

**Agenda**  
**Village Board Meeting**  
**Tuesday, November 11, 2014 at 7:30 p.m.**  
**Jackson Village Hall**  
**N168W20733 Main St**  
**Jackson, WI 53037**

1. Call to Order and Roll Call.
2. Pledge of Allegiance.
3. Approval of Minutes for the Village Board Meetings of October 14, 2014, and November 5, 2014.
4. Any Village Citizen Comment on an Agenda Item (Please sign in).
5. Public Hearing - Conditional Use – Oversized Shed - Jerry Warner, Linden Circle.
6. Public Hearing – Conditional Use – Refractory Service, Inc.- Sign and Building Use, Northwest Passage.
7. Public Hearing – Planned Unit Development Amendment – Poblocki Sign Company LLC, Children’s Hospital of Wisconsin – Sign at Prairie View Lane.
8. Public Hearing - Planned Unit Development –Cranberry Creek Estates – 60 Unit Multi-family.
9. Premier Cranberry Jackson LLC – Development Agreement.
10. Resolution 14-12 A Resolution in Recognition of Kelly Valentino, Recipient of Professional Award of Merit, Wisconsin Park & Recreation Association.
11. Budget & Finance Committee.
  - Pay Request #1 – Digester Improvement Project – Sabel Mechanical, LLC.
  - Purchase of IPMC Scada Software for WWTP – Intellisys Proposal.
  - Sweet Water financial support request.
  - Gym and Dance Floor Resurfacing, Lining and Volleyball Courts.
  - Community Center Electric Hand Dryers.
  - Price Reduction of EMS Service Invoice – Brett Bowlus.
  - Replacement of Ambulance 1250.
12. Licenses.
  - Entertainment License.  
Kelly Valentino for Jackson Jt. Parks & Recreation .

- Operator Licenses.  
Main Street Mart: Melissa Huttner  
Village Mart: Mariah Wimer  
East Side Mart: Melissa Wise, Amanda Hodges  
Walgreens: Steven Obenberger  
Jackson Pub: Gregory Kitner

13. Board of Public Works Committee.

- Ordinance 14-03, Creating of Chapter 15.06 (F) Dumping of Material on Private Land.

14. Plan Commission Recommendations.

- Concept Plan – Relocation of ABC Supply Company – From Eagle Drive to Alcan Court.
- Conceptual Plan – Cedar Creek Motor Sports – Delaney Court.
- Certified Survey Map – Adjust Boundary Lines – Donna Spaeth, Main Street.

15. Community Center Park & Recreation Village / Town Agreement Update.

16. Ad-Hoc Committee Report.

17. Washington County Board Report.

-Washington County Radio System Enhancement-Municipal Commitment.

18. Joint Planning Group Report.

19. West Bend School District Liaison Report.

20. Greater Jackson Business Alliance Report.

21. Mid-Moraine Legislative Committee/Mid-Moraine Municipal Report.

22. Citizens to Address the Village Board.

23. Closed session pursuant to Wis. Stats. § 19.85(1)(e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session. The topics are matters relating to the Village-Town Revenue Sharing Agreement and Cooperative Boundary Plan.

Reconvene Into Open Session.

24. Adjourn.

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

## **DRAFT MINUTES**

### **Village Board Meeting**

**Tuesday, October 14, 2014 at 7:30 pm**

**Jackson Village Hall**

**N168W20733 Main St**

**Jackson, WI 53037**

#### **1. Call to Order and Roll Call.**

President Wendy Kannenberg called the meeting to order at 7:30 p.m.

Members Present: Pres. Kannenberg, Trustee Kruepke, Trustee Kufahl, Trustee Mittelsteadt, Trustee Lippold, Trustee Emmrich, and Trustee Olson.

Members Absent:

Staff present: Brian Kober, Jim Micech, Chief Jed Dolnik, Chief John Skodinski, Kelly Valentino, and John Walther.

#### **2. Pledge of Allegiance.**

President Kannenberg led the assembly in the Pledge of Allegiance.

#### **3. Approval of Minutes for the Village Board Meetings of September 9, 2014, September 16, 2014, and September 30, 2014.**

Motion by Tr. Mittelsteadt, second by Tr. Lippold to approve the minutes of September 9, 2014, September 16, 2014, and September 30, 2014.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

#### **4. Any Village Citizen Comment on an Agenda Item.**

None.

