON PIPE	EXISTING WATER VALVE	⊕ TRACKING PAD
OH OVERHEAD LINE	EXISTING CURB STOP	⊕ ROCK FILTER BAG DITCH CHECK / SILT FENCE RELIEF
OHE OVERHEAD ELECTRIC	CLEAN OUT	⊕ PERIMETER DIVERSION/FILTER BERM
OHT OVERHEAD TELEPHONE	EXISTING POWER POLE	→ PROPOSED DRAINAGE FLOW
R RECORDED AS	EXISTING LIGHT POLE	99.99 PROPOSED SPOT ELEVATION
SS STORM SEWER	EXISTING TELEPHONE POLE	⊕ PROPOSED STORM STRUCTURE
T TELEPHONE CABLE	EXISTING UTILITY PEDESTAL	⊕ DOWNSPOUT CONNECTION
TV TV CABLE	EXISTING PEDESTAL	⊕ CLEANOUT FOR STORM SEWER
INV INVERT	SURVEY CONTROL POINT	
TOC TOP OF CURB	EXIST. ELECTRIC LINES	
FFE FINISHED FLOOR ELEVATION	EXIST. WATER LINES	
AEM APRON ENDWALL	EXIST. CULVERT PIPE	
DECIDUOUS TREE	WETLAND LIMITS	
EVERGREEN TREE	EXISTING CONTOUR	
WOODED	PROPOSED CONTOUR	
EXISTING SIGN	REMOVE TREE	

1 GRADING/ DRAINAGE PLAN

SCALE IN FEET

0 15 30

G GREMMER & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 Stevens Point • Fond du Lac
 93 South Pioneer Road, Suite 300 • Fond du Lac, WI 54935
 (920) 924-5720 • fax (920) 924-5725

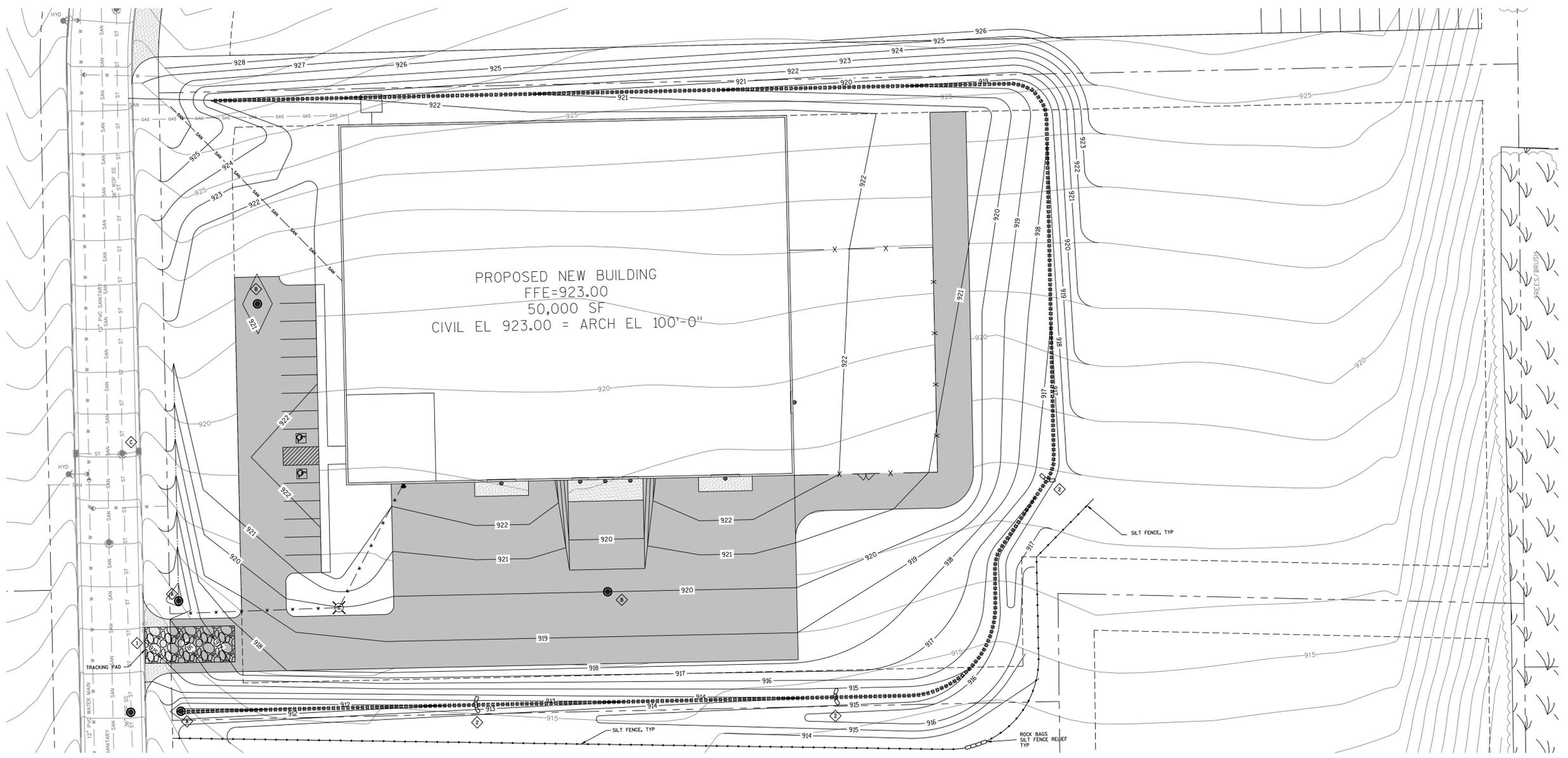
DESIGN 2 CONSTRUCT
 DEVELOPMENT CORPORATION
 N173 W21010
 NORTHWEST PASSAGE WAY
 JACKSON, WI 53037
 PHONE 262.677.9933
 FAX 262.677.9934
 info@design2construct.com

