

AGENDA

PLAN COMMISSION MEETING

Thursday – December 3, 2015 – 7:00 pm

Jackson Village Hall

N168W20733 Main St

Jackson, WI 53037

1. Call to Order & Roll Call.
2. Minutes – October 29, 2015 Plan Commission Meeting.
3. Planned Unit Development Amendment – Construction of Oversized Garage, Marshland Drive.
4. Citizens to address the Plan Commission.
5. Adjourn.

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

**DRAFT MINUTES
PLAN COMMISSION MEETING
Thursday – October 29, 2015 – 7:00 pm
Jackson Village Hall
N168W20733 Main St
Jackson, WI 53037**

1. Call to Order & Roll Call.

Chairperson Mike Schwab called the meeting to order at 7:00 p.m.
Members present: Steve Schoen, Peter Habel, Doug Alfke.
Members excused: Tr. Emmrich, Jeff Dalton, Tr. Kruepke.
Staff present: John Walther, Jim Micech, Brian Kober.

2. Minutes – August 27, 2015, Plan Commission Meeting.

Motion by Peter Habel, second by Doug Alfke to approve the minutes of the August 27, 2015 Plan Commission meeting.
Vote: 4 ayes, 0 nays. Motion carried.

3. Planned Unit Development Amendment – JHB Company Tenant Use and Building addition – Center Street.

John Bagley and architect were present at the meeting and had received staff comments. The property owner of the building was also present. Samples of the exterior of the building and drawing were shown. Company colors are red and gray. Discussion ensued of siding the building in putty with red trim. Signage will be submitted separately. The business is media blasting and construction and is not usually open to the public. Hours of business are Monday – Friday 7 a.m. – 5 p.m., and Saturday 7:30 a.m. – 2 p.m. as needed. The concrete blocks will be sided with the pro-rib steel right away. The concrete blocks are two feet deep and will be lined to deaden the sound.

Discussion of the colors ensued as the putty with red trim. Discussion of the sound / noise ensued.

Motion by Peter Habel, second by Steve Schoen to Recommend the Village Board approve the Planned Unit Development Amendment – JHB Company Tenant Use and Building Addition – Center Street, per staff comments. Color of the building to be putty with red trim.

Vote: 4 ayes, 0 nays. Motion carried.

4. Planned Unit Development Amendment – Midwest Vapor Pro LLC – Banners and Signs – Industrial Drive and Main Street.

Troy Salazar was present at the meeting and had received staff comments. Costintine Demopoulos and Jimmy were also present at the meeting. Troy is requesting the temporary banner and flags to be displayed twelve months of the year. The flags were up prior to approval and have been taken down. Discussion ensued of replacing the signs when they become worn or ripped. Troy intends to take them in and out every day. The signs will only be out during business hours. The temporary signs will be out for the Grand Opening, for the sixteen days.

Motion by Peter Habel, second by Tr. Kruepke to recommend the Village Board approve the Planned Unit Development Amendment – Midwest Vapor Pro LLC – Banners and Signs – Industrial Drive and Main Street, per staff comments. The signs to be displayed only during normal business hours and to maintain an annual review with a special use permit.

Vote: 4 ayes, 0 nays. Motion carried.

5. Certified Survey Map – We Energies – Jackson Drive – Sub Station.

Brian Kober reported on the Certified Survey Map for We Energies – Jackson Drive – Sub Station. We Energies need to dedicate the right of way. We Energies wanted to proceed with an easement; however the paperwork had not been received. Legal Counsel has directed for a Certified Survey Map. Motion by Peter Habel, second by Doug Alfke to Recommend Approval of the Certified Survey Map – We Energies – Jackson Drive – Sub Station.

Vote: 4 ayes, 0 nays. Motion carried.

6. Citizens to address the Plan Commission.

There were no citizens to address the Plan Commission.

7. Adjourn.

Motion by Peter Habel, second by Steve Schoen to adjourn.

Vote: 4 ayes, 0 nays. Meeting was adjourned at 7:19 p.m.

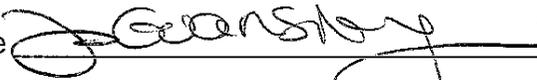
Respectfully submitted by Deanna L. Boldrey – Clerk / Treasurer

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Kevin Kunstek
 Contact Kevin Kunstek Address/ZIP N27 W24075 Paul Ct, Pewaukee 53072 Phone # 262-305-4094
 E-mail Address slimkev25@yahoo.com Fax # where Agenda/Staff comments are to be faxed 262-542-9780
 Name of Owner Kevin Kunstek Address/ZIP W206 N16517 Marshland Drive Phone# _____
 Owner Representative/Developer Tim O'Brien Homes
 Proposed Use of Site Single Family home Present Zoning Residential

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		XXX
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Jackie Guansing Signature  Date 11-6-15

Office Use: Date Received _____ Date Paid _____ Receipt #  Amount Paid \$ _____

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development

Permit # 449723

The Village of Jackson, hereby grants a **Special Use** **Conditional Use** **Planned Unit Development**

Permit to:

Name of Business/Applicant: Tim O'Brien Homes

For a property located at (address): W206 N16517 Marshland Drive, Jackson

Phone number of Business/Applicant: 262-542-5750

For (land use, activity, sign, site plan, other): variance on size of garage

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): none

Hours of Operation: standard guidelines - 8 a - 5 p

Comprehensive/Master Plan Compatibility: _____

Building Materials (type, color): per community requirement - vinyl siding (English Wedgewood) with Shake siding (silver Grey), white windows and trim, Dimensional Shingles (Estate Grey)

Setbacks from rights-of-way and property lines: 26' front, 41' rear, 8' sides

Screening/Buffering: _____

Landscape Plan (sizes, species, location): _____

Signing (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s)), (sidewalk/pedestrian way width and material): house is in cul du sac with sidewalk for pedestrian use

Storm-water Management: yes

Erosion Control: yes

Fire Hydrant Location(s): unknown

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: _____

Hazardous Material Storage: none used

Alarm Systems: _____

Site Features/Constraints: not aware of any

Parking (no. of spaces, handicapped parking, and dimensions): _____

Tree and shrub preservation: trees are present on Western lot line

Setbacks/height limitations: 26' front, 41' rear, 8' sides

Wastewater Usage Projected: _____ gal/year

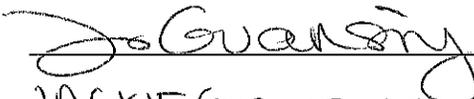
Water Usage Projected: _____ gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):
Garage is drawn at 768 sf with the additional space to be used for storage of collectors car and possibly
pop up camper in the future since they cannot be stored outside garage.

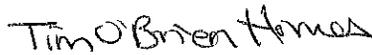
TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____



JACKIE GUANSING Owner
Please print name


Tim O'Brien Thomas
Representative

John M. Walther, Administrator

Applications shall be submitted by 4:00 PM of the first Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (from face of application form):

1. Application Form: Must be submitted on CD.

2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: a copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated User profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.)
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and Water/Sewer/Storm plans may be shown combined on this plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name, and common name of proposed trees and shrubs. Also calls out surface treatments. Shows walls, fences, and details.
15. Grading/Drainage Plan: Shows original and proposed grades and runoff calculations based on a 10-year storm. Is usually combined with a Storm Sewer Plan (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains and fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Cross-Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED
BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO
QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**

November 6, 2015
Village of Jackson
RE: W206 N16517 Marshland Dr.

To Whom it May Concern,

I am writing on behalf of our customers, Jennifer Channer and Kevin Kunstek, who will reside at W206 N16517 Marshland Dr. upon completion of their new home construction.

After speaking with Jim Micech, Village Inspector, it was discovered that Village code permits garage size up to 720.0sqft. Our customer has a garage that is 768.0sqft.

We are officially requesting a variance from the Village Board to have the garage remain at 768.0sqft.

The reason the garage was designed to that size was to accommodate storage of a vintage car, two other cars, additional storage space in general, and the possibility of storing a pop-up camper in the future.

Due to the immediate need of the customer to store the vintage car at their new home, we are requesting to keep the current square footage of the garage.

There should be no disturbance to the surround lots, no additional cost, and hours of operation would be consistent to the regular schedule as the building is under construction.

Please consider this our Impact Statement.

I have also enclosed the Letter of Intent, paper copy of the plan, paper copy of the Development Application, and a jump drive that includes the following: stamped site survey, floor plan in PDF format, the Letter of Intent, the Impact Statement, and the five-page Development Application.

I look forward to hearing from the Village Board in regards to the customer garage. I appreciate the Board taking the time to review all enclosed documents.

If you have any questions, please feel free to contact me, Jackie Guansing, of Tim O'Brien Homes.

Sincerely,

Jackie Guansing

New Home Consultant for Ms. Channer and Mr. Kunstek

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Please consider this our Letter of Intent.

I appreciate the Board taking the time to review all enclosed documents.

If you have any questions, please feel free to contact me, Jackie Guansing, of Tim O'Brien Homes.

Sincerely,

Jackie Guansing

New Home Consultant for Ms. Channer and Mr. Kunstek

Washington County

Owner (s):

KUNSTEK, KEVIN

Location:

NE-SE,Sect. 19, T10N, R20E**SE-NE,Sect. 19, T10N, R20E**

Mailing Address:

KEVIN M KUNSTEK**1137 HASTINGS CT**

School District:

6307 - WEST BEND SCHOOL**RACINE, WI 53406**

Tax Parcel ID Number:

0171021

Tax District:

V3-VILLAGE OF JACKSON

Status:

Active

Acres:

0.1600

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):

PT OF NE SE+SE NE CRANBERRY CREEK LOT 21 DOC 1391222

Site Address (es): *(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)*

MARSHLAND DR

Search Results for "W20N16517 Marshland Drive, Jackson, WI. 53037"



page 1 of 1

1. 53037, WI



ELMWOOD

Signature Series
46-021 Kunstek



© 2012-2014 T.O. Homes
N77 W4075 Paul C. Sank 100
Beverly Hills, WI 53007

GENERAL NOTES

- A. ALL WORK SHALL BE PERFORMED WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION.
- B. ALL WORK WILL BE PERFORMED IN A WORKMANLIKE MANNER.
- C. EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC., FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS, UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE BETWEEN CONTRACTOR AND TIM O'BRIEN HOMES INC.
- D. MATERIALS AS SPECIFIED ON DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF TIM O'BRIEN HOMES INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING IN CONJUNCTION WITH (AND ALL OTHER TRADES AFFECTED) SAID SUBSTITUTIONS.
- E. TIM O'BRIEN HOMES INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- F. ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AS PART OF THEIR INSTALLATION LAYOUT.
- G. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF BUILDING DURING CONSTRUCTION.
- H. EACH CONTRACTOR SHALL AMEND AND MAKE GOOD AT HIS OWN COST, ANY DEFECTS OR OTHER FAILS IN HIS/HER WORKMANSHIP AND/OR MATERIAL.
- I. EACH CONTRACTOR IS TO CLEAN UP DEBRIS INSIDE AND OUTSIDE THE BUILDING SITE WHICH HAS BEEN CAUSED BY HIS/HER WORK AND PLACED IN DUMPSTERS PROVIDED BY TIM O'BRIEN HOMES INC.
- J. ALL MATERIAL, FINISHES AND STYLES INCLUDING BUT NOT LIMITED TO EXTERIOR SIDING, ROOFING, WINDOWS, EXTERIOR TRIM, AND INTERIOR AND EXTERIOR MILLWORK, ETC. SHALL BE APPROVED BY TIM O'BRIEN HOMES INC.
- K. DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- L. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN PLAN AND REPORT ERROR(S) TO TIM O'BRIEN HOMES INC. PRIOR TO COMMENCEMENT OF THE WORK, OR TO BE RESPONSIBLE FOR SAME.
- M. THESE PLANS, DETAILS, AND SPECIFICATIONS REMAIN THE PROPERTY OF TIM O'BRIEN HOMES INC. AND MAY NOT BE ALTERED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF TIM O'BRIEN HOMES INC.
- O. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE REQUIRED DESIGN LOADS WITH GOVERNING CODES AND SITE CONDITIONS. VERIFY WITH THE LOCAL BUILDING AGENCIES THE WIND, SEISMIC, SNOW, AND OTHER SPECIAL LOADING CONDITIONS. TIM O'BRIEN HOMES INC. SHALL BE NOTIFIED IN WRITING OF ALL DISCREPANCIES.

ABBREVIATIONS

ADJ. Adjustable	DBL. Double	FLR. Floor
ASPH. Asphalt	DET. Detail	FLUOR. Fluorescent
BSMT. Basement	DH. Double Hinged	FTG. Footing
BTM. Bottom	DM. Diameter	GLV. Glazed
BTW. Between	DISH. Dishwasher	G. & N. Glued & Nailed
CANT. Cantilever	DN. Down	G. & S. Glued & Screwed
C.J. Control Joint	DRY. Dryer	G.L.L. Gas Log Lighter
CLG. Ceiling	EA. Each	HDR. Header
CER. Ceramic	ELEV. Elevation	INSUL. Insulation
CHIM. Chimney	ENT. Entertainment	INT. Interior
C.O. Cased Opening	EXP. Exposure	JST. Joist
COMB. Combination	EXT. Exterior	L.V.L. Laminated Veneer Lumber
COMP. Compact	F.C. Floor Change	LIN. Linen
CONC. Concrete	F/G. Fiberglass	LIV. Living
CSD. Cased	FM. Finished	MAX. Maximum
CPT. Carpet	FXTR. Fixture	MBR. Master Bedroom
C.T. Ceramic Tile	F.J. Floor Joist	M.C. Medicine Cabinet
MAR. Marble	REF. Refrigerator	W.W.M. Welded Wire Mesh
MBRD. Microwave	RM. Room	ULL. Underlayment
MIL. .001 inch	R.O. Rough Opening	UNCV. Uncoated
MIN. Minimum	R.S. Rough Sawn	UNEX. Unexcavated
MISC. Miscellaneous	SEC. Second	WASH. Washer
M.O. Masonry Opening	SH. Single Hinged	WD. Wood
NO. Number	SHWR. Shower	W.F. Wide Flange
N.E.S. Not To Scale	S.L. Side Lite	Ø At Center Line
O.C. On Center	STA. Stationary	1-SH One shelf
O.H.D. Overhead Door	STD. Standard	2-SH Two shelves
OP. Opening	STR. Structural	3-SH Three Shelves
P.C. Pull Chain	T.C. Trash Compactor	4-SH Four Shelves
PICT. Picture	T. & G. Torque & Grooved	5-SH Five shelves
POLY. Polyethylene	TRANS. Transom	1-SH/PO One Shelf/1 Pole
PROJ. Projection	TRAP. Trap	2-SH/PO Two Shelves/2 Poles
RAD. Radius	W.H. Water Heater	W/ With

MUNICIPAL CODES

- BUILDING: STATE OF WISCONSIN BUILDING CODE CHAPTER 20-25
- PLUMBING: STATE OF WISCONSIN BUILDING CODE CHAPTER 81-87
- ELECTRICAL: STATE OF WISCONSIN BUILDING CODE CHAPTER 16
- MECHANICAL: STATE OF WISCONSIN BUILDING CODE CHAPTER 61-25