#### **5. Public Hearing – Conditional Use – Jamie Murray – English Oaks – Request for 3 dogs.**

President Kannenberg opened the Public Hearing. There were no comments. President Kannenberg closed the Public Hearing. The item came out of the Plan Commission with Recommendation per Staff Comments. Jamie Murray was in attendance. She had received staff comments.

Motion by Tr. Emmrich, second by Tr. Lippold to Approve the Conditional Use – Jamie Murray – English Oaks – Request for 3 dogs.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

#### **6. Budget & Finance Committee Recommendations.**

##### **Review of Well #1 Inspection Proposals.**

Brian Kober presented information on the item. The Board of Public Works and Budget and Finance Committee recommended Water Well Solutions in an amount of \$3,925, plus \$925 for the video survey.

Motion by Tr. Olson, second by Tr. Kufahl to Approve Water Well Solutions in an amount of \$3,925, plus \$925 for the video survey.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

**Engineering Georgetown Drive Construction Project.**

Brian Kober presented information on the item. The Budget and Finance Committee recommended GAI Consultants, in the amount of \$31,640 plus incidentals.

Motion by Tr. Kufahl, second by Tr. Kufahl to Approve GAI Consultants, in the amount of \$31,640 plus incidentals.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

**Purchase of Police Department Squad Using Unexpended 2014 Funds.**

Chief Dolnick presented information on the item. The price of the vehicle is based on the state pricing. This will replace the Chief's squad car. His current impala will go to the Village Hall. This item was passed from the Budget and Finance committee without recommendation. Motion by Tr. Mittelsteadt, second by Tr. Kruepke to Approve the Purchase of the Police Squad using unexpended 2014 funds in an amount not to exceed \$22,723.

Vote: 7 ayes, 2 nays. Pres. Kannenberg and Tr. Emmrich voted no. Motion carried 5-2.

**Purchase of Fire Department Administrative Vehicle.**

Chief Skodinski presented information on the item. This is a multi-purpose vehicle. This item was passed from the Budget and Finance committee without recommendation. The Mini Van will still be used. Motion by Tr. Kufahl, second by Tr. Lippold to Approve the Purchase of the Fire Department Administrative Vehicle.

Vote: 6 ayes, 1 nays. Tr. Olson voted no. Motion carried 6-1.

**Washington County Convention & Visitors Bureau – Elaine Motl.**

Elaine Motl gave an informative presentation on the item.

Motion by Tr. Mittelsteadt, second by Tr. Lippold to Approve \$4,000 for Washington County Convention & Visitors Bureau with the 2015 budget.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

**7. Licenses.**

- Operator Licenses.  
Walgreens: Dipti Patel, Desmond Robinson  
Village Mart: Curtis Seizer, Jennifer Miner  
Main Street Mart: Allyson LaBarbera, David Pope

Motion by Tr. Kufahl, second by Tr. Olson to Approve the Operator Licenses.

Vote: 6 ayes, 0 nays, 1 abstain. Tr. Kruepke abstained. Motion carried unanimously.

**8. Amendment to the List of Election Officials.**

Deanna Boldrey reported on the item. There are additional workers that are needed for the upcoming November 2014 election.

Motion by Tr. Mittelsteadt, second by Tr. Emmrich to Approve the Amendment of to the List of Election Officials.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

**9. Board of Public Works Committee.**

Ordinance 14-03, Creating of Chapter 15.06 (F) Dumping of Material on Private Land.

Motion by Tr. Emmrich, second by Tr. Olson to Introduce Ordinance 14-03, Creating of Chapter 15.06 (F) Dumping of Material on Private Land.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

**10. Plan Commission Recommendations.**

**Concept Plan – Construction of Coffeehouse/Café – Main Street.**

Jack Kulwowski was present. He plans to open in August of 2015. The item came from the Plan Commission with recommendation.

Motion by Tr. Mittelsteadt, second by Tr. Kufahl to Approve the Concept Plan – Construction of Coffeehouse/Café – Main Street, per staff comments.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

**11. Community Center Park & Recreation Village / Town Agreement Update.**

No Report.

**12. Ad-Hoc Committee Report.**

No report.

**13. Washington County Board Reports.**

**-Washington County Radio System Enhancement – Municipal Commitment.**

John Walther reported that Washington County is planning to upgrade or enhance the system. More information will come as to what Washington County is looking for. This is a larger radio with a longer antenna. It will be \$3,700 to trade in per radio.