BUILDING DESIGN FOR:
PROPOSAL 14-00202
 DELANEY COURT
 JACKSON, WI 53037

SHEET TITLE
 PROPOSED GRADING PLAN

REVISIONS

PROJECT DATA
 DATE 10.13.2014
 JOB NO. 14-00168
 SET USE CONCEPTUAL - JACKSON P.C.
 FILE NAME C1-A1.0
 DRAWN BY BCE
 SHEET NO. C1.0



EROSION CONTROL NOTES

EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCES, PROJECT SPECIFICATIONS, PLAN DETAILS, AND THE WORK CONSERVATION PRACTICE TECHNICAL STANDARDS. EROSION CONTROL ITEMS SHALL BE FIELD LOCATED AS NEEDED. INSPECT EROSION CONTROL PRACTICES WEEKLY AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER, AND CORRECT DEFICIENCIES. KEEP WRITTEN DOCUMENTATION OF WORK AND INSPECTIONS PER WORN AND LOCAL STANDARDS.

WORK NOTICE OF INTENT PERMIT MUST BE ON SITE AND CONDITIONS FOLLOWED THROUGHOUT CONSTRUCTION. NO DISTURBANCE IS ALLOWED IN WETLANDS. CONTRACTOR MUST MARK WETLAND LIMITS BEFORE CONSTRUCTION AND VERIFY WITH FIELD MANAGERS.

TRACKING PADS SHALL BE MAINTAINED AND ALL ACCESS TO AND FROM CONSTRUCTION SITE SHALL BE VIA TRACKING PADS ONLY. ANY TRUCK OR EQUIPMENT LEAVING THE WORK SITE MUST TRAVEL OVER A MAINTAINED TRACKING PAD TO CLEAN WHEELS.

ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE 4" MIN TOPSOIL, SEED, FERTILIZER, AND MULCH/EMAT. SEE LANDSCAPING PLANS FOR SPECIFIC FINISHING TREATMENTS.

ALL DRAINAGE SWALES SHALL BE TREATED WITH EROSION MAT CLASS I TYPE B. INSTALL EROSION MAT PER WORN EROSION MAT TECHNICAL STANDARDS 053.

INLET PROTECTION REQUIRED FOR NEARBY INLETS. AT A MINIMUM, THE FIRST SET OF INLETS SOUTH OF THE PROJECT SITE MUST BE PROTECTED FROM TRANSPORTED SEDIMENT. SOURCES OF SEDIMENT ARE FROM THE CONSTRUCTION SITE AND ALSO SOIL TRACKED FROM VEHICLES EXITING THE SITE.

SILT FENCE SHALL BE INSTALLED IN AREAS WHERE ON-SITE SOILS AND STORMWATER MAY EXIT THE CONSTRUCTION SITE.

INSTALL DIVERSION/FILTER CONTROL UPSLOPE OF ALL ACTIVE AND UNSTABLE AREAS. DIVERSION/FILTER CONTROL TO REMAIN UNTIL RECEIVING AREA IS VEGETATED AND STABILIZED, OR ARMORED, TO PREVENT FILLING. ACCEPTABLE PRODUCTS MAY BE SAND OR ROCK FILTER BAGS OR SEDIMENT BODIES. IF EROSION OCCURS AFTER VEGETATION, THEN REPAIR WITH ARMORING TECHNIQUE.

ANY DEWATERING MUST TRAP AND RETAIN SEDIMENT IN ACCORDANCE WITH WORN DEWATERING TECHNICAL STANDARD 064. PORTABLE SEDIMENT TANKS OR CONSTRUCTED SEDIMENT TRAPS (SEE WORN STANDARD 1063), MAY SERVE AS ACCEPTABLE DEVICES.

ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED. SOLID WASTE MATERIAL TO BE PROPERLY DISPOSED AT END OF DAY.

FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR MORE THAN 7 WORKING DAYS, OR WHERE GRADING EXTENDS BEYOND THE PERMANENT SEEDING DEADLINE, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING, OR ANIONIC POLYACRYLAMIDE (PAM) AS A TEMPORARY SOIL BINDING AGENT.

SOIL STOCKPILING REQUIRES PERIMETER SEDIMENT CONTROL. SILT FENCE AROUND PERIMETER OF PILE IS REQUIRED. OPEN ACCESS ON UPLAND SIDE OF PILE ONLY. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY SEEDING AND MULCHING.

ALL DISTURBED AREAS SHALL BE TREATED WITH STABILIZATION MEASURES AS SPECIFIED WITHIN 3 WORKING DAYS OF FINAL GRADING.

ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE. CHANNEL SCOUR AND SLOPE FAILING AFTER CONSTRUCTION MUST BE REPAIRED WITH ESTABLISHED VEGETATION OR ARMORING RIPRAP TO STABILIZE THE SITE FOR LONG-TERM OPERATIONS.

LEGEND - FEATURES

CMP	CORRUGATED METAL PIPE	△	SURVEY CONTROL POINT
E	ELECTRIC CABLE	—	EXIST. ELECTRIC LINES
FO	FIBER OPTIC CABLE	—	EXIST. WATER LINES
G	GAS MAIN	—	EXIST. CULVERT PIPE
IP	IRON PIPE	—	WETLAND LIMITS
OH	OVERHEAD LINE	—	EXISTING CONTOUR
OHE	OVERHEAD ELECTRIC	—	PROPOSED CONTOUR
OHT	OVERHEAD TELEPHONE	⊗	REMOVE TREE
R	RECORDED AS	①	STRUCTURE NUMBER
SS	STORM SEWER	63.56	BUILDING FLOOR ELEVATION
T	TELEPHONE CABLE	—	ROCK FILTER BAG DITCH CHECK/ SILT FENCE RELIEF
TV	TV CABLE	—	PROPOSED SPOT ELEVATION
INV	INVERT	93.99	PROPOSED STORM STRUCTURE
TOC	TOP OF CURB	—	
FFE	FINISHED FLOOR ELEVATION		
AEE	APRON ENDWALL		

EROSION CONTROL LEGEND

□	TRACKING PAD	□	TRACKING PAD
□	FILTER BAG DITCH CHECK	□	EROSION MAT CLASS I TYPE B
□	INLET PROTECTION TYPE A	—	SILT FENCE
□	INLET PROTECTION TYPE B		
□	INLET PROTECTION TYPE C		

GENERAL NOTES:

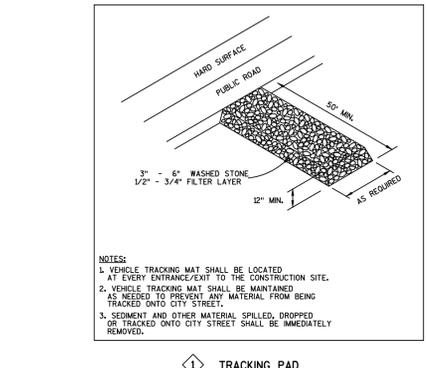
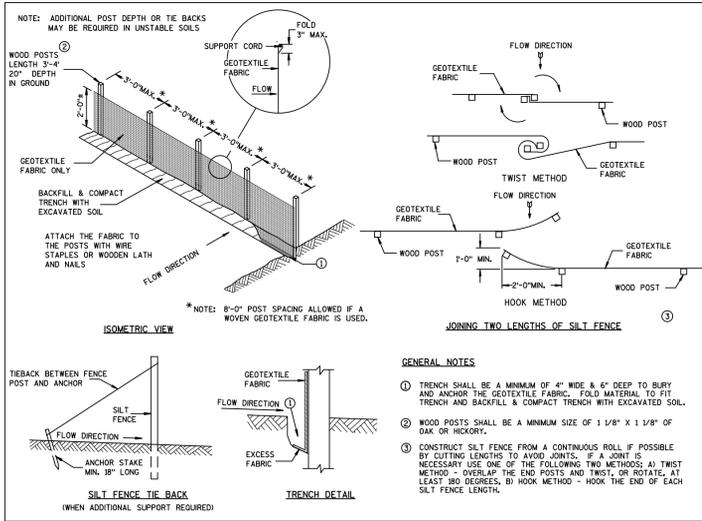
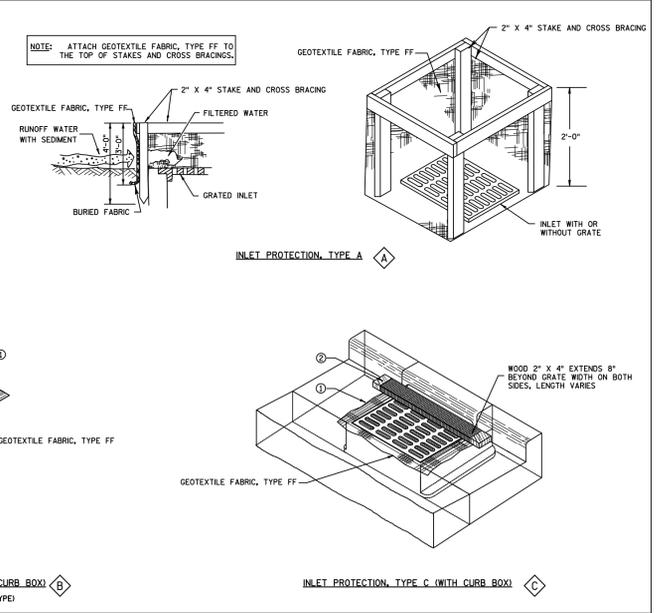
FABRIC SHALL BE REPLACED AT THE ENGINEER'S DISCRETION.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED FOR THE INLET PROTECTION TYPE SPECIFIED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FABRIC SIZE SHALL BE 8" MIN GREATER ON ALL SIDES OF THE INLET COVER TO PROVIDE A HAND HOLD WHEN MAINTENANCE OR REMOVAL IS REQUIRED.