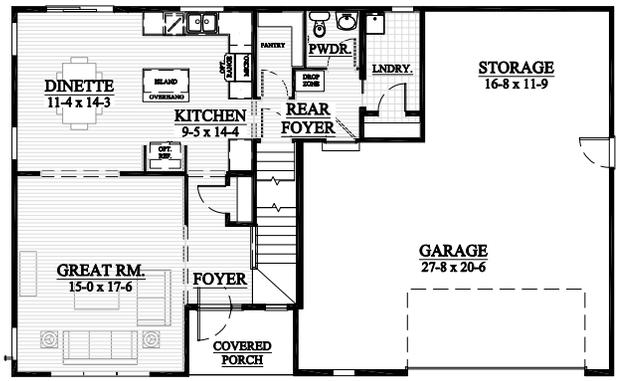
SEALS & ENDORSEMENTS:

DWELLING SQUARE FOOTAGES

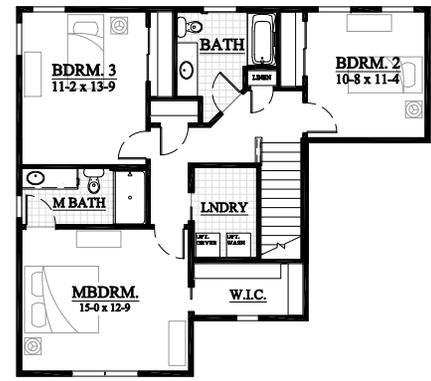
Elevation 3 - Craftsman
Square Footages

ELEVATION 3 LIVING AREAS	
AREA	SQUARE FOOTAGE
FIRST FLOOR LIVING AREA	928 SF
SECOND FLOOR LIVING AREA	938 SF
TOTAL LIVING AREA	1866 SF

ELEVATION 2 NON LIVING AREAS	
AREA	SQUARE FOOTAGE
GARAGE AREA	768 SF
COVERED PORCH AREA	58 SF
UNFINISHED BASEMENT AREA	836 SF



ELMWOOD FIRST FLOOR LAYOUT
TRADITIONAL



ELMWOOD SECOND FLOOR LAYOUT
TRADITIONAL



ELMWOOD CRAFTSMAN ELEVATION

HOMEOwner INFORMATION

KEVIN & ANDRIE KENSTER
109013
JANUARY 04

MODEL SERIES

THE ELMWOOD
NEW IN 2013

SHEET TITLE

COVERSHEET

Sheet Number	Sheet Title
CS	COVERSHEET
ELMWOOD FLOOR PLAN DRAWING SET	
A2	FOUNDATION PLANS - ALL ELEVATIONS
A3	FOUNDATION BRACING PLAN
A4	FIRST FLOOR PLAN - ALL ELEVATIONS
A5	FIRST FLOOR BRACING PLAN - ALL ELEVATIONS
A6	SECOND FLOOR PLAN - ALL ELEVATIONS
A7	SECOND FLOOR BRACING PLAN - ALL ELEVATIONS
ELMWOOD ELECTRICAL DRAWING SET	
A8	BASEMENT ELECTRICAL PLAN - OPTIONS - ALL ELEVATIONS
A9	FIRST FLOOR ELECTRICAL PLAN - ALL ELEVATIONS
A10	SECOND FLOOR ELECTRICAL PLANS - OPTIONS - ALL ELEVATIONS

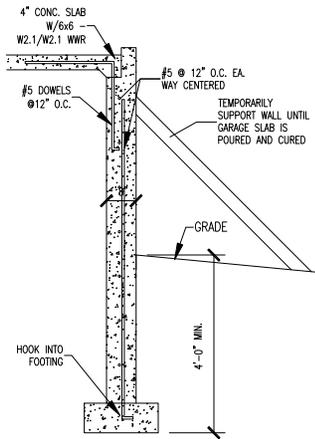
Sheet List Table			
NO.	DATE	DESCRIPTION OF REVISION	BY
1	9-23-15	PLAN DRAFT 1	KAC
2	8-14-15	PLAN DRAFT 2	KAC
3	7-28-15	PLAN DRAFT 1	KAC
4			
5			

JOB NUMBER
46-021

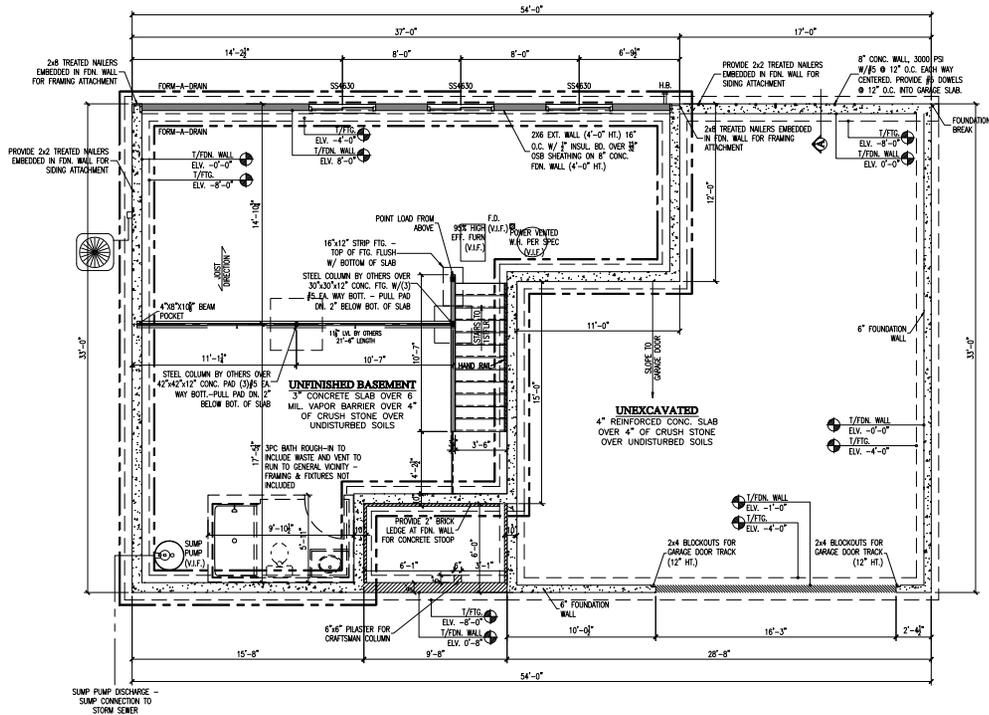
SHEET NUMBER
CS

WALL LEGEND

-  DENOTES CONTINUOUSLY SHEATHED WALL PER COMM21.25(8)(9)(4)
-  DENOTES 4" OF WOOD STRUCTURAL PANEL SHEATHING, 1x4 LET-IN BRACING OR METAL "T" BRACING
-  4" OF 1/2" GYPSUM WALL BOARD APPLIED TO BOTH SIDES OF WALL
-  DENOTES INTERIOR BEARING WALL



A GARAGE FDN. WALL
SCALE: 3/4" = 1'-0"



ELEVATION 3 - CRAFTSMAN FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
- WALL INFORMATION**
 - MAIN HOUSE CONCRETE WALLS: 8" 3000psi POURED CONCRETE WALL @ 8'-0" UNLESS NOTED OR 10" 3000psi POURED CONCRETE WALL @ 9'-0" UNLESS NOTED
 - GARAGE CONCRETE WALLS: 8" 3000psi POURED CONCRETE WALL @ 4'-0" UNLESS NOTED
 - STAIR INFORMATION**
 - REFER TO FIRST FLOOR PLAN FOR STAIR INFORMATION
 - PLAN INFORMATION**
 - REFER TO TYPICAL WALL SECTIONS FOR ADDITIONAL FOUNDATION INFORMATION
 - ALL DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD OR FACE TO FACE OF CONCRETE
 - THE CONDITIONS LISTED HERE ARE STANDARD FOR THIS PLAN ELEVATION(S). EXCEPTIONS ARE NOTED ON THE PLAN

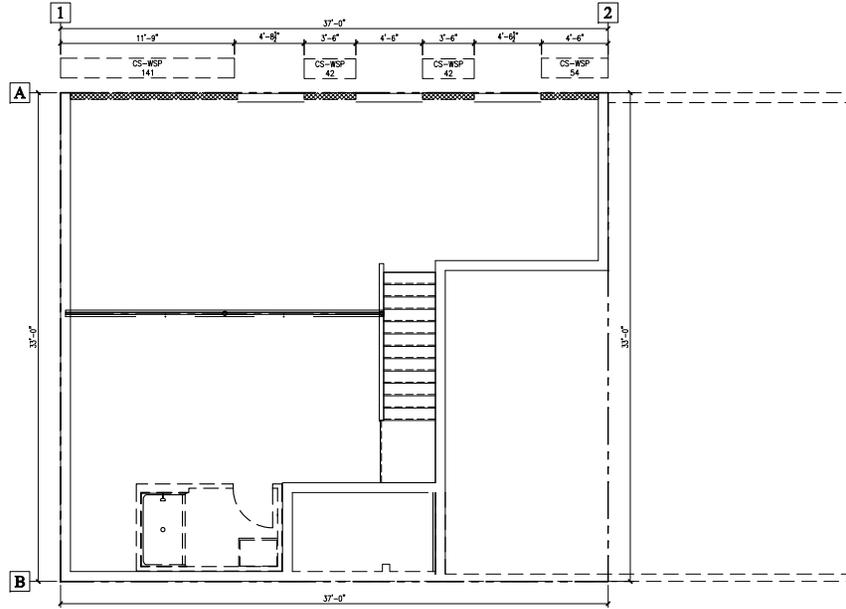
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JOB NUMBER
46-021

SHEET NUMBER
A2

FOUNDATION BRACING PLAN

SCALE: 1/4" = 1'-0"



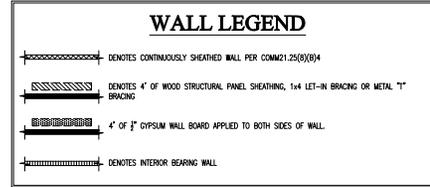
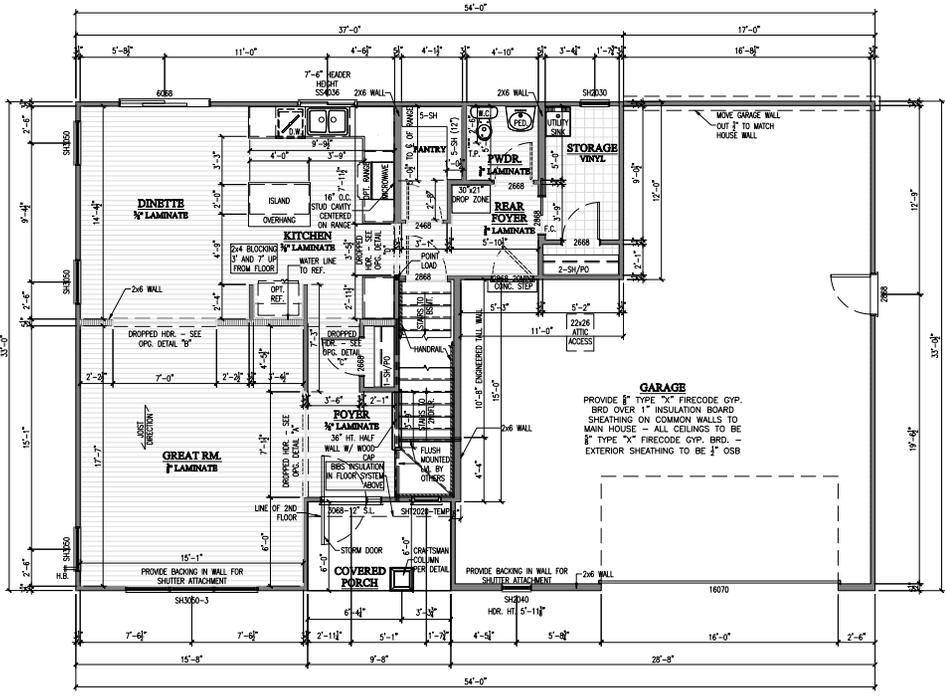
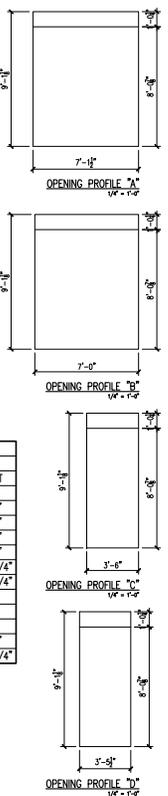
FOUNDATION WALL BRACING SCHEDULE													
WALL BRACE LINE	BRACE MATERIAL	BRACE METHOD	BRACE LINE SPACING	REQUIRED BRACE UNIT LENGTH	WIND EXPOSURE FACTOR	WALL HEIGHT FACTOR	DRYWALL OMISSION FACTOR	CRIPPLE WALL FACTOR	WIND FACTOR TOTAL	TOTAL BRACE UNIT LENGTH (FT)	BRACE UNITS PROVIDED	MAXIMUM OPENING HT.	DETAIL
A	1/2" OSB SHEATHING	CONTINUOUS	40.00'	21.80	1.00	.90	1.00	1.15	1.04	22.67'	22.75'	3'-0"	--
B	NON-EXPOSED CONC.	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	--
1	NON-EXPOSED CONC.	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	--
2	NON-EXPOSED CONC.	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	--

NOTES
 WIND FACTOR TOTAL INCLUDES WIND EXPOSURE FACTOR, WALL HEIGHT FACTOR AND EAVE TO RIDGE FACTOR
 REQUIRED BRACE UNIT LENGTH INCORPORATES WHETHER WALL SUPPORTS ROOF & CEILING ONLY; ONE FLOOR, ROOF AND CEILING OR TWO FLOORS, ROOF AND CEILING

NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1	7.28.15	PLAN DRAFT 1	KMB	
2	8.14.15	PLAN DRAFT 2	KMB	
3	7.28.15	PLAN DRAFT 1	KMB	

WINDOW SCHEDULE							
MARK	QTY	TYPE	GRIDS	MFR.	PART NO.	TEMPERED	ROUGH OPENING WIDTH HEIGHT
SH3050-2	1	TWIN SINGLE HUNG	THREE OVER ONE	VISIONS 3000	2-3050	NO	6'-0" 5'-0"
SH2040	1	SINGLE HUNG	TWO OVER ONE	VISIONS 3000	2040	NO	2'-0" 4'-0"
SH12020	2	SINGLE HUNG TRANSOM	TWO	VISIONS 3000	2020	NO	2'-0" 2'-0"
SS4630	3	SLIDER	CLEAR	VISIONS 3000	4630	NO	4'-6" 3'-0"
SH12020-TEMP	1	SINGLE HUNG TRANSOM	TWO	VISIONS 3000	2020 TEMP	YES	2'-0" 2'-0"
SH3050-3	1	TRIPLE SINGLE HUNG	THREE OVER ONE	VISIONS 3000	3-3050	NO	9'-0" 5'-0"
SS4036	1	SINGLE SLIDER	CLEAR	VISIONS 3000	4036	NO	4'-0" 3'-6"
SH3050	7	SINGLE HUNG	CLEAR	VISIONS 3000	3050	NO	3'-0" 5'-0"
SH2030-TEMP	1	SINGLE HUNG	CLEAR	VISIONS 3000	2030 TEMP	YES	2'-0" 3'-0"
SH3030	1	SINGLE HUNG	CLEAR	VISIONS 3000	3030	NO	3'-0" 3'-0"