**14. Joint Planning Group Report.**

The next meeting for Thursday of this week has been cancelled. Last month the Revenue Sharing and Cooperative Boundary Agreement were discussed.

**15. West Bend School District Liaison Report.**

Pres. Kannenberg reported that an agreement was reached with the County, the City of West Bend, and the school district to put in a sidewalk from Sand Drive to the High School. Saturday there was an Open House at Silver Brook

**16. Greater Jackson Business Alliance Report.**

Tr. Mittelsteadt reported that the next membership meeting will be on October 15<sup>th</sup>, 2014. This will be held at the Community Center. A CPA will be there to discuss End of Year Accounting.

**17. Mid-Moraine Legislative Committee/Mid-Moraine Municipal Report.**

The Mid-Moraine Legislative Meeting was on October 8. Creative ideas on sharing credits on phosphorus limits.

**18. Citizens to Address the Village Board.**

Attorney St. Peters commented that the board is here to listen and take notes. The board cannot engage in discussion with the speakers.

The gallery was full and into the hallway.

Winter Hess of Twin Creeks spoke to the board. He commented that he represents a group of Town of Jackson Property owners in Twin Creeks, Hidden Creeks, and Sherman Parc. He commented on the Revenue Sharing and Cooperative Boundary Agreement. He represents a group that want to challenge the agreement. He read a prepared statement.

Bob Seidel of Creekwood Circle spoke to the board. He commented that he represents people that oppose the boundary agreement.

Tom Snyder of Creekwood Circle spoke to the board. He commented on the Revenue Sharing and Cooperative Boundary Agreement. He spoke against the agreement.

Michael Nasif of Brookside Drive spoke to the board. He commented on the Agreement between the Town of West Bend and the City of West Bend. He spoke against the Revenue Sharing and Cooperative Boundary Agreement.

Bill Saari of Hidden Creek spoke to the board. He commented on decided to live in the Town and the differences between the Village and Town. He spoke against the Revenue Sharing and Cooperative Boundary Agreement.

- 19.** Closed session pursuant to Wis. Stats. § 19.85(1)(e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session. The topics are matters relating to the Village-Town Revenue Sharing Agreement and Cooperative Boundary Plan.

Motion by Tr. Mittelsteadt, second by Tr. Olson to convene into closed session at 8:45 p.m. pursuant to Closed session pursuant to Wis. Stats. § 19.85(1)(e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session. The topics are matters relating to the Village-Town Revenue Sharing Agreement and Cooperative Boundary Plan. The closed session included the Village Board, John Walther, Deanna Boldrey, Brian Kober, and Attorney John St. Peter. Roll Call Vote Carried 7 to 0. Motion carried unanimously.

Reconvene into open session with Possible Action.  
There was no action.

**20. Adjourn.**

Motion by Tr. Mittelsteadt, second by Tr. Olson to adjourn at 9:40 p.m.  
Vote: 7 ayes, 0 nays. Motion carried unanimously.

Respectfully submitted by Deanna L. Boldrey, Clerk/Treasurer

## **DRAFT Minutes**

### **Special Village Board / Budget & Finance Budget Workshop Meeting**

**Wednesday, November 5, 2014 at 7:00 P.M.**

**Jackson Village Hall**

**N168 W20733 Main Street**

#### **1. Call To Order & Roll Call**

President Kannenberg called the meeting to order at 7:00 pm.

Members present: Trustee Olson, Trustee Lippold, Trustee Mittelsteadt, Trustee Kruepke, and Trustee Kufahl.

Members absent: Tr. Emmrich.

Staff present: John Walther, Chief Jed Dolnick, Jim Micech, Chief John Skodinski.

#### **2. 2015 Proposed Budget – Discussion with Possible Action.**

##### **All Departments.**

John Walther presented the final draft of the 2015 budget. He explained the changes from the previous draft. The squad car and sandpro were moved to the capital improvements. In addition, the contingency line item was increased. This keeps with the 8.33 mill rate. Tr. Olson commented that he would like to see a separate list of changes with the attachment. In addition, Tr. Olson commented that the board needs to keep united and working forward. Pres. Kannenberg questioned the Park & Rec. contingency item.

Discussion of the 2015 budget ensued. Motion by Tr. Olson, second by Tr. Mittelsteadt, to send the 2015 Budget to Public Hearing to be held on December 1, 2014.

Vote: 6 ayes, 0 nays. Motion carried unanimously.