② FOR INLET PROTECTION, TYPE C, WITH A CURB BOX, AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX.



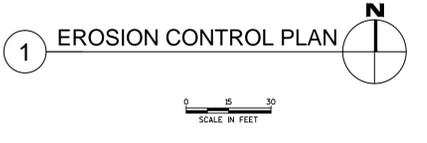
SHEET TITLE

EROSION CONTROL PLAN

REVISIONS

PROJECT DATA

DATE	10.13.2014
JOB NO.	14-00168
SET USE	CONCEPTUAL - JACKSON P.C.
FILE NAME	C1.1 - EROSION CONTROL PLAN
DRAWN BY	AJS
SHEET NO.	



GREMMER & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 Stevens Point • Fond du Lac

93 South Pioneer Road, Suite 300 • Fond du Lac, WI 54935
 (920) 924-5720 • fax (920) 924-5725

SITE DATA:
 PROPOSED SITE AREA: 249,867 S.F.
 5.74 ACRES
 AREA OF PROPOSED BUILDING: 50,000 S.F.
 TOTAL BUILDING FOOTPRINT: 50,000 S.F.
 TOTAL HARD SURFACE AREA: 95,430 S.F. (38% OF SITE)
 TOTAL GREENSPACE AREA: 154,437 S.F. (62% OF SITE)

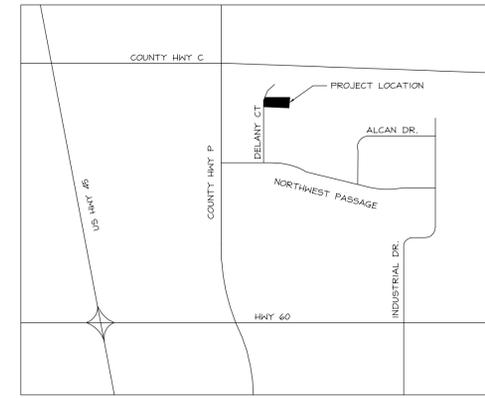
ZONING DISTRICT: M-1

BUILDING HEIGHT: 20'-0"
 FRONT YARD SETBACK: 40'-0"
 SIDE YARD SETBACK: 20'-0"
 REAR YARD SETBACK: 20'-0"