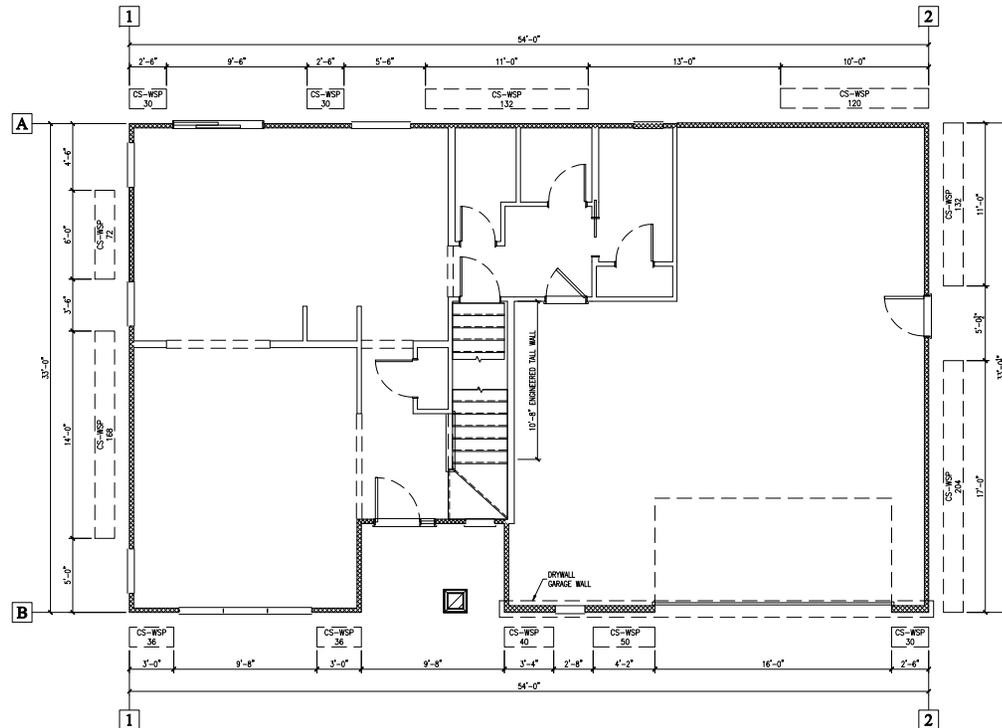
DOOR SCHEDULE							
MARK	QTY	TYPE	MFR.	STYLE/PART NO.	FIRE RATING	ROUGH-OPENING WIDTH HEIGHT	
6068	1	SLIDING PATIO	VISIONS 3000	NO GRIDS/6068	NA	6'-0"	6'-8"
2068	1	SINGLE HINGE		PER COLOR SELECTIONS	NA	2'-2"	6'-11"
2468	1	SINGLE HINGE		PER COLOR SELECTIONS	NA	2'-6"	6'-11"
2868	6	SINGLE HINGE		PER COLOR SELECTIONS	NA	2'-8"	6'-11"
2868	4	SINGLE HINGE		PER COLOR SELECTIONS	NA	2'-10"	6'-11"
2868 20WIN.	1	SINGLE HINGE	THERMA TRU	PER COLOR SELECTIONS	20 MIN.	2'-10 1/4"	6'-10 1/4"
3068-12" S.L.	1	SINGLE HING W/SDLIGHT	THERMA TRU	6 PANEL W/12" HALF GLASS COLONIAL GRID	NA	4'-3 1/4"	6'-10 1/4"
2468	1	SINGLE POCKET		PER COLOR SELECTIONS	NA	4'-9"	7'-1"
2868	2	SINGLE POCKET		PER COLOR SELECTIONS	NA	5'-5"	7'-1"
16070	1	OVERHEAD	C.H.I.	SHORT PANEL	NA	---	---
5068	2	BI PASS		PER COLOR SELECTIONS	NA	5'-1"	6'-11"
2868	1	6 PANEL SINGLE HINGE	THERMA TRU	PER COLOR SELECTIONS	NA	2'-10 1/4"	6'-10 1/4"



ELEVATION 3
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
- FLOOR SYSTEM INFORMATION
- FIRST FLOOR: 1 1/2" ENGINEERED "T" JOIST 16" O.C. SPACING PER MANUFACTURER
- ROOF INFORMATION
- REFER TO ROOF PLAN FOR ROOF INFORMATION
- WALL INFORMATION
- FIRST FLOOR EXTERIOR WALLS: 104 # 2x4 STUD GRADE OR BETTER @ 16" O.C. (9' FIRST FLOOR)
 - FIRST FLOOR INTERIOR WALLS: 104 # 2x4 STUD GRADE OR BETTER @ 16" O.C. (9' FIRST FLOOR)
- WINDOW INFORMATION
- ALL WINDOW TYPE AND SIZE SHOWN ARE FOR VISIONS 3000 SERIES WINDOWS - REFER TO CATALOG FOR DETAILS
 - ALL WINDOW HEADER OPENINGS TO BE 6'-11 3/4" FROM 1/FLOOR UNLESS NOTED
- STAIR INFORMATION
- BASEMENT TO FIRST FLOOR: 14 RISERS @ 7 1/2" MAX / 13 TREADS @ 10" WITH 1" NOSING (6' FOUNDATION WALL)
 - FIRST FLOOR TO SECOND FLOOR: 16 RISERS @ 7 1/2" MAX / 15 TREADS @ 10" WITH 1" NOSING (9' FIRST FLOOR)
- PLAN INFORMATION
- ALL DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD
 - THE CONDITIONS LISTED HERE ARE STANDARD FOR THIS PLAN ELEVATION(S). EXCEPTIONS ARE NOTED ON THE PLAN



FIRST FLOOR WALL BRACING SCHEDULE														
WALL BRACE LINE	BRACE MATERIAL	BRACE METHOD	BRACE LINE SPACING	REQUIRED BRACE UNITS	REQUIRED BRACE UNIT LENGTH	WIND EXPOSURE FACTOR	WALL HEIGHT FACTOR	EAVE TO RIDGE FACTOR	DRYWALL OMISSION FACTOR	WIND FACTOR TOTAL	TOTAL BRACE UNIT LENGTH (FT)	BRACE UNITS PROVIDED	MAXIMUM OPENING HT.	DETAIL
A	3/8" OSB SHEATHING	CONTINUOUS	40.00'	NA	15.60'	1.00	1.00	1.00	1.40	1.40	21.84'	26.00'	NA	PF (PORTAL FRAME) - SEE SHEET D7
B	3/8" OSB SHEATHING	CONTINUOUS	40.00'	NA	15.60'	1.00	1.00	1.00	1.00	1.00	15.60'	16.00'	NA	
1	3/8" OSB SHEATHING	CONTINUOUS	60.00'	NA	19.60'	1.00	1.00	1.00	1.00	1.00	19.60'	20.00'	NA	
2	3/8" OSB SHEATHING	CONTINUOUS	60.00'	NA	19.60'	1.00	1.00	1.00	1.40	1.40	27.44'	28.00'	NA	

NOTES
 WIND FACTOR TOTAL INCLUDES WIND EXPOSURE FACTOR, WALL HEIGHT FACTOR AND EAVE TO RIDGE FACTOR
 REQUIRED BRACE UNIT LENGTH INCORPORATES WHETHER WALL SUPPORTS ROOF & CEILING ONLY; ONE FLOOR, ROOF AND CEILING OR TWO FLOORS, ROOF AND CEILING

ALL ELEVATIONS
FIRST FLOOR BRACING PLAN

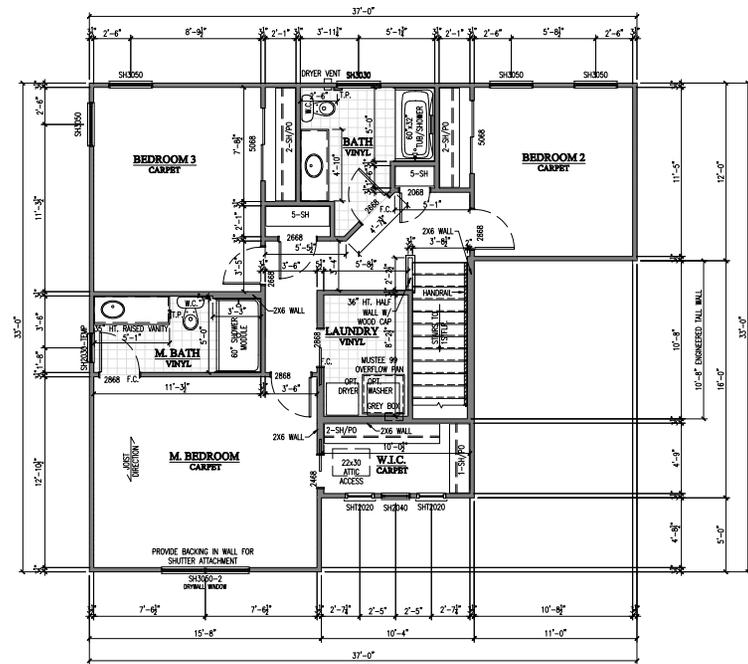
SCALE: 1/4" = 1'-0"

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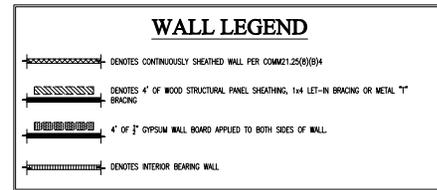
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ELEVATION 3
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

- NOTES:
- FLOOR SYSTEM INFORMATION**
 - SECOND FLOOR: 1 1/2" ENGINEERED "T" JOIST 16" O.C. SPACING PER MANUFACTURER
 - ROOF INFORMATION**
 - REFER TO ROOF PLAN FOR ROOF INFORMATION
 - WALL INFORMATION**
 - SECOND FLOOR EXTERIOR WALLS: 92 # 2x4 STUD GRADE OR BETTER @ 16" O.C.
 - SECOND FLOOR INTERIOR WALLS: 92 # 2x4 STUD GRADE OR BETTER @ 16" O.C.
 - WINDOW INFORMATION**
 - ALL WINDOW TYPE AND SIZE SHOWN ARE FOR VISIONS 3000 SERIES WINDOWS- REFER TO CATALOG FOR DETAILS
 - ALL WINDOW HEADER OPENINGS TO BE 6"-11 3/4" FROM T/FLOOR UNLESS NOTED
 - STAIR INFORMATION**
 - REFER TO FIRST FLOOR PLAN FOR STAIR INFORMATION
 - PLAN INFORMATION**
 - ALL DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD
 - THE CONDITIONS LISTED HERE ARE STANDARD FOR THIS PLAN ELEVATION(S). EXCEPTIONS ARE NOTED ON THE PLAN

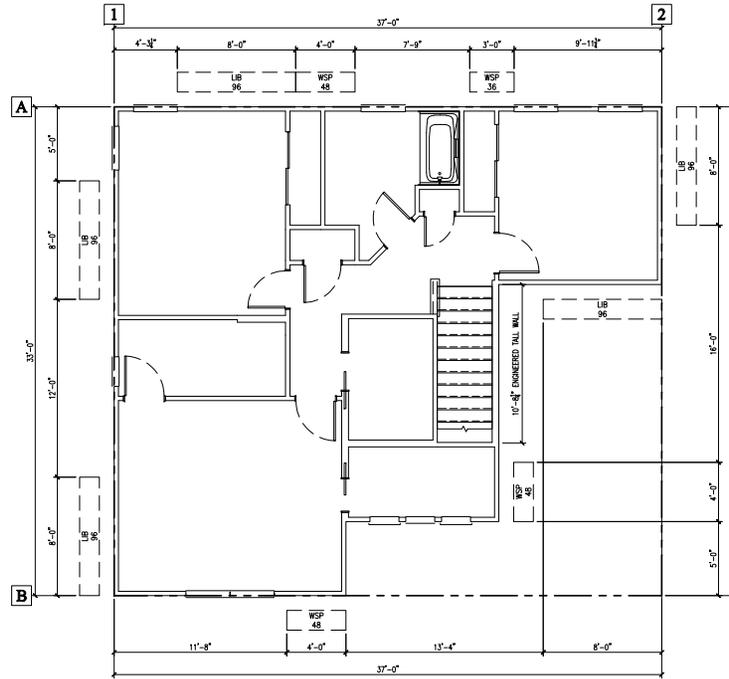


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SHEET NUMBER

A6



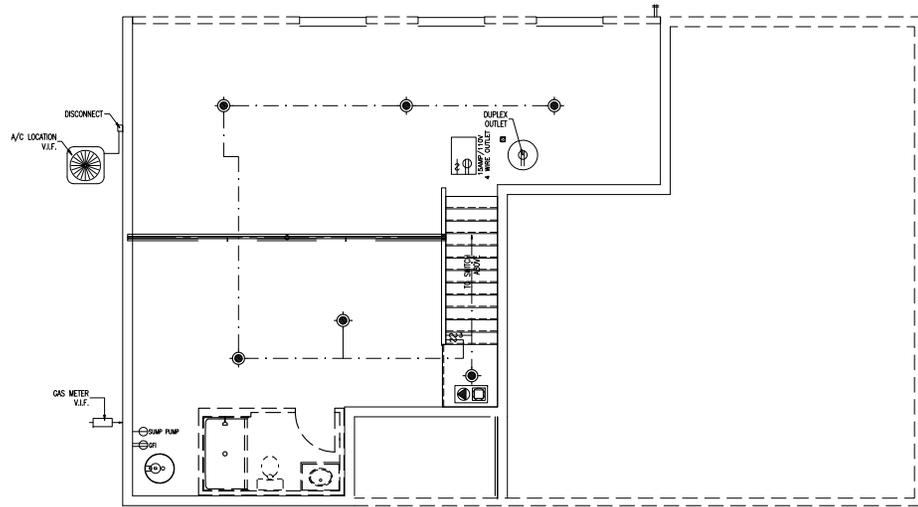
SECOND FLOOR WALL BRACING SCHEDULE														
WALL BRACE LINE	BRACE MATERIAL	BRACE METHOD	BRACE LINE SPACING	REQUIRED BRACE UNITS	REQUIRED BRACE UNIT LENGTH	WIND EXPOSURE FACTOR	WALL HEIGHT FACTOR	EAVE TO RIDGE FACTOR	DRYWALL OMISSION FACTOR	WIND FACTOR TOTAL	TOTAL BRACE UNIT LENGTH (FT)	BRACE UNITS PROVIDED	MAXIMUM OPENING HT.	DETAIL
A	1/2" OSB SHEATHING-WOOD SHEATHED PANEL (WSP)/LET IN BRACING (LB)	INTERMITTENT	50.00'	2.00	8.00'	1.00	0.90	1.00	1.00	0.90	7.20'	2.50	NA	-
B	1/2" OSB SHEATHING-WOOD SHEATHED PANEL (WSP)/LET IN BRACING (LB)	INTERMITTENT	50.00'	2.00	8.00'	1.00	0.90	1.00	1.00	0.90	7.20'	2.00	NA	-
1	1/2" OSB SHEATHING-WOOD SHEATHED PANEL (WSP)/LET IN BRACING (LB)	INTERMITTENT	50.00'	2.00	8.00'	1.00	0.90	1.00	1.00	0.90	7.20'	2.00	NA	-
2	1/2" OSB SHEATHING-WOOD SHEATHED PANEL (WSP)/LET IN BRACING (LB)	INTERMITTENT	50.00'	2.00	8.00'	1.00	0.90	1.00	1.00	0.90	7.20'	2.00	NA	-