#### **3. Adjourn.**

Motion by Tr. Kufahl, second by Tr. Olson to adjourn at 7:32 p.m.

Vote: 6 ayes, 0 nays. Motion carried unanimously.

Respectfully submitted by Deanna L. Boldrey, Clerk/Treasurer

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
**(Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)**

Name of Applicant Jerry Warner  
 Contact Jerry Warner Address/ZIP W198 N116433 Linden Circle/52037 Phone # 262-677-0305 or 914-477-9171  
 E-mail Address raccofish@aol.com Fax # where Agenda/Staff comments are to be faxed \_\_\_\_\_  
 Name of Owner Jerry Warner Address/ZIP W198 N116433 Linden Circle Phone# see Above  
 Owner Representative/Developer \_\_\_\_\_  
 Proposed Use of Site Adding a Shed to back yard Present Zoning Residential

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages) 2) Describe what you intend to do (paragraph)		XXX XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') 4) Owner acknowledgment of the request	labels 1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement 6) Location Map		XXX XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan 8) Preliminary Plat		XXX XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat 10) Certified survey Map		XXX XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition 12) Annexation Map	1	XXX XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan 14) Landscape Plan	4 (24x36)	XXX XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure		XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan 16) Water / Sewer / Storm Sewer Plans	4 (24x36) 4 (24x36)	XXX XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections 18) Erosion Control Plan	4 (24x36) 4 (24x36)	XXX XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials 20) Developers Agreement 21) Annexation Agreement (includes pre-annex agreements)		XXX XXX XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Jerry Warner Signature Jerry Warner Date 10-2-14

Office Use: Date Received 10/13/14 Date Paid 10/3/14 Receipt # 1504 33 Amount Paid \$ 150.<sup>00</sup>  
10/9/14

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development    Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a     Special Use     Conditional Use     Planned Unit Development

Permit to:

Name of Business/Applicant: Jerry Warner

For a property located at (address): W198 N16433 Linden Circle / Jackson 53037

Phone number of Business/Applicant: 262-677-0305 or 414-477-9171 (cell)

For (land use, activity, sign, site plan, other): 14' x 26' Shed for storage of Boat, Snowmobiles, garden tractor, plow blade, grader blade, bicycles, Sporting goods equipment, lawn furniture, Antique furniture, etc.

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): none

Hours of Operation: N/A

Comprehensive/Master Plan Compatibility: \_\_\_\_\_

Building Materials (type, color): Either wood, Aluminum, or vinyl siding. probably tan or brown in color to match into the wooded area. Either a brown or green roof. (It will look nice)

Setbacks from rights-of-way and property lines: over 10' away from the rear property line. most likely will be a little more.

Screening/Buffering: Shed will be nestled into a wooded area (near evergreen trees)

Landscape Plan (sizes, species, location): N/A

Signing (dimensions, colors, lighting, location): N/A

Lighting (wattage, style, pole location and height, coverage): N/A

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s)), (sidewalk/pedestrian way width and material): N/A

Storm-water Management: N/A

Erosion Control: \_\_\_\_\_

Fire Hydrant Location(s): N/A

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: N/A

Hazardous Material Storage: NONE

Alarm Systems: NONE

Site Features/Constraints: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Parking (no. of spaces, handicapped parking, and dimensions): N/A

Tree and shrub preservation: MINIMUM IMPACT

Setbacks/height limitations: I will conform to village code

Wastewater Usage Projected: ∅ gal/year      Water Usage Projected: ∅ gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):  
continuous and reviewed upon complaint

## TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_ Over the Counter \_\_\_\_\_ Date \_\_\_\_\_

Jerry Warner  
Jerry Warner, Owner

Please print name

\_\_\_\_\_  
John M. Walther, Administrator

# **Letter of Intent**

October 2, 2014

Hello,

I am requesting permission to build a barn-style (or similar) shed with dimensions of 14 feet wide x 26 feet deep. I plan to store my boat, snowmobiles, garden tractor, snow blower, lawn mower, outdoor furniture, bicycles, antique furniture, truck cap, garden tools, wheel barrow, sporting goods equipment, snow plow blade, grader blade, etc.

I welcome any questions you may have.

Thank you for your consideration.

Sincerely,

Jerry Warner

# Impact Statement

October 2, 2014

Hello,

D) In winter: 2 cars, one pickup truck, one boat, 3 snowmobiles.