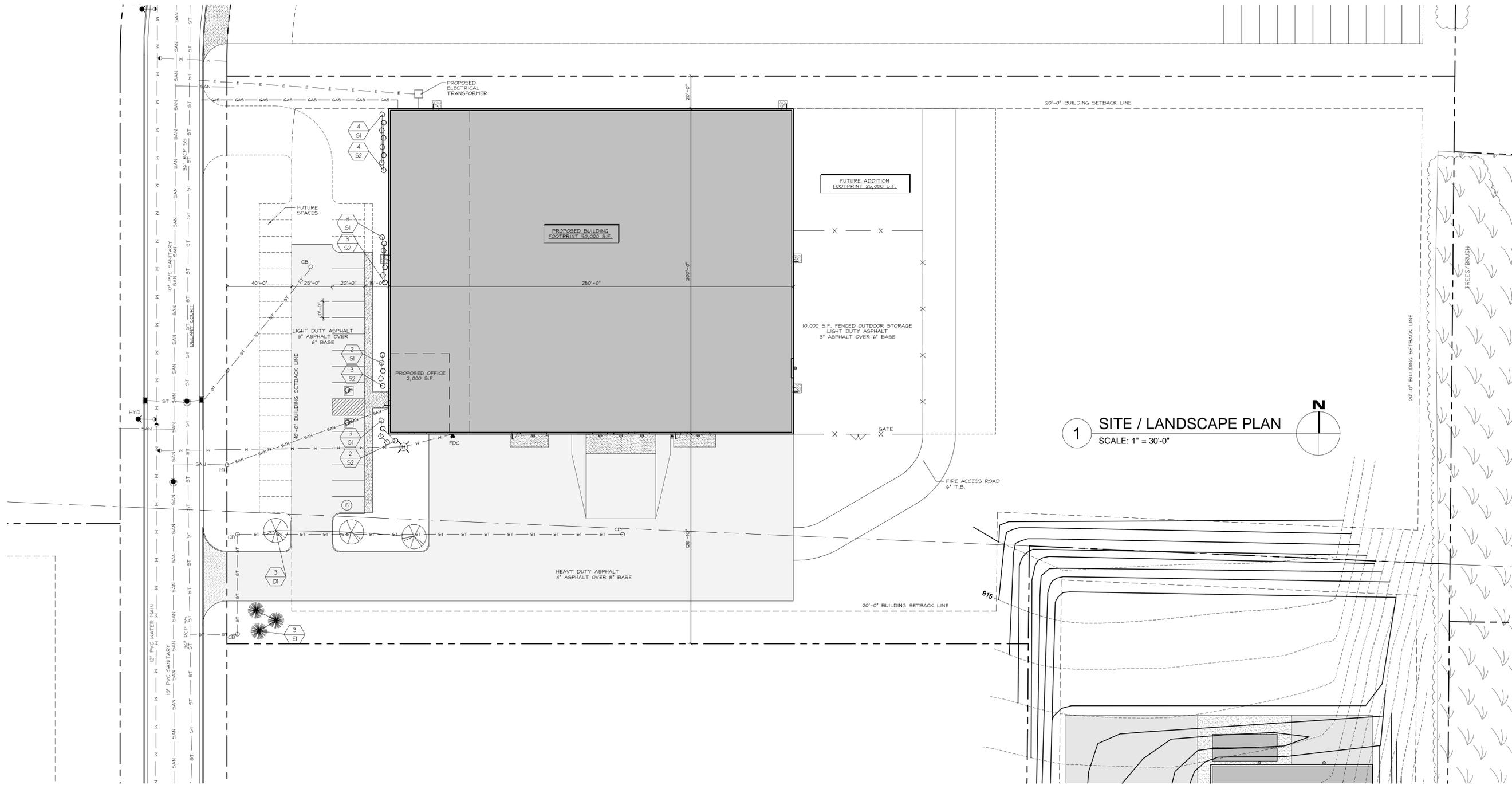
TOTAL PARKING PROVIDED: 15 (INCL. H.C. STALLS)
 HANDICAP PARKING REQUIRED: 2
 HANDICAP PARKING PROVIDED: 2
 FUTURE PARKING STALLS: 0

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE		ROOTS
				MATURE	AT PLANTING	
D1	3	BETULA Papyrifera	BIRCH, PAPER	40'	3 BRANCH CLUMP	B & B
E1	3	JUNIPERUS SCOPULORUM	JUNIPER, ROCKY MOUNTAIN- WELCH	6-15'	2-12" CAL.	B & B
S1	12	SPIRACA BIMALDA	SPIREA, GOLDMOUND	2-3'	12-18" HIGH	POT
S2	12	EUCONYLUS ALATUS COMPLANATA	BURNING BUSH, COMPACT	3-5'	12-18" HIGH	POT



2 LOCATION PLAN
 NOT TO SCALE



1 SITE / LANDSCAPE PLAN
 SCALE: 1" = 30'-0"



DESIGN
2
CONSTRUCT
 DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
 JACKSON, WI 53037

PHONE 262.677.9933
 FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:
CEDAR CREEK WAREHOUSE
 *
DELANEY COURT
 JACKSON, WI 53037

SHEET TITLE
 SITE / LANDSCAPE PLAN

REVISIONS

PROJECT DATA

DATE: 11.11.2014
 JOB NO.: 14-00202
 SET USE: PLAN COMMISSION SUBMITTAL
 FILE NAME: C1-A1.0
 DRAWN BY: BCE
 SHEET NO.:

A1.0

BUILDING DESIGN FOR:
CEDAR CREEK WAREHOUSE
 *
DELANEY COURT
 JACKSON, WI 53037

SHEET TITLE
 FIRST FLOOR PLAN
 & OFFICE PLAN

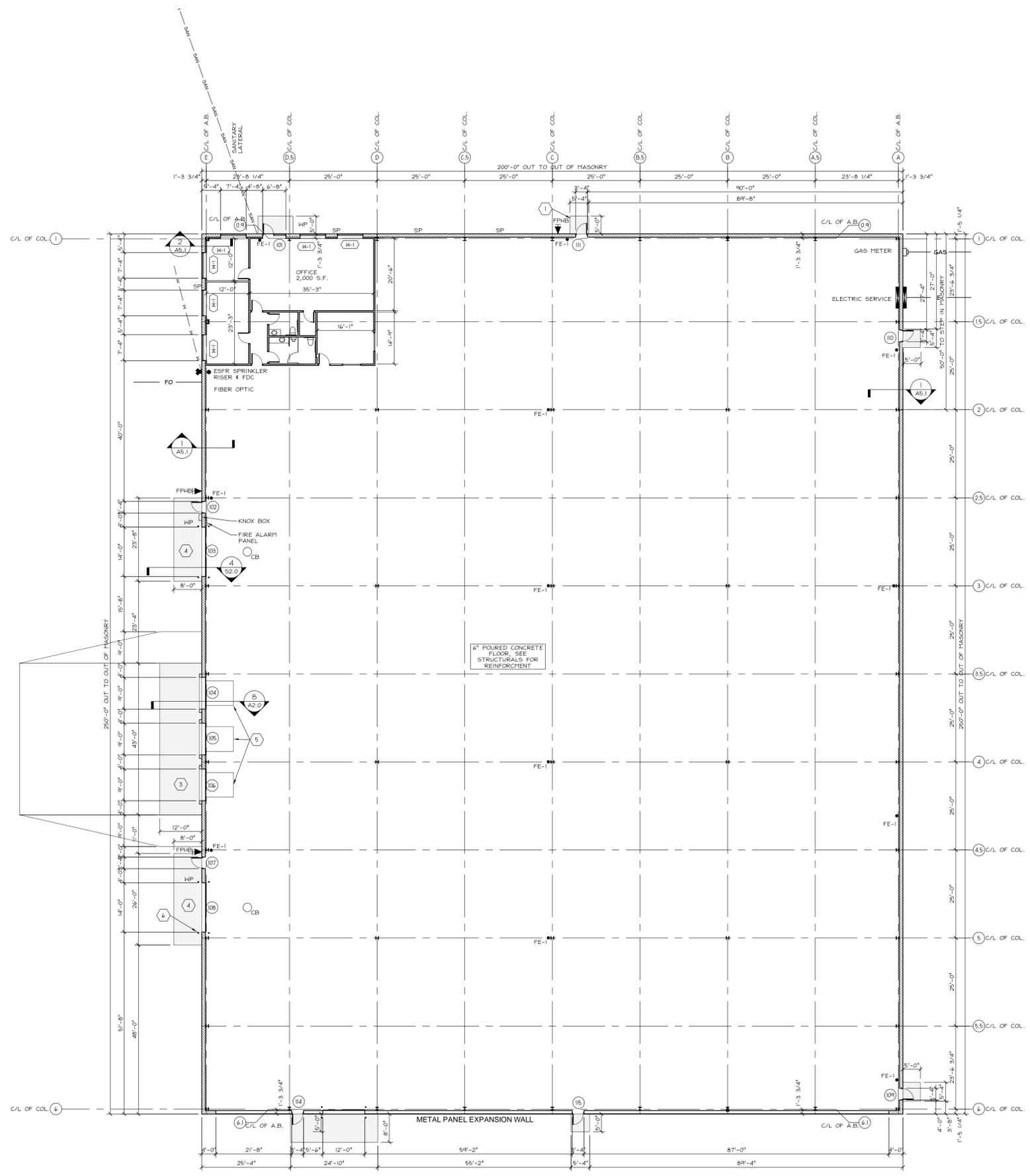
REVISIONS

PROJECT DATA
 DATE 11.11.2014
 JOB NO. 14-00202
 SET USE PLAN COMMISSION SUBMITTAL
 FILE NAME E4-A2.1
 DRAWN BY BCE
 SHEET NO.

A2.1

PARTITION TYPES:

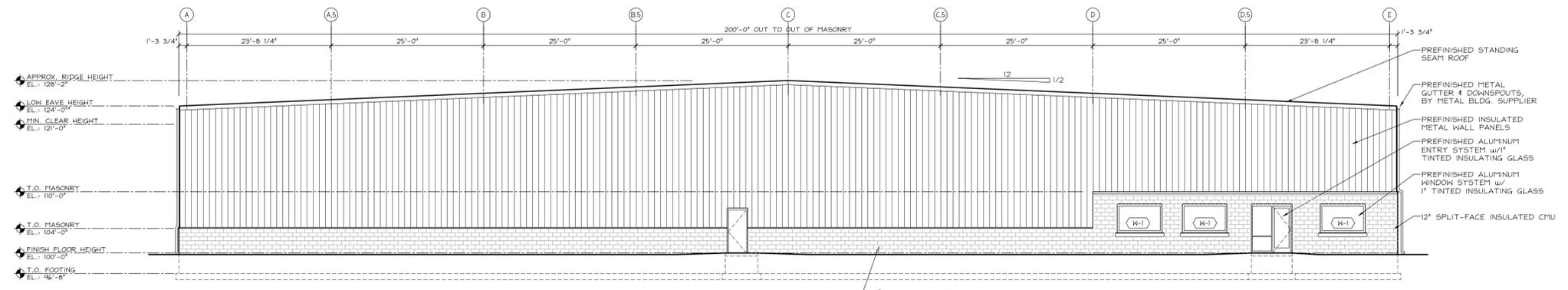
- (FURRING TYPES)**
- NO. SKETCH DESCRIPTION
- 7
- 5/8" GYPSUM WALLBOARD ON 3-5/8" METAL STUDS, 24" O.C. FULL THICKNESS SOUND INSULATION BATTS ACTUAL THICKNESS: 4-1/4" PLAN DIMENSION: VARIES (SEE PLANS)
- (STUD WALL TYPES)**
- 8
- 5/8" GYPSUM WALLBOARD (EACH FACE) ON 3-5/8" METAL STUDS, 24" O.C. FULL THICKNESS SOUND INSULATION BATTS ACTUAL THICKNESS: 4-7/8" PLAN DIMENSION: 5"



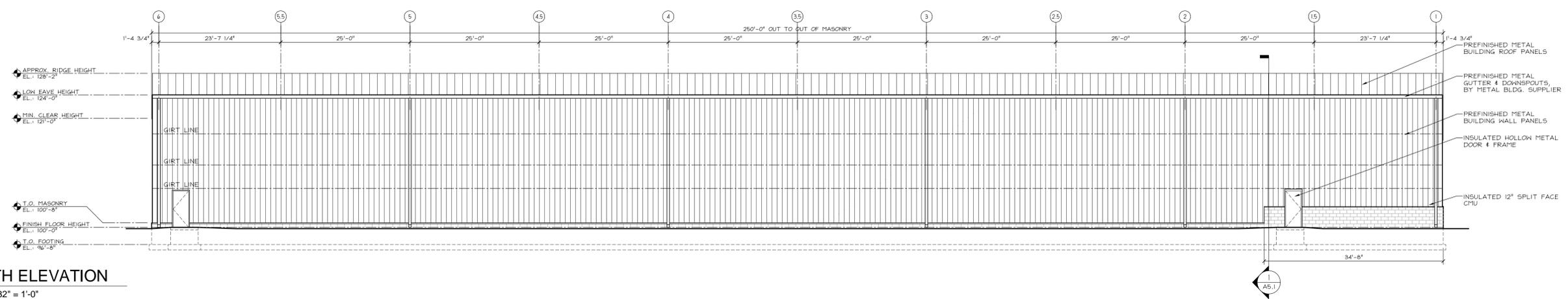
FOUNDATION NOTE:
 COLUMN LINES (A, E, 0.9 & 6.1) ARE TO THE CENTERLINE OF THE ANCHOR BOLTS. REFERENCE METAL BUILDING PLANS FOR ANCHOR BOLT LAYOUT.

1 FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"

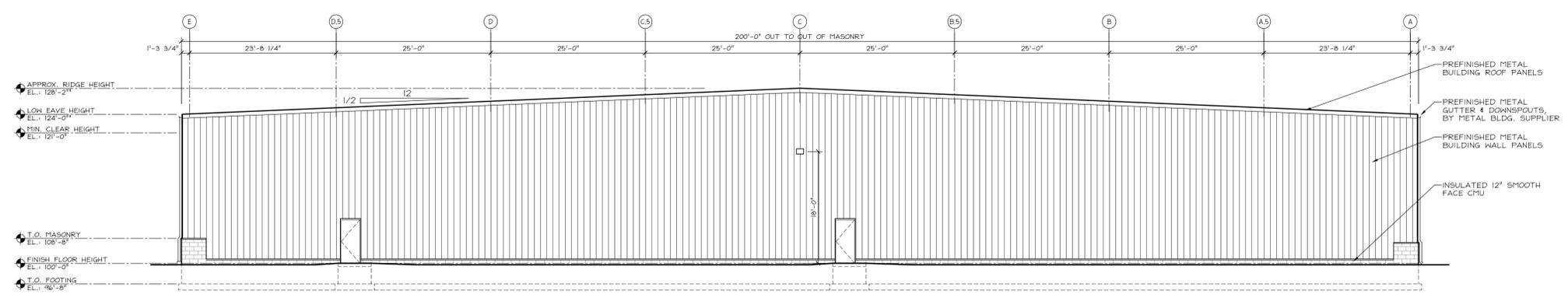
SQUARE FOOTAGE:
 PROPOSED 50,000 S.F.