NOTES
 WIND FACTOR TOTAL INCLUDES WIND EXPOSURE FACTOR, WALL HEIGHT FACTOR AND EAVE TO RIDGE FACTOR
 REQUIRED BRACE UNIT LENGTH INCORPORATES WHETHER WALL SUPPORTS ROOF & CEILING ONLY; ONE FLOOR, ROOF AND CEILING OR TWO FLOORS, ROOF AN CEILING

ALL ELEVATIONS
SECOND FLOOR BRACING PLAN
 SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION OF REVISION	BY
1	7.28.15	PLAN DRAFT 1	KAM
2	8.14.15	PLAN DRAFT 2	KAM
3	9.21.15	PLAN DRAFT 1	KAM

ISSUE DATE: _____
 DRAWN BY: _____



ELEVATION 3

*** THE LOCATION OF THE OUTLETS SHOWN ARE TO BE VERIFIED IN THE FIELD AND TO COMPLY WITH THE ELECTRICAL CODE ***

BASEMENT ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

TIM O'BRIEN
homes
N77 W24075 Paul C. Sank 100
Brookfield, WI 53007
0-603-442-5790 (Home)
0-262-542-0780 (Cell)

HOMEOWNER INFORMATION
KEVIN A. HENNINGER, LICENSED ELECTRICIAN
1107 401
JACKSON, WI

MODEL SERIES
THE ELMWOOD

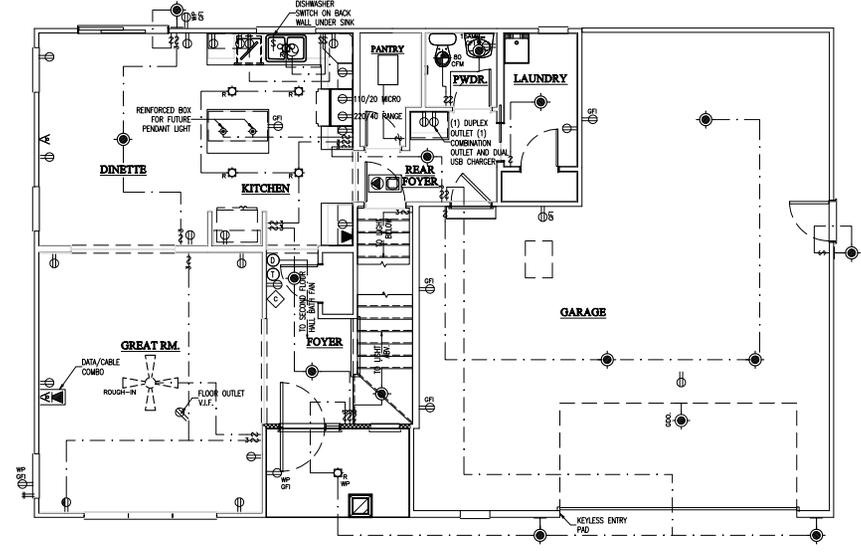
SHEET TITLE
BASEMENT ELECTRICAL PLAN -
OPTIONS - ALL ELEVATIONS

ELECTRICAL SYMBOLS							
	SINGLE POLE SWITCH	GFI	INDICATES GROUND FAULT INTERRUPT		SEC P SECURITY PANEL		SMOKE DETECTOR / CARBON MONOXIDE SENSOR
	THREE WAY SWITCH	WP	INDICATES WATERPROOF		R RECESSED CAN FIXTURE		1 x 2 FLUORESCENT PACKAGE
	FOUR WAY SWITCH	∇	DISPOSAL		D DECORATIVE CEILING FIXTURE		HEAT LAMP/TIMER PACKAGE
	DIMMER SWITCH ROTARY	◇	DOOR BELL CHIMES		CFF CEILING FAN ONE SWITCH		FAN / HEAT LAMP / TIMER PACKAGE
	DIMMER SWITCH SLIDE	≡	TELEVISION OUTLET		LCFF CEILING FAN W/LIGHT TWO SWITCHES		FAN
	DIMENSIONS WITH SYMBOL INDICATES HEIGHT ABOVE FLOOR	≡	TELEPHONE OUTLET		P PC		FAN / LIGHT
	SINGLE OUTLET (15-20 AMP)	≡	DEDICATED TELEPHONE OUTLET		DW DECORATIVE WALL FIXTURE		PULL CHAIN FIXTURE
	DUPLEX OUTLET (15-20 AMP)		STRUCTURAL WIRING SINGLE CUT/SEC/RSE DUPLEX		GDO GARAGE DOOR OPENER		ELECTRICAL METER
	DUPLEX OUTLET (15-20 AMP) ONE HALF SWITCHED		STRUCTURAL WIRING DUAL CUT/SEC/RSE DUPLEX		EP ELECTRICAL PANEL(400/32-8) 200 AMP SERVICE		DEHUMIDISTAT
	REINFORCED CEILING OUTLET (15-20 AMP)		SPEAKER		CSM CEILING MOUNTED SMOKE DETECTOR		DBPB DOORBELL PUSH BUTTON
	DUPLEX OUTLET (15-20 AMP) FLOOR MOUNTED		THERMOSTAT		CMDC CARBON MONOXIDE DETECTOR		GDOPB GARAGE DOOR OPENER PUSH BUTTON
	CENTRAL VAC, GAS COOK TOP, WASHER MICROWAVE (110V-20 AMP) DEDICATED		PHOTOCELL				
	ELECTRIC COOK TOP, ELECTRIC DRYER (220V-30 AMP) DEDICATED						
	ELECTRIC RANGE (220V-40 AMP) DEDICATED						

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1	7.28.15	PLAN DRAFT 1		
2	8.14.15	PLAN DRAFT 2		
3	7.28.15	PLAN DRAFT 1		
4	7.28.15	PLAN DRAFT 1		

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SHEET NUMBER
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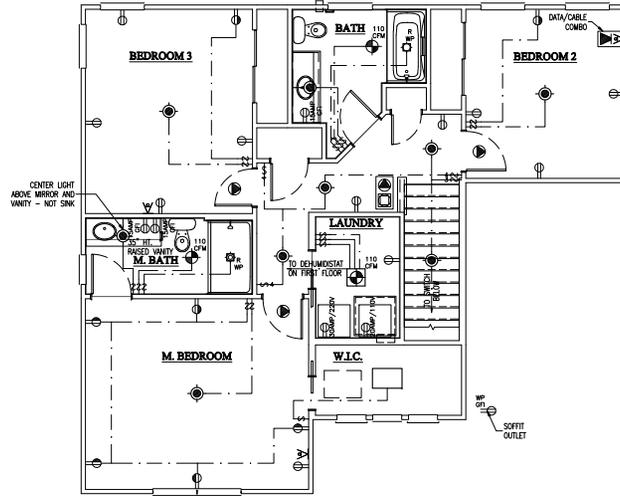
ELEVATION 3
*** THE LOCATION OF THE OUTLETS SHOWN ARE TO BE VERIFIED IN THE FIELD AND TO COMPLY WITH THE ELECTRICAL CODE ***
FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS						
	SINGLE POLE SWITCH	GFI	INDICATES GROUND FAULT INTERRUPT		SEC P	SECURITY PANEL
	THREE WAY SWITCH	WP	INDICATES WATERPROOF		R	RECESSED CAN FIXTURE
	FOUR WAY SWITCH	DISP	DISPOSAL			DECORATIVE CEILING FIXTURE
	DIMMER SWITCH ROTARY	DB	DOOR BELL CHIMES		CFP	CEILING FAN ONE SWITCH
	DIMMER SWITCH SLIDE	TE	TELEVISION OUTLET		LCFF	CEILING FAN W/LIGHT TWO SWITCHES
	SINGLE OUTLET (15-20 AMP)	D	DEDICATED TELEPHONE OUTLET			STRUCTURAL WIRING SINGLE CUTBC/RDB DUPLEX
	DUPLEX OUTLET (15-20 AMP)					STRUCTURAL WIRING DUAL CUTBC/RDB DUPLEX
	REINFORCED CEILING OUTLET (15-20 AMP)					1 x 4 FLUORESCENT PACKAGE
	DUPLEX OUTLET (15-20 AMP) FLOOR MOUNTED					2 x 4 FLUORESCENT PACKAGE
	CENTRAL VAC, GAS COOK TOP, WASHER MICROWAVE (110V-20 AMP) DEDICATED	VVC	SPEAKER			ELECTRICAL METER
	ELECTRIC COOK TOP, ELECTRIC DRYER (220V-30 AMP) DEDICATED		THERMOSTAT			CEILING MOUNTED SMOKE DETECTOR
	ELECTRIC RANGE (220V-40 AMP) DEDICATED	PC	PHOTOCELL			CARBON MONOXIDE DETECTOR
						SMOKE DETECTOR / CARBON MONOXIDE SENSOR
						1 x 2 FLUORESCENT PACKAGE
						HEAT LAMP/TIMER PACKAGE
						FAN / HEAT LAMP / TIMER PACKAGE
						FAN
						FAN / LIGHT
						PULL CHAIN FIXTURE
						DECORATIVE WALL FIXTURE
						GARAGE DOOR OPENER
						ELECTRICAL METER
						ELECTRICAL PANEL(400/32-8) 200 AMP SERVICE
						DEHUMIDISTAT
						DOORBELL PUSH BUTTON
						GARAGE DOOR OPENER PUSH BUTTON

NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1	7.28.15	PLAN DRAFT 1		
2	8.14.15	PLAN DRAFT 2		
3	7.28.15	PLAN DRAFT 1		

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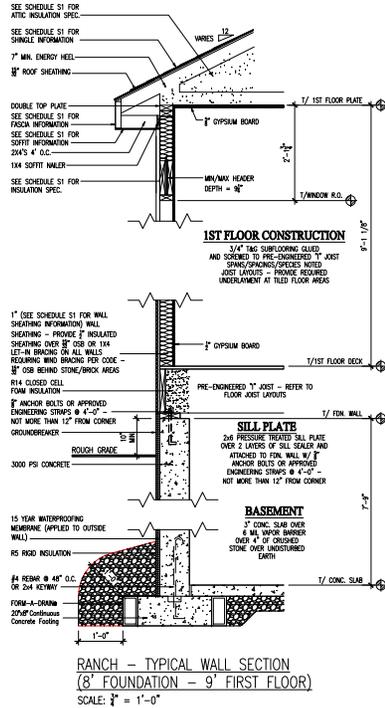
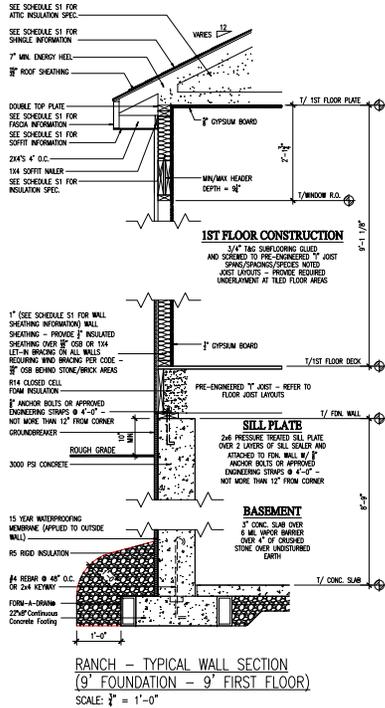
ELEVATION 3
 *** THE LOCATION OF THE OUTLETS SHOWN ARE TO BE VERIFIED IN THE FIELD AND TO COMPLY WITH THE ELECTRICAL CODE ***
SECOND FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1	7.28.15	PLAN DRAFT 1		
2	8.14.15	PLAN DRAFT 2		
3	7.28.15	PLAN DRAFT 1		
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SHEET NUMBER
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ELECTRICAL SYMBOLS							
	SINGLE POLE SWITCH	GFI	INDICATES GROUND FAULT INTERRUPT		SECURITY PANEL		SMOKE DETECTOR / CARBON MONOXIDE SENSOR
	THREE WAY SWITCH	WP	INDICATES WATERPROOF		RECESSED CAN FIXTURE		1 x 2 FLUORESCENT PACKAGE
	FOUR WAY SWITCH		DISPOSAL		DECORATIVE CEILING FIXTURE		HEAT LAMP/TIMER PACKAGE
	DIMMER SWITCH ROTARY		DOOR BELL CHIMES		CEILING FAN ONE SWITCH		FAN / HEAT LAMP / TIMER PACKAGE
	DIMMER SWITCH SLIDE		TELEVISION OUTLET		CEILING FAN W/LIGHT TWO SWITCHES		FAN / LIGHT
	SINGLE OUTLET (15-20 AMP)		TELEPHONE OUTLET		STRUCTURAL WIRING SINGLE OUTLET/ROSE DUPLEX		PULL CHAIN FIXTURE
	DUPLEX OUTLET (15-20 AMP)		DEDICATED TELEPHONE OUTLET		STRUCTURAL WIRING DUAL OUTLET/ROSE DUPLEX		DECORATIVE WALL FIXTURE
	REINFORCED CEILING OUTLET (15-20 AMP)		GARAGE DOOR OPENER		1 x 4 FLUORESCENT PACKAGE		ELECTRICAL METER
	DUPLEX OUTLET (15-20 AMP) FLOOR MOUNTED		SPEAKER		2 x 4 FLUORESCENT PACKAGE		ELECTRICAL PANEL(400/32-8) 200 AMP SERVICE
	CENTRAL VAC. GAS COOK TOP, WASHER MICROWAVE (110V-20 AMP) DEDICATED		THERMOSTAT		CEILING MOUNTED SMOKE DETECTOR		DEHUMIDISTAT
	ELECTRIC COOK TOP, ELECTRIC DRYER (220V-30 AMP) DEDICATED		PHOTOCELL		CARBON MONOXIDE DETECTOR		DOORBELL PUSH BUTTON
	ELECTRIC RANGE (220V-40 AMP) DEDICATED				GARAGE DOOR OPENER PUSH BUTTON		