In summer: 4 cars (2 of which are collector vehicles), one pickup truck, one boat, 3 snowmobiles.

G) The shed will look aesthetically pleasing in a secluded area of my wooded 1 acre lot. I feel I have chosen a spot for it that is far enough away from all my neighbors to minimize it being seen.

H) The proposed date for construction will be as follows:

Start in November 2014 and finish by Dec 2014, or, start in April 2014 and finish by June 2014.

I anticipate needing less than 2 months to complete. If I do it this fall (which I prefer), I will most likely purchase a pre-built (or partially pre-built) model similar to the attached photos. The build time would then be less than 1 week.

I) I see no unusual conditions.

I welcome any questions you may have.

Thank you for your consideration.

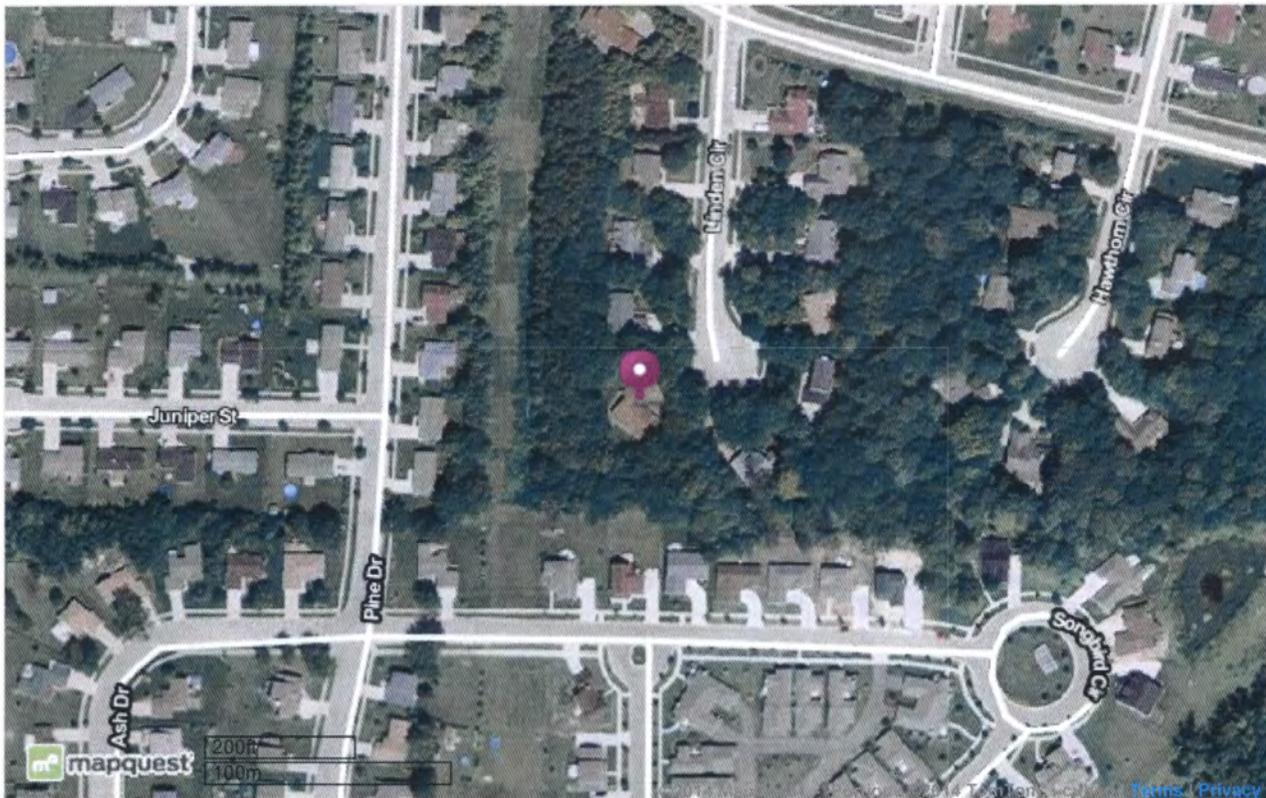
Sincerely,

Jerry Warner



Map of:  
**W198n16433 Linden Cir**  
Jackson, WI 53037-9581

Notes



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Customer in VA with their Lofted Barn





Customers in Ohio with a Side Lofted Barn



Shed to go in this area.