1 WEST ELEVATION
 SCALE: 3/32" = 1'-0"



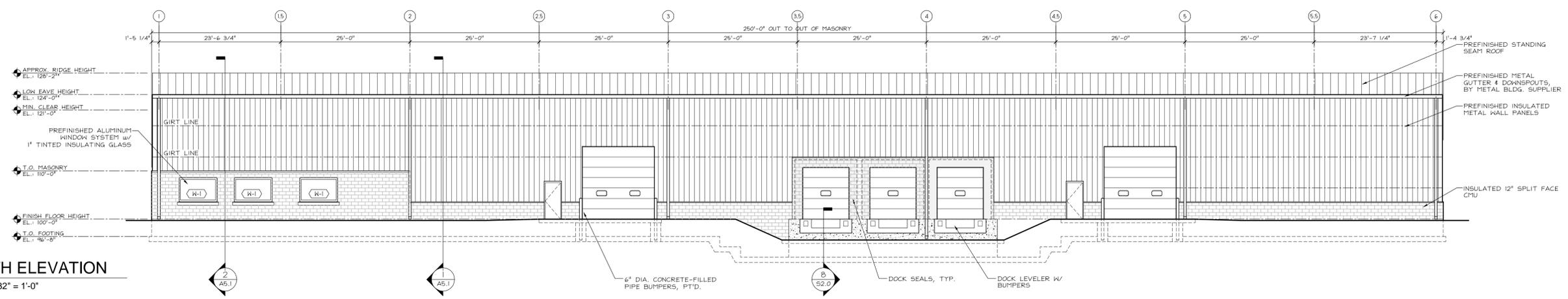
2 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



3 EAST ELEVATION
 SCALE: 3/32" = 1'-0"

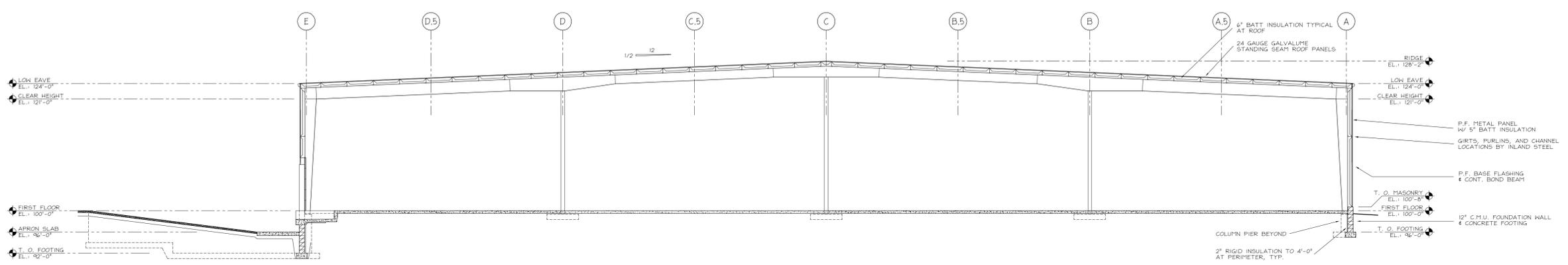
TYPICAL BUILDING FINISHES

- 12" SPLIT FACE INSULATED CMU
COLOR: GRAY
- METAL BUILDING WALL PANEL
COLOR: ASH GRAY
- PRE-FINISHED ALUMINUM STOREFRONT SYSTEM
COLOR: CLEAR
- 1" INSULATED GLAZING
COLOR: DARK BRONZE
- PRE-FINISHED GUTTER AND DOWNSPOUT DISCHARGE TO GRADE
COLOR: ASH GRAY
- METAL BUILDING ROOF PANEL
COLOR: GALVALUME
- INSULATED HOLLOW METAL DOOR & FRAME
COLOR: GRAY
- INSULATED OVERHEAD DOOR
COLOR: WHITE
- BUILDING LIGHTING - SEE PHOTOMETRIC PLAN FOR FIXTURE INFORMATION
- PRECAST CONCRETE SILLS
COLOR: GRAY
- UTILITY METER LOCATION - ELECTRIC - SEE SITE PLAN FOR TRANSFORMER LOCATION.
- UTILITY METER LOCATION - NATURAL GAS/ WATER



4 SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

BUILDING DESIGN FOR:
CEDAR CREEK WAREHOUSE
 *
DELANEY COURT
 JACKSON, WI 53037



AA LOOKING WEST
 SCALE: 3/32" = 1'-0"

SHEET TITLE
BUILDING SECTION

REVISIONS

PROJECT DATA	
DATE	11.11.2014
JOB NO.	14-00202
SET USE	PLAN COMMISSION SUBMITTAL
FILE NAME	H2-A5.1
DRAWN BY	BW
SHEET NO.	

A5.0