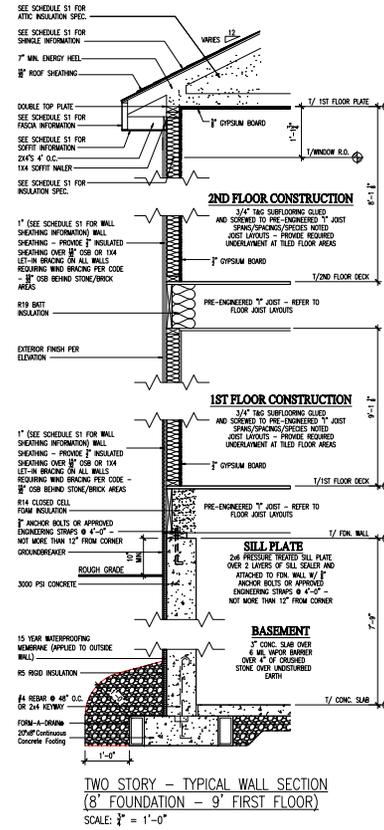
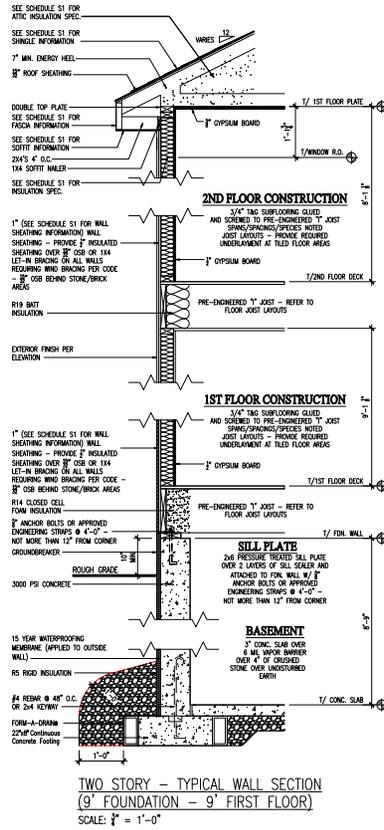


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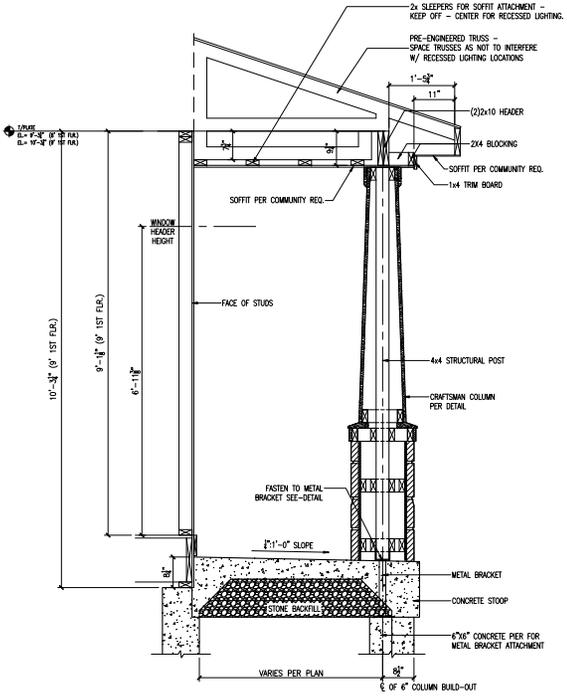
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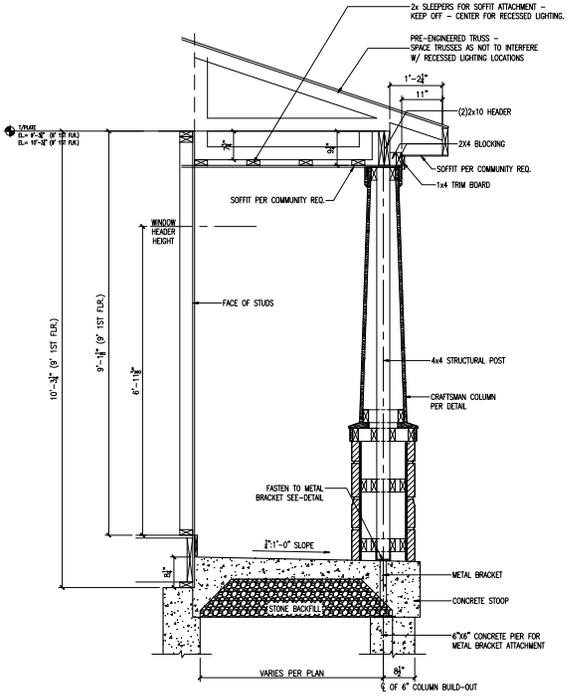
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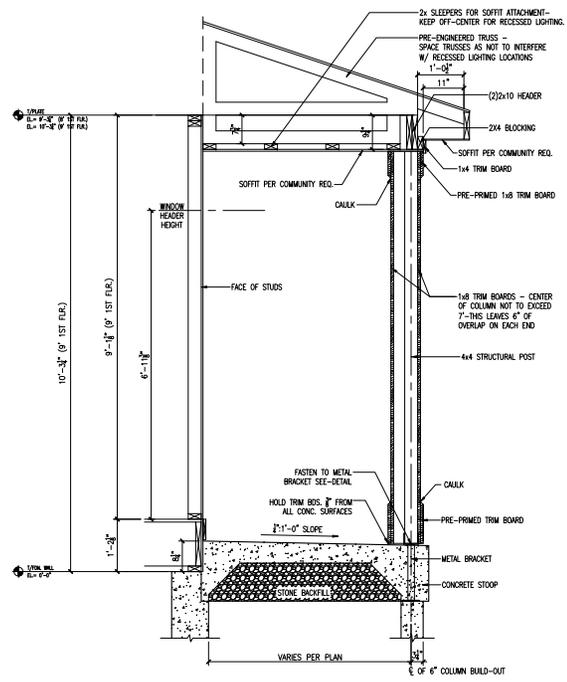
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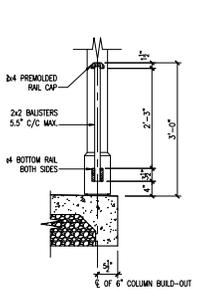
COVERED PORCH DETAIL W/ CRAFTSMAN COLUMN (PORCH HEADER MOVES BACK)
SCALE: 3/8" = 1'-0"



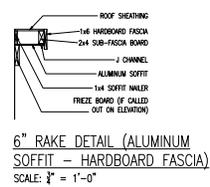
COVERED PORCH DETAIL W/ CRAFTSMAN COLUMN (CONC. STOOP PULLED OUT 4")
SCALE: 3/8" = 1'-0"



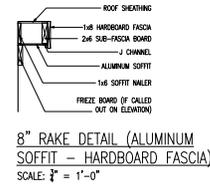
COVERED PORCH DETAIL (STANDARD)
SCALE: 3/8" = 1'-0"



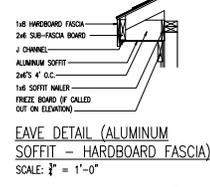
FRONT PORCH RAILING DETAIL
SCALE: 3/8" = 1'-0"



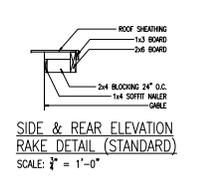
6" RAKE DETAIL (ALUMINUM SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



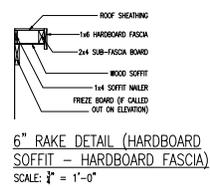
8" RAKE DETAIL (ALUMINUM SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



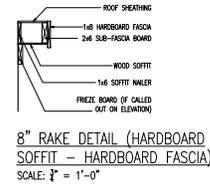
EAVE DETAIL (ALUMINUM SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



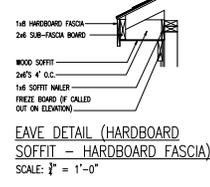
SIDE & REAR ELEVATION RAKE DETAIL (STANDARD)
SCALE: 3/8" = 1'-0"



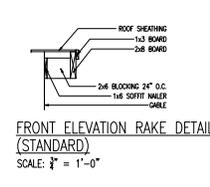
6" RAKE DETAIL (HARDBOARD SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



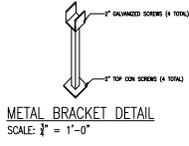
8" RAKE DETAIL (HARDBOARD SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



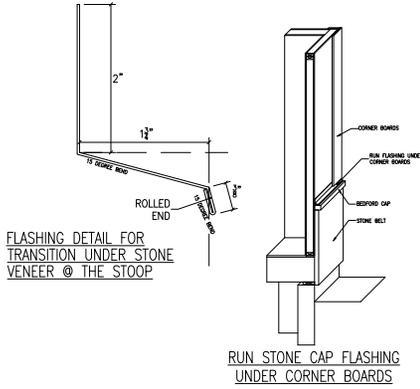
EAVE DETAIL (HARDBOARD SOFFIT - HARDBOARD FASCIA)
SCALE: 3/8" = 1'-0"



FRONT ELEVATION RAKE DETAIL (STANDARD)
SCALE: 3/8" = 1'-0"

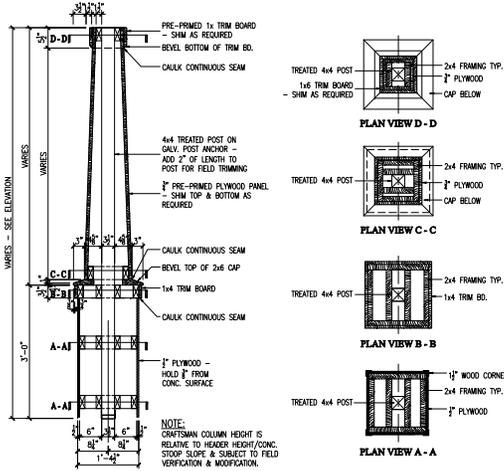


METAL BRACKET DETAIL
SCALE: 3/8" = 1'-0"

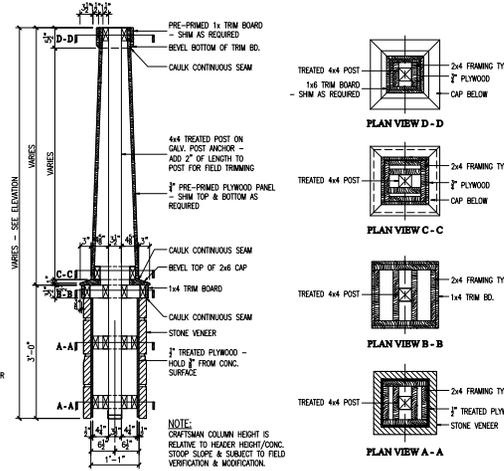


FLASHING DETAIL FOR TRANSITION UNDER STONE VENEER @ THE STOOP

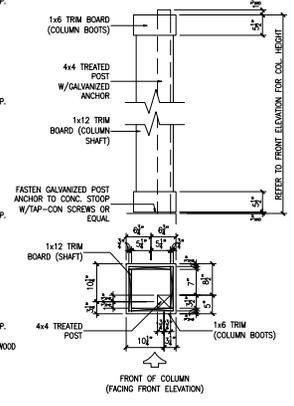
RUN STONE CAP FLASHING UNDER CORNER BOARDS



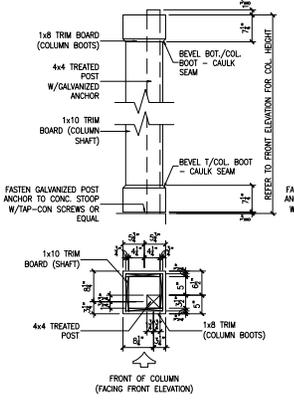
TAPERED CRAFTSMAN COLUMN BUILD-OUT (WOOD BASE)
SCALE: 1/2" = 1'-0"



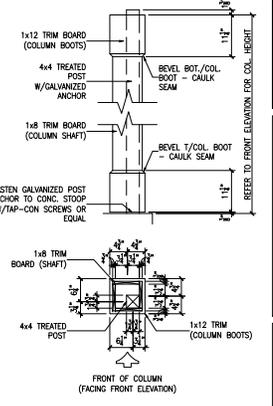
TAPERED CRAFTSMAN COLUMN BUILD-OUT (STONE BASE)
SCALE: 1/2" = 1'-0"



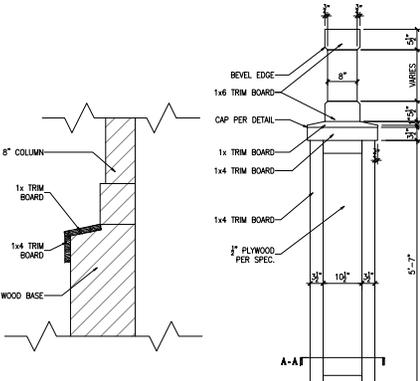
12" COLUMN DETAIL
SCALE: 1/2" = 1'-0"



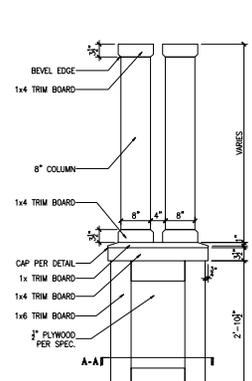
10" COLUMN DETAIL
SCALE: 1/2" = 1'-0"



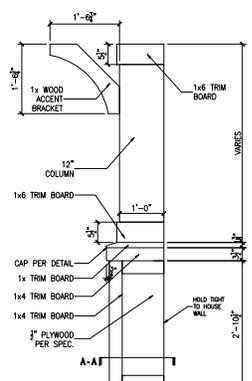
EXTERIOR COLUMN DETAIL (STANDARD)
SCALE: 1/2" = 1'-0"



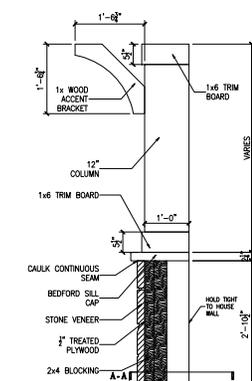
WOOD BASE CAP DETAIL
SCALE: 1/2" = 1'-0"



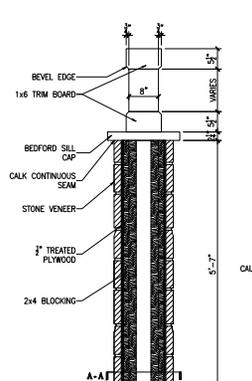
CRAFTSMAN COLUMN W/8" COULMN BUILD-OUT (WOOD BASE)
SCALE: 1/2" = 1'-0"



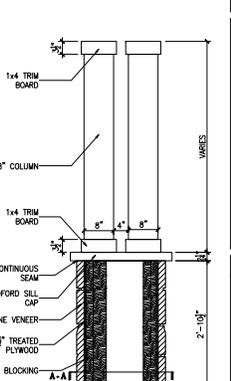
CRAFTSMAN COLUMN (AZALEA ELEV. 3) W/12" COULMN BUILD-OUT (WOOD BASE)
SCALE: 1/2" = 1'-0"