Shed to go in  
this area

# PLAT OF SURVEY

LEGAL DESCRIPTION: LOT 6, "PINEHURST ADDITION NO. 6"; BEING A SUBDIVISION OF A PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 20, TOWN 10 NORTH, RANGE 20 EAST, VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

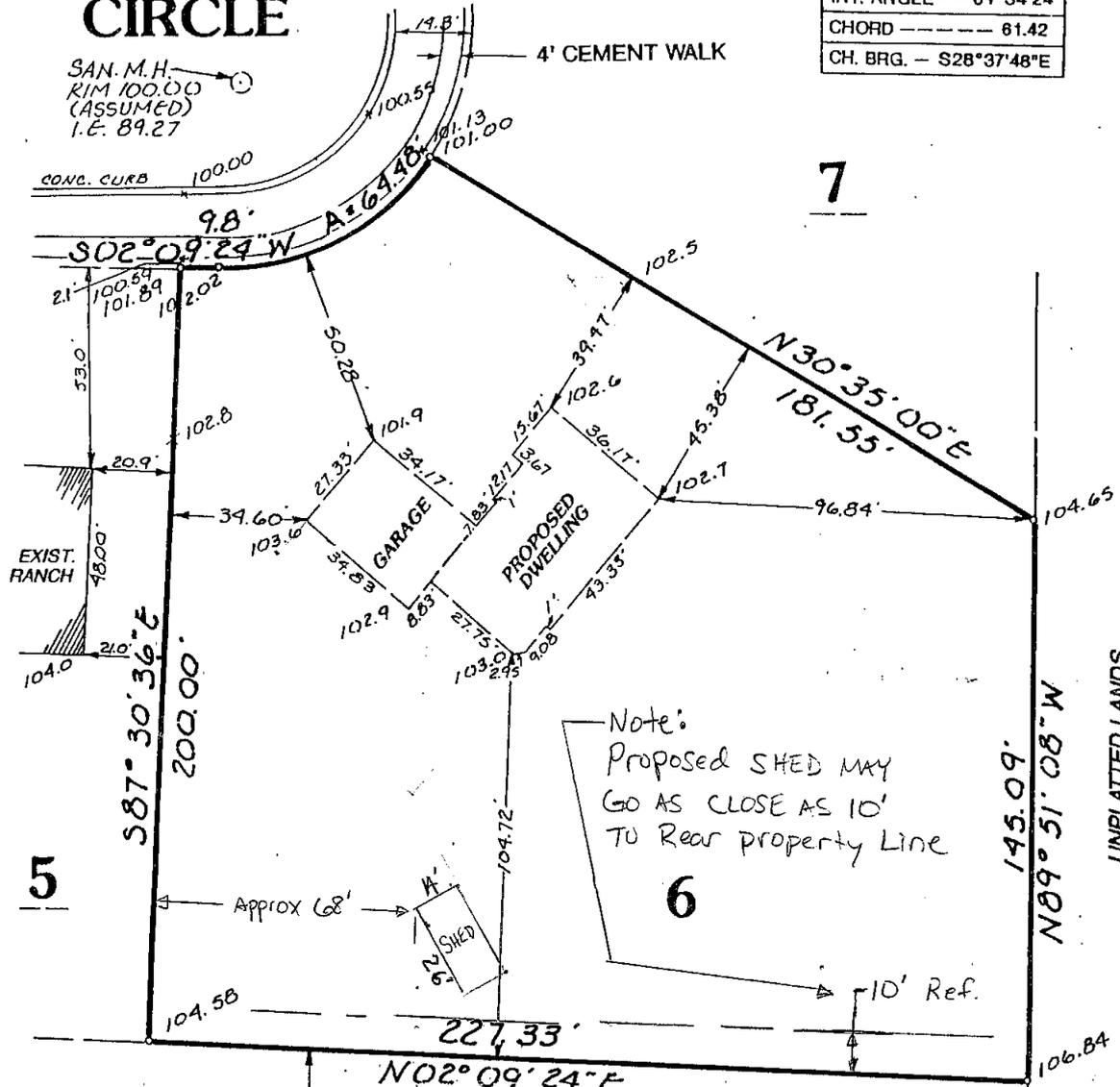


SCALE: 1" = 40'