CRAFTSMAN COLUMN (AZALEA ELEV. 3) W/12" COULMN BUILD-OUT (STONE BASE)
SCALE: 1/2" = 1'-0"



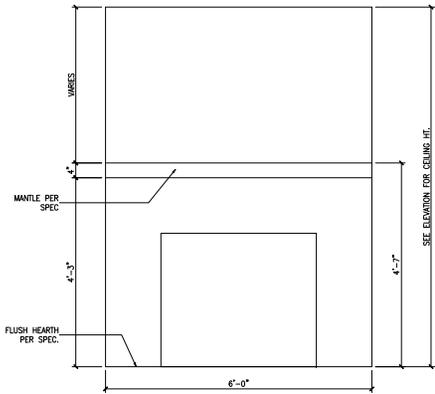
PRAIRIE COLUMN BUILD-OUT (STONE BASE)
SCALE: 1/2" = 1'-0"



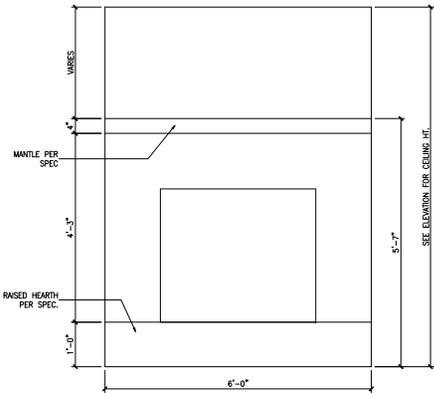
CRAFTSMAN COLUMN BUILD-OUT (STONE BASE)
SCALE: 1/2" = 1'-0"

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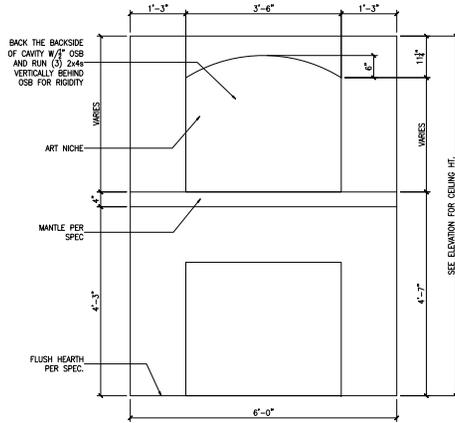
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
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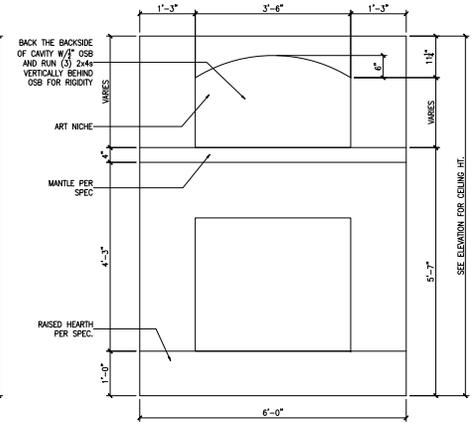
FIREPLACE DETAIL "A"
SCALE: 1/2" = 1'-0"



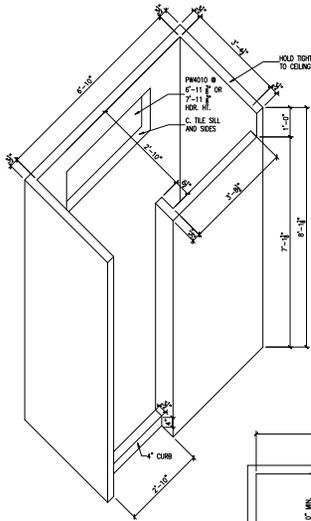
FIREPLACE DETAIL "B"
SCALE: 1/2" = 1'-0"



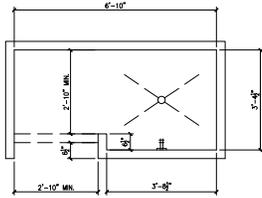
FIREPLACE DETAIL "C"
SCALE: 1/2" = 1'-0"



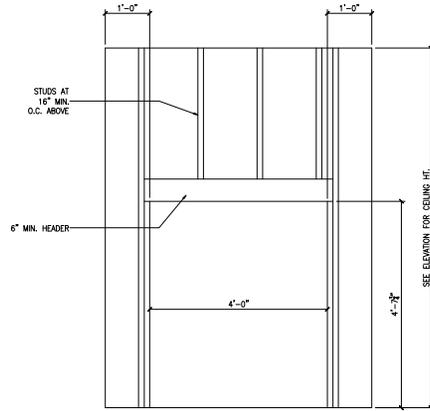
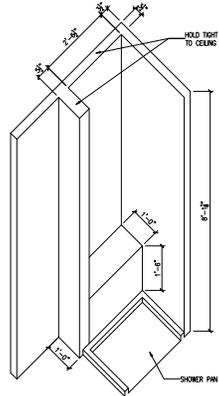
FIREPLACE DETAIL "D"
SCALE: 1/2" = 1'-0"



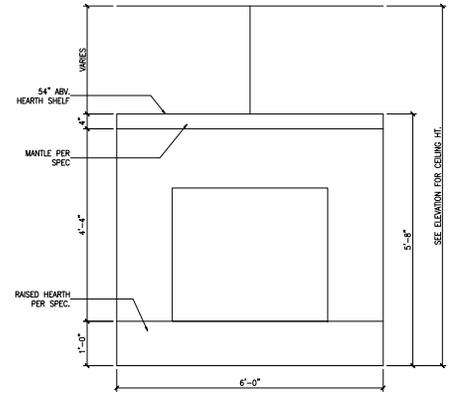
SNAIL SHOWER
CUT-AWAY PROFILE
SCALE: 1/2" = 1'-0"



C. TILE SHOWER W/ SEAT
(BENCH CUT-AWAY PROFILE)
SCALE: 1/2" = 1'-0"

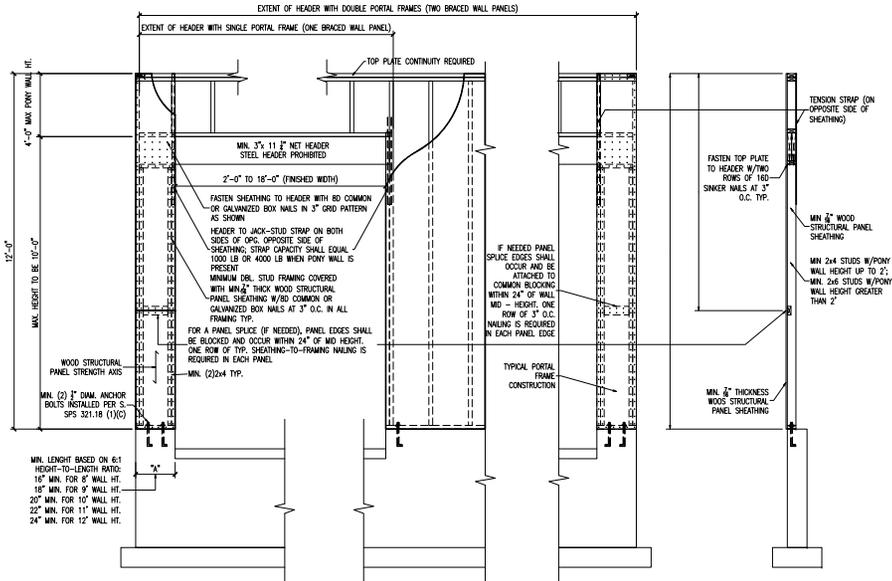


FIREPLACE R.O. DETAIL
SCALE: 1/2" = 1'-0"

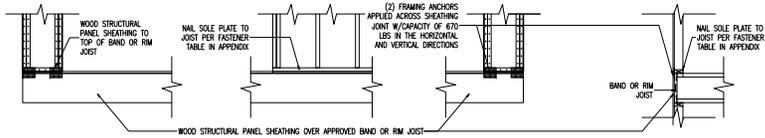


FIREPLACE DETAIL "E"
SCALE: 1/2" = 1'-0"

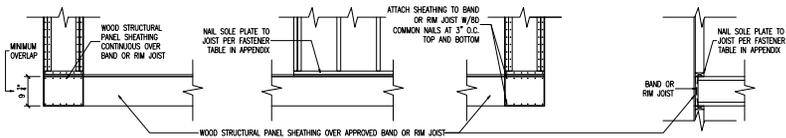
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
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OVER CONCRETE WALL



OVER RAISED WOOD FLOOR OR SECOND FLOOR - FRAMING ANCHOR OPTION



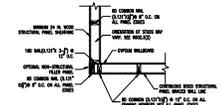
OVER RAISED WOOD FLOOR OR SECOND FLOOR - WOOD STRUCTURAL PANEL OVERLAP OPTION

CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING AND EXTENDED HEADERS SHP REV.6/19/2014

4 PORTAL FRAME DETAIL (PF)

SCALE: 1/2" = 1'-0"

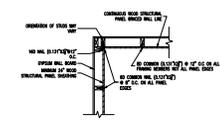
CODE REFERENCES
WISCONSIN UNIFORM BUILDING CODE (ONE AND TWO STORY DWELLINGS) Comm 21.25-K
2007 INTERNATIONAL RESIDENTIAL BUILDING CODE SUPPLEMENT R902.10.4.6
REFERENCE TABLE TO RIGHT FOR TENSION STRAP CAPACITY REQUIRED FOR RESISTING WIND PRESSURES PERPENDICULAR TO 6:1 ASPECT RATIO
WALLS
REFERENCE TABLE TO RIGHT FOR MAXIMUM PONY WALL HEIGHT, MAXIMUM WALL HEIGHT AND MAXIMUM OPENING WIDTH (FINISHED)



OUTSIDE CORNER DETAIL SHP REV. 4/28/09

BRACE PANEL DETAIL

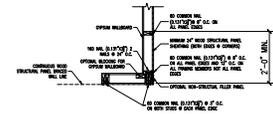
SCALE: 1/2" = 1'-0"



INSIDE CORNER DETAIL SHP REV. 4/28/09

BRACE PANEL DETAIL

SCALE: 1/2" = 1'-0"

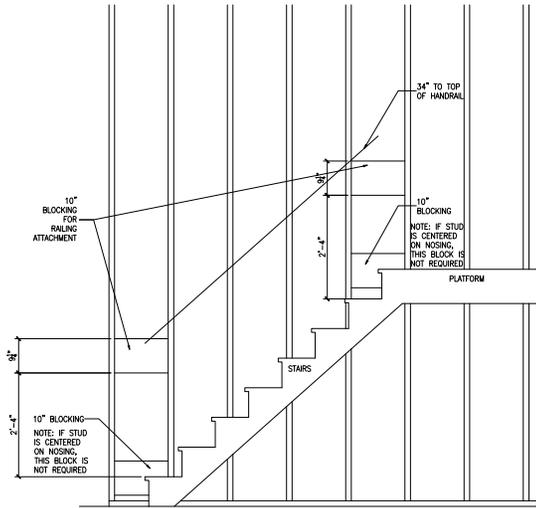


GARAGE CORNER DETAIL SHP REV. 4/28/09

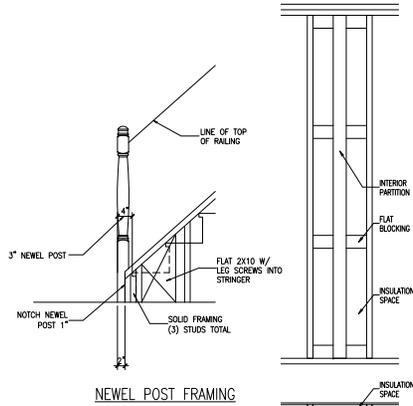
BRACE PANEL DETAIL

SCALE: 1/2" = 1'-0"

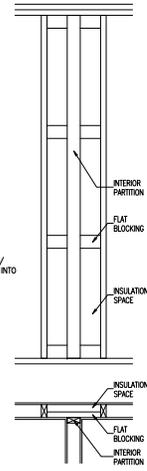
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
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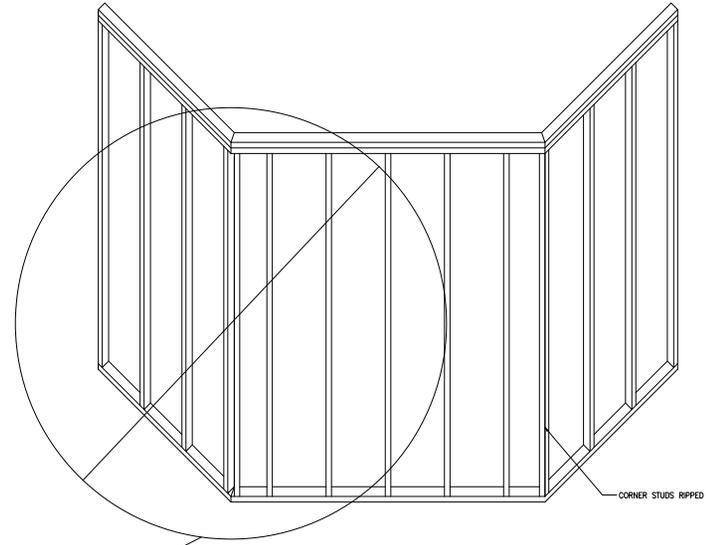
STAIR BLOCKING DETAIL



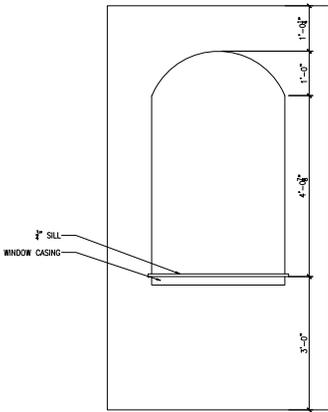
NEWEL POST FRAMING



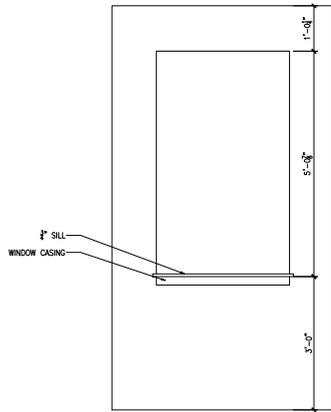
PARTITION TO EXTERIOR WALL CONNECTION
SCALE: 2" = 1'-0"



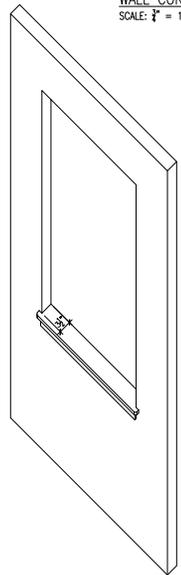
45 DEGREE ANGLE - CORNER FRAMING DETAIL



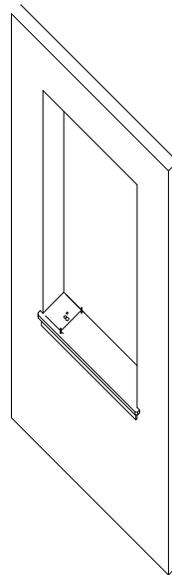
ART NICHE PROFILE - OPT. ARCH



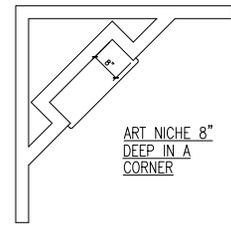
ART NICHE PROFILE



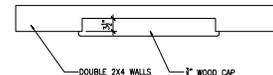
ART NICHE 3 1/2" DEEP AXON



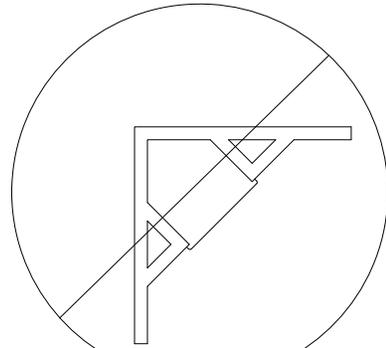
ART NICHE 8" DEEP AXON



ART NICHE 8" DEEP IN A CORNER

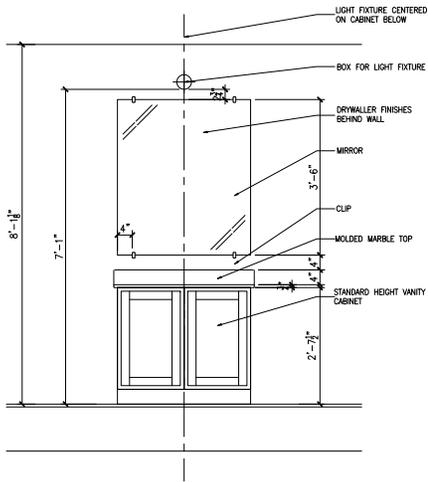


ART NICHE 3.5" DEEP IN A DOUBLE 2X4 WALL

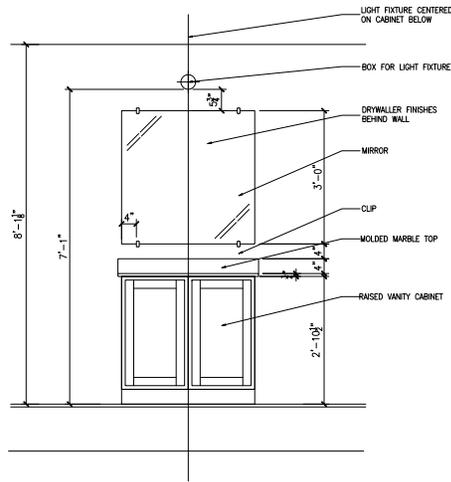


NOTE: NO POINTED ART NICHE IN CORNERS

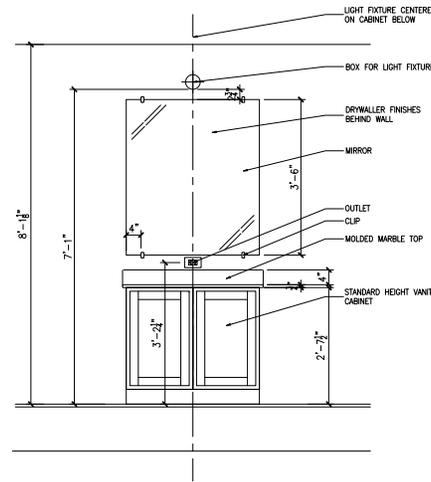
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
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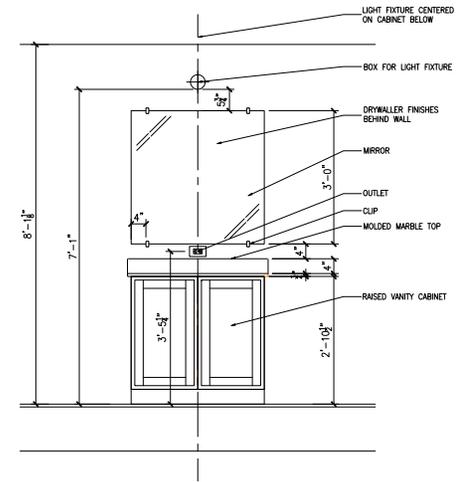
STANDARD HEIGHT VANITY
CABINET INSTALLATION
SCALE: 3/8" = 1'-0"



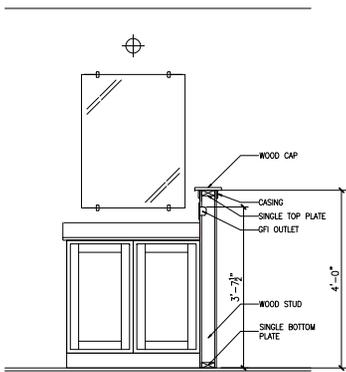
RAISED HEIGHT VANITY
CABINET INSTALLATION
SCALE: 3/8" = 1'-0"



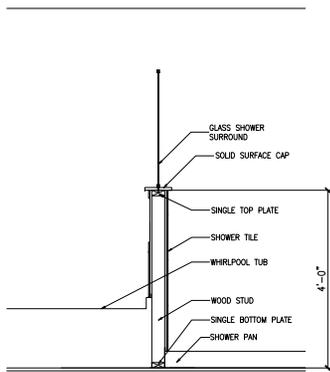
STANDARD HEIGHT VANITY CABINET
WITH DUPLEX OUTLET INSTALLATION
SCALE: 3/8" = 1'-0"



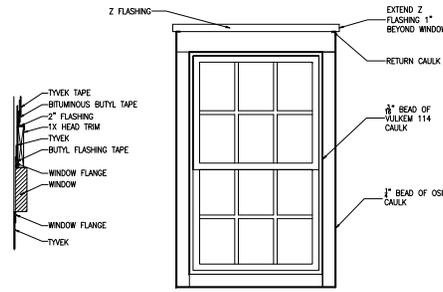
RAISED HEIGHT VANITY CABINET
WITH DUPLEX OUTLET INSTALLATION
SCALE: 3/8" = 1'-0"



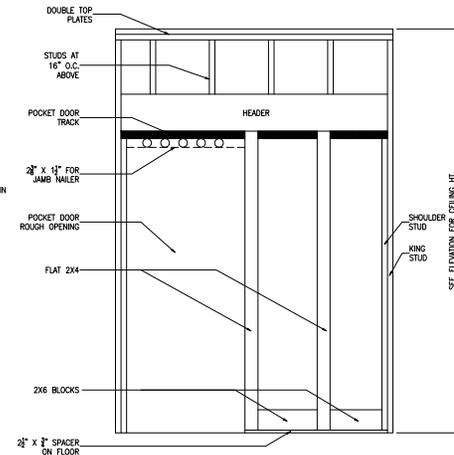
STANDARD HALF WALL IN BATHROOM
(SINGLE TOP PLATE)
SCALE: 3/8" = 1'-0"



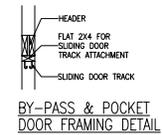
STANDARD HALF WALL IN BATHROOM
W/GLASS ON TOP
SCALE: 3/8" = 1'-0"



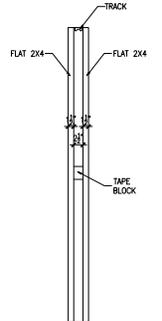
TYPICAL WINDOW INSTALLATION
SCALE: 3/8" = 1'-0"



2X6 WALL - POCKET DOOR R.O. DETAIL
SCALE: 3/8" = 1'-0"

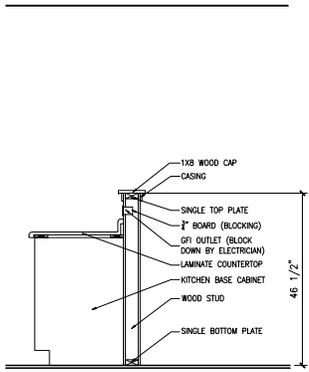


BY-PASS & POCKET
DOOR FRAMING DETAIL

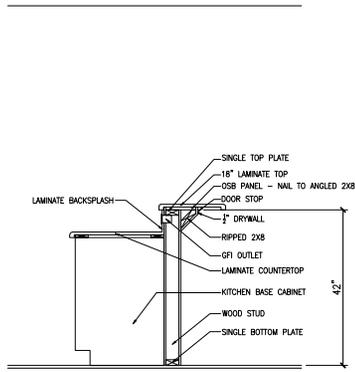


2X6 WALL -
POCKET DOOR R.O.
SECTION

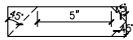
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
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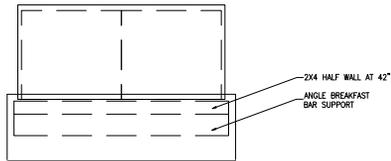
STANDARD KITCHEN HALF WALL
SCALE: 1/4" = 1'-0"



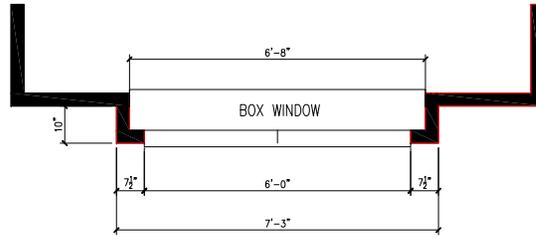
RAISED 18" BREAKFAST BAR OVER HALF WALL
(NEW DETAIL)
SCALE: 1/4" = 1'-0"



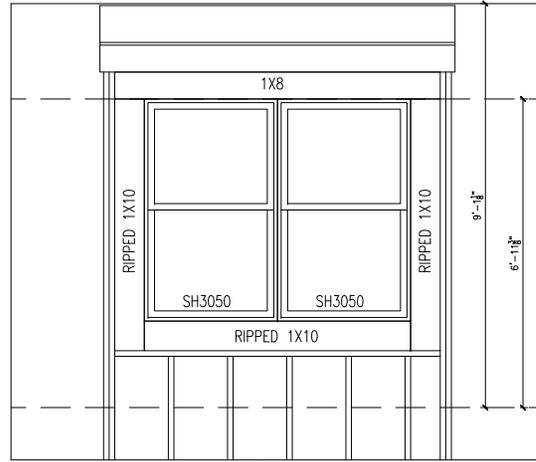
2X8 SECTION PROFILE



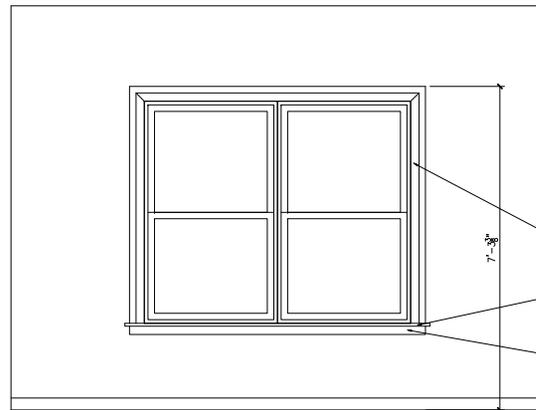
RAISED 18" BREAKFAST BAR
OVER HALF WALL (NEW DETAIL)
PLAN VIEW



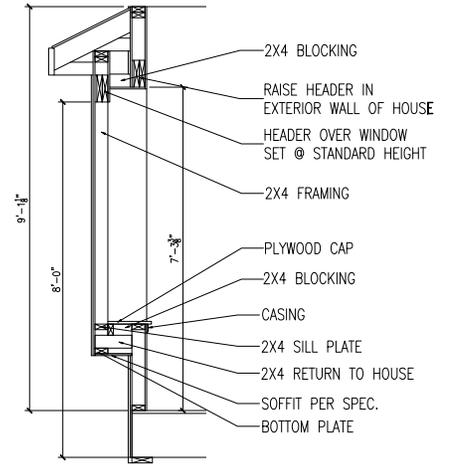
TOP VIEW



EXTERIOR VIEW



INTERIOR VIEW



SECTION DETAIL

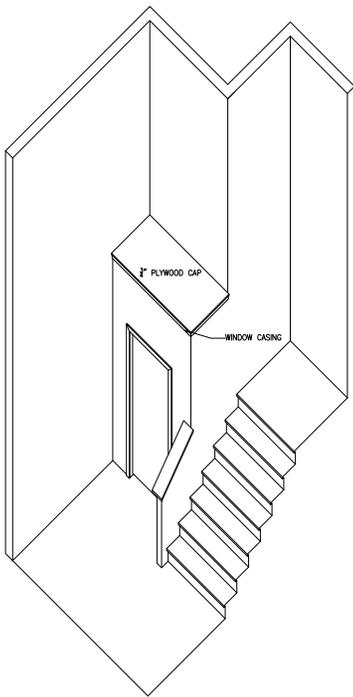
BOX WINDOW DETAILS
SCALE: 1/4" = 1'-0"

OPT. CASING,
STANDARD DRYWALL RETURN
ON TOP AND SIDES

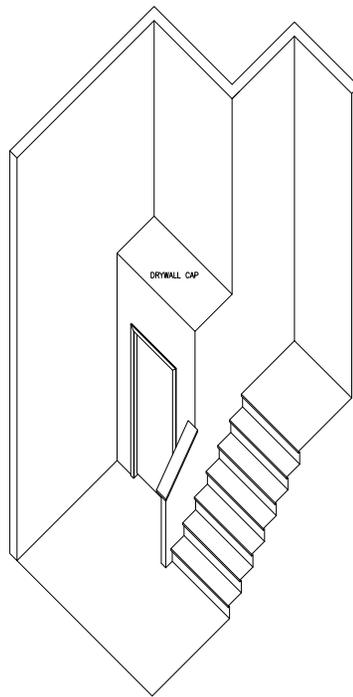
SILL

CASING

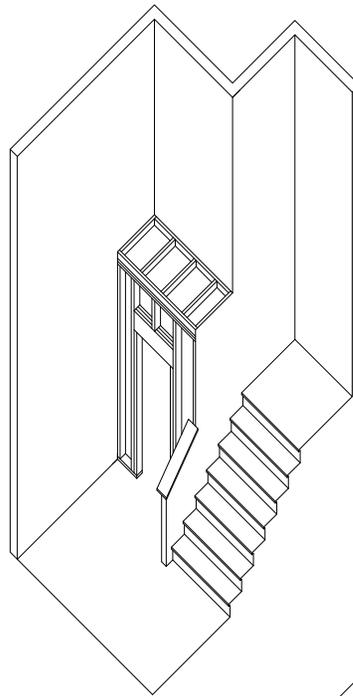
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
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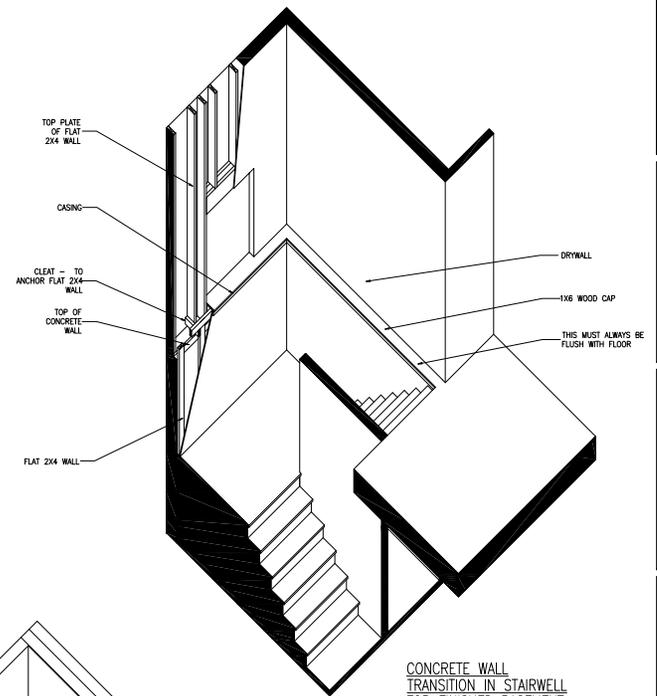
PLANT SHELF (WOOD CAP) OPT.