## LINDEN CIRCLE

SAN. M.H.  
RIM 100.00  
(ASSUMED)  
I.E. 89.27

CURVE DATA	
RADIUS-----	60.00
INT. ANGLE---	61°34'24"
CHORD-----	61.42
CH. BRG. -	S28°37'48"E

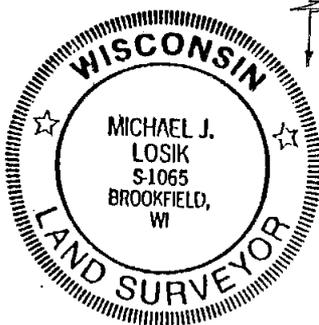


5

7

6

UNPLATTED LANDS



STATE OF WISCONSIN }  
COUNTY OF WAUKESHA } SS

I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE MAP HEREON IS A TRUE REPRESENTATION THEREOF, AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS, AND ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY.  
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE HERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED THIS 20th DAY OF JULY 1992

*[Signature]*  
LAND SURVEYOR

SURVEY PREPARED FOR:  
**BURKHOLZ CONSTRUCTION INC.**

**MICHAEL J. LOSIK & ASSOC., INC.**  
PROFESSIONAL ENGINEERS & LAND SURVEYORS  
240 REGENCY COURT, SUITE 301  
WAUKESHA, WISCONSIN 53186  
PHONE NO: (414) 784-7999

JOB NO. 92-72

169020

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
 (Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Refractory Service, Inc.  
 Contact Lance Stanwyck Address/ZIP 4201 Highway P, Jackson, WI 53037 Phone # (262) 677-6050  
 E-mail Address lstanwyck@refractoryservice.com Fax # where Agenda/Staff comments are to be faxed (262) 677-6020  
 Name of Owner LLS III, Inc. Address/ZIP 4201 Highway P, Jackson, WI 53037 Phone# (262) 677-6026  
 Owner Representative/Developer Lance Stanwyck  
 Proposed Use of Site M1 Present Zoning M1

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u>	<u>TYPE OF INFORMATION DESCRIBED</u> (See page 5)	<u>PAPER COPIES</u>	<u>CD</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	2) Describe what you intend to do (paragraph)		XXX
			3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	4) Owner acknowledgement of the request	1	
			5) Impact Statement		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	6) Location Map		XXX
			7) Development Plan / Site Plan		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,3,6,10,20	8) Preliminary Plat		XXX
			9) Final Plat		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	10) Certified survey Map		XXX
			11) Annexation Petition		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	12) Annexation Map	1	XXX
			13) Sketch Plan		XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	14) Landscape Plan	4 (24x36)	XXX
			<b>Engineering Review - Infrastructure</b>		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan	4 (24x36)	XXX
			16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections	4 (24x36)	XXX
			18) Erosion Control Plan	4 (24x36)	XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials		XXX
			20) Developers Agreement		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements)		XXX
			22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Lance L. Stanwyck Signature  Date 10/1/14  
 Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development

Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a     Special Use     Conditional Use     Planned Unit Development

Permit to:

Name of Business/Applicant: Refractory Service, Inc. / LLS III LLC

For a property located at (address): N173 W21121 Northwest Passage, Jackson, WI 53037

Phone number of Business/Applicant: (262) 677-6050

For (land use, activity, sign, site plan, other): Sign, Office Remodeling and Business Use

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): N/A

Hours of Operation: General Hours of Operation: 7:00 AM - 5:30 PM M-F and Saturday hours as needed

Comprehensive/Master Plan Compatibility: \_\_\_\_\_

Building Materials (type, color): Existing metal panels to remain SW 7017, block below will be SW 7019, block accent color will be SW 6867

Setbacks from rights-of-way and property lines: Existing

Screening/Buffering: Existing 8' chain link fence enclosure with privacy slates

Landscape Plan (sizes, species, location): Existing

Signing (dimensions, colors, lighting, location): Per attached plan set

Lighting (wattage, style, pole location and height, coverage): Existing

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): Existing

Storm-water Management: Existing

Erosion Control: No exterior work being done

Fire Hydrant Location(s): Existing

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: Know box existing by front door, emergency number's (262) 707-6035 & (262) 707-5001

Hazardous Material Storage: Misc paints and chemicals stored in fire proof cabinets and containers

Alarm Systems: Will be installed during remodeling with central station monitoring for alarm and fire.

Site Features/Constraints:

Parking (no. of spaces, handicapped parking, and dimensions): 57 & 2 ADA

Tree and shrub preservation: Existing

Setbacks/height limitations: Existing

Wastewater Usage Projected: 200,000 gal/year                      Water Usage Projected: 200,000 gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period): Continuous and reviewed upon complaint

## TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_ Over the Counter \_\_\_\_\_ Date \_\_\_\_\_



\_\_\_\_\_  
Lance L. Stanwyck, Owner  
Please print name

\_\_\_\_\_  
John M. Walther, Administrator

Applications shall be submitted by 4:00 PM of the first Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (from face of application form):

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1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: a copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
  - A. Annual water consumption estimate (100% occupancy and build-out)
  - B. Annual sewage generation estimate (100% occupancy and build-out)
  - C. Vehicle trip generation (trips per day per unit x number of units)
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  - E. Proposed sign(s) (advertising business, industry, dwelling unit)
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  - H. Proposed dates of construction and completion
  - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.)
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and Water/Sewer/Storm plans may be shown combined on this plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
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19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED  
BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO  
QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**

September 30, 2014

Village of Jackson  
P.O. Box 637  
Jackson, WI 53037

Attn: Jim Micech – Director of Building Inspection/Code Enforcement Officer

Letter of Intent for Building Permit

Jim,

It is our desire upon purchasing the property at N173 W21121 Northwest Passage to remodel the offices on said property. We will be replacing all flooring materials, installing new counter tops, ceiling tile and changing two office configurations. We will also be repainting the entire building inside and out. All permits necessary for electrical, plumbing, sprinkler, and HVAC will be applied for by those trade contractors as well.

Thank you for your consideration in this matter.

Sincerely,



Lance L. Stanwyck

September 30, 2014

Village of Jackson  
P.O. Box 637  
Jackson, WI 53037

Attn: Jim Micech – Director of Building Inspection/Code Enforcement Officer

Re: Impact Statement for N173 W21121 Northwest Passage Jackson, WI 53037

The following will be the impact of our occupancy:

- Our annual water consumption will be approximately 200,000 gallons per year.
- Our annual sewage usage will be approximately 200,000 gallons per year.
- We expect to have approximately 10 tractor-trailer delivery's per business day. With 5 – 8 delivers with our own trucks.
- We will be employing approximately 12-25 staff with each having their own vehicles. Parking on site is 57 spaces with 2 ADA spaces plus four docks.
- We currently have 5 – 8 company trucks and 4 trailers that will be stored on site behind the privacy fence in the rear of the building.
- We will be proposing two non-illuminated signs on the building per the plan set provided in the permit application. Signs will be black letters with red logo.
- Our general hours of operation are from 7:00 am to 5:30 pm Monday thru Friday.
- We are planning to start remodeling shortly after closing on the building which will be on or before October 24, 2014. We anticipate construction to take approximately 6 weeks.
- We will be storing and warehousing non-combustable refractory products. However we do have small quantities of hazardous materials that we store in OSHA compliant cabinets for that purpose. These products are under 100 gallons in quantity.
- All product storage and production will take place inside the building.

Should you have any further questions please don't hesitate to contact me directly at (262) 677-6026.

Sincerely,



Lance L. Stanwyck

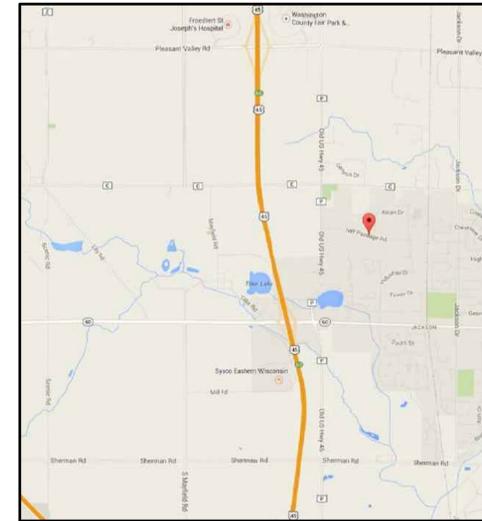
To whom it may concern:

I, Jeffrey Marble, owner of Marble, LLC am writing this letter at the request of Cost of Wisconsin, Inc. and the village of Jackson. I plan to transfer the ownership of the real estate located at W173 N21121 Northwest Passage Way in Jackson, WI to LLS III. The property is currently under contract with a closing date of no later than October 24, 2014. If there are any questions or concerns regarding this letter, please contact Jim Larkin at Colliers International at 414-276-9500.

  
\_\_\_\_\_  
Jeffrey Marble  
Marble, LLC

*SEP 30, 2014*  
\_\_\_\_\_  
Date