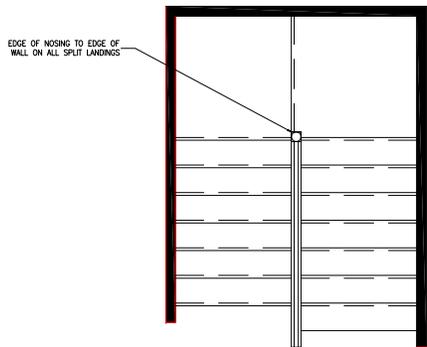
PLANT SHELF (DRYWALL CAP) STANDARD



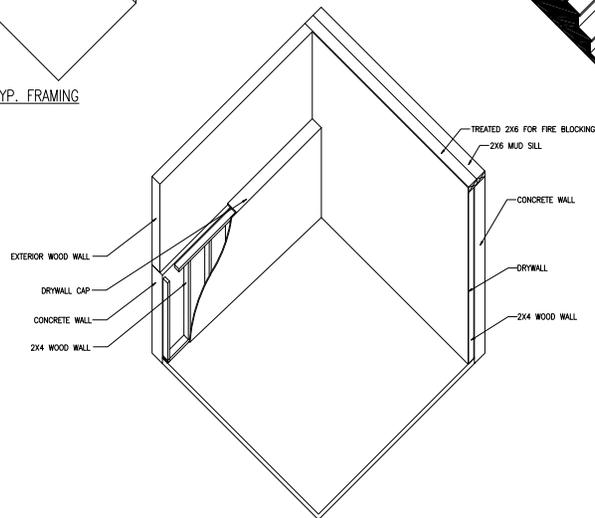
PLANT SHELF TYP. FRAMING



CONCRETE WALL TRANSITION IN STAIRWELL FOR FINISHED BASEMENT STAIRCASE

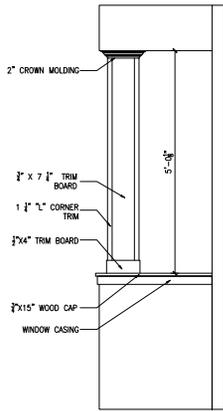
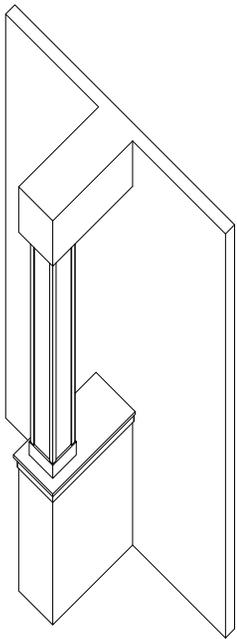


SPLIT LANDING LOCATION

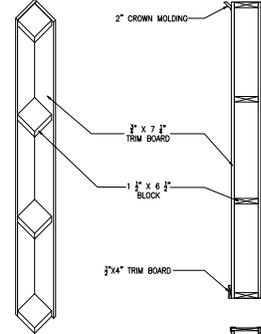
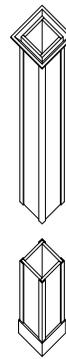
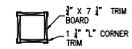
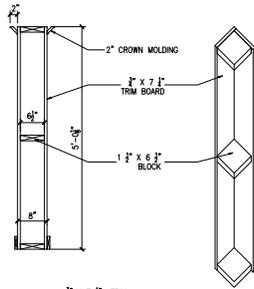


FINISHED BASEMENT LOOKOUT WALL

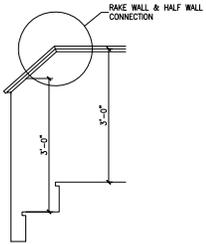
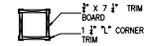
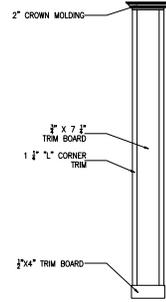
NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1				
2				
3				
4				
5				



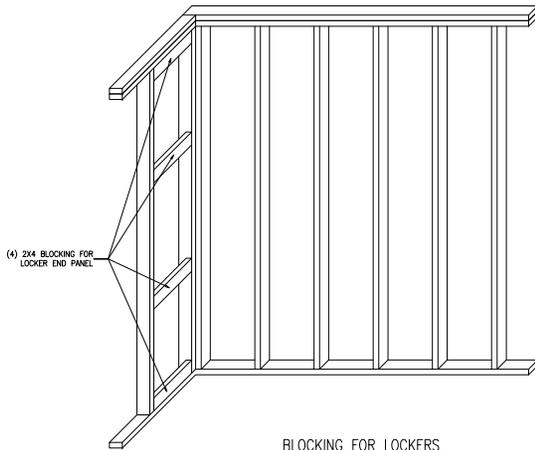
INTERIOR (HALF)
COLUMN DETAILS



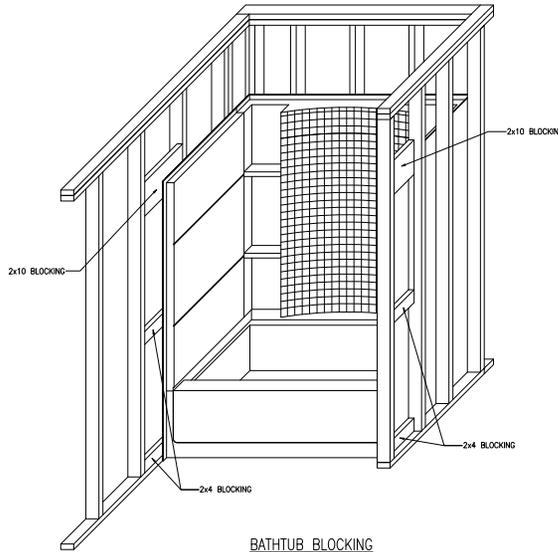
INTERIOR (FULL)
COLUMN DETAILS



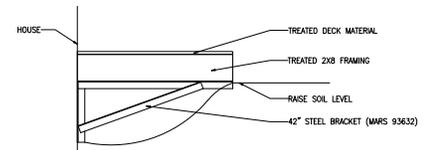
RAKE WALL & HALF
WALL CONNECTION



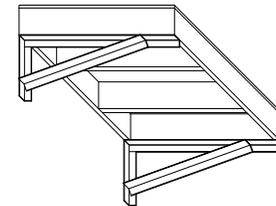
BLOCKING FOR LOCKERS



BATHTUB BLOCKING



42"X42" SINGLE DOOR
PLATFORM (REAR DOOR)



42"X42" SINGLE DOOR
PLATFORM (REAR DOOR)

NO.	DATE	DESCRIPTION OF REVISION	BY	ISSUE DATE
1				
2				
3				
4				
5				

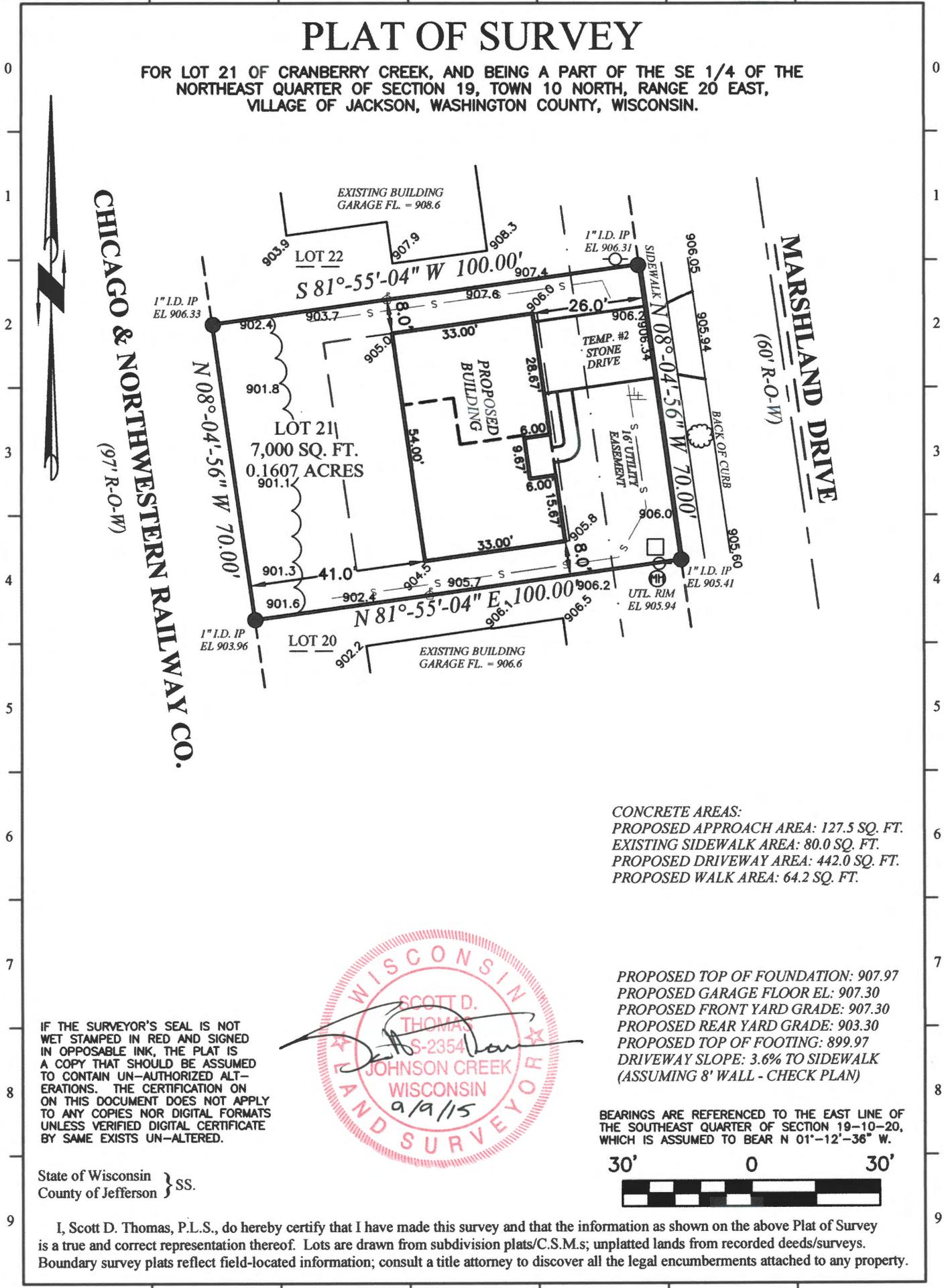
HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305

A B C D E F G

PLAT OF SURVEY

FOR LOT 21 OF CRANBERRY CREEK, AND BEING A PART OF THE SE 1/4 OF THE NORTHEAST QUARTER OF SECTION 19, TOWN 10 NORTH, RANGE 20 EAST, VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.



CONCRETE AREAS:
 PROPOSED APPROACH AREA: 127.5 SQ. FT.
 EXISTING SIDEWALK AREA: 80.0 SQ. FT.
 PROPOSED DRIVEWAY AREA: 442.0 SQ. FT.
 PROPOSED WALK AREA: 64.2 SQ. FT.

PROPOSED TOP OF FOUNDATION: 907.97
 PROPOSED GARAGE FLOOR EL: 907.30
 PROPOSED FRONT YARD GRADE: 907.30
 PROPOSED REAR YARD GRADE: 903.30
 PROPOSED TOP OF FOOTING: 899.97
 DRIVEWAY SLOPE: 3.6% TO SIDEWALK
 (ASSUMING 8' WALL - CHECK PLAN)

BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 19-10-20, WHICH IS ASSUMED TO BEAR N 01°-12'-36" W.



IF THE SURVEYOR'S SEAL IS NOT WET STAMPED IN RED AND SIGNED IN OPPOSABLE INK, THE PLAT IS A COPY THAT SHOULD BE ASSUMED TO CONTAIN UN-AUTHORIZED ALTERATIONS. THE CERTIFICATION ON THIS DOCUMENT DOES NOT APPLY TO ANY COPIES NOR DIGITAL FORMATS UNLESS VERIFIED DIGITAL CERTIFICATE BY SAME EXISTS UN-ALTERED.



State of Wisconsin } SS.
 County of Jefferson }

I, Scott D. Thomas, P.L.S., do hereby certify that I have made this survey and that the information as shown on the above Plat of Survey is a true and correct representation thereof. Lots are drawn from subdivision plats/C.S.M.s; unplatted lands from recorded deeds/surveys. Boundary survey plats reflect field-located information; consult a title attorney to discover all the legal encumbrances attached to any property.

NOTE: EXCAVATOR AND MASON MUST VERIFY AT LEAST TWO BENCHMARKS SHOWN ABOVE.

LEGEND: These standard symbols may be found in the drawing.

- Lot Corner (Found) w/desc.
- Elec. Trans. Box
- ⊕ Man Hole
- Utility Pedestal
- ⊗ Water Valve
- ⊥ Lateral End
- ⊕ 8' Offset
- ⊙ Hardwood Tree
- · — Platted Easement Boundary
- — — Platted Setback Line
- s — Proposed Silt Fence
- ~ Treeline

PROJECT: 46-021

BUILDER: Tim O'Brien Homes
 N27 W24075 Paul Ct.
 Suite 100
 Pewaukee, WI 53072
 Ph: (262) 542-5750
 Fax: (262) 542-9780

STAFF REVIEW COMMENTS
Plan Commission Meeting – December 3, 2015

1. *Planned Unit Development Amendment – Construction of Oversized Garage, Marshland Drive.*

Building Inspection

- This submittal is here before the Board due to the size of the garage. Per Village Code, no garage shall exceed 720 Sq. ft. unless receiving Village Board Approval. This garage is actually 796 Sq. ft.
- The house and enlarged garage meets all PUD setbacks and fits in with the adjoining residential properties. This will allow for the camper and vintage car to be stored inside the structure and not outside.
- Recommend approval.

Public Works/Engineering

- No additional comments.

Police Department

- No comments.

Fire Department

- No comments.

Administrative/Planning

- The Village has allowed reasonable requests such as this before.
- Recommend approval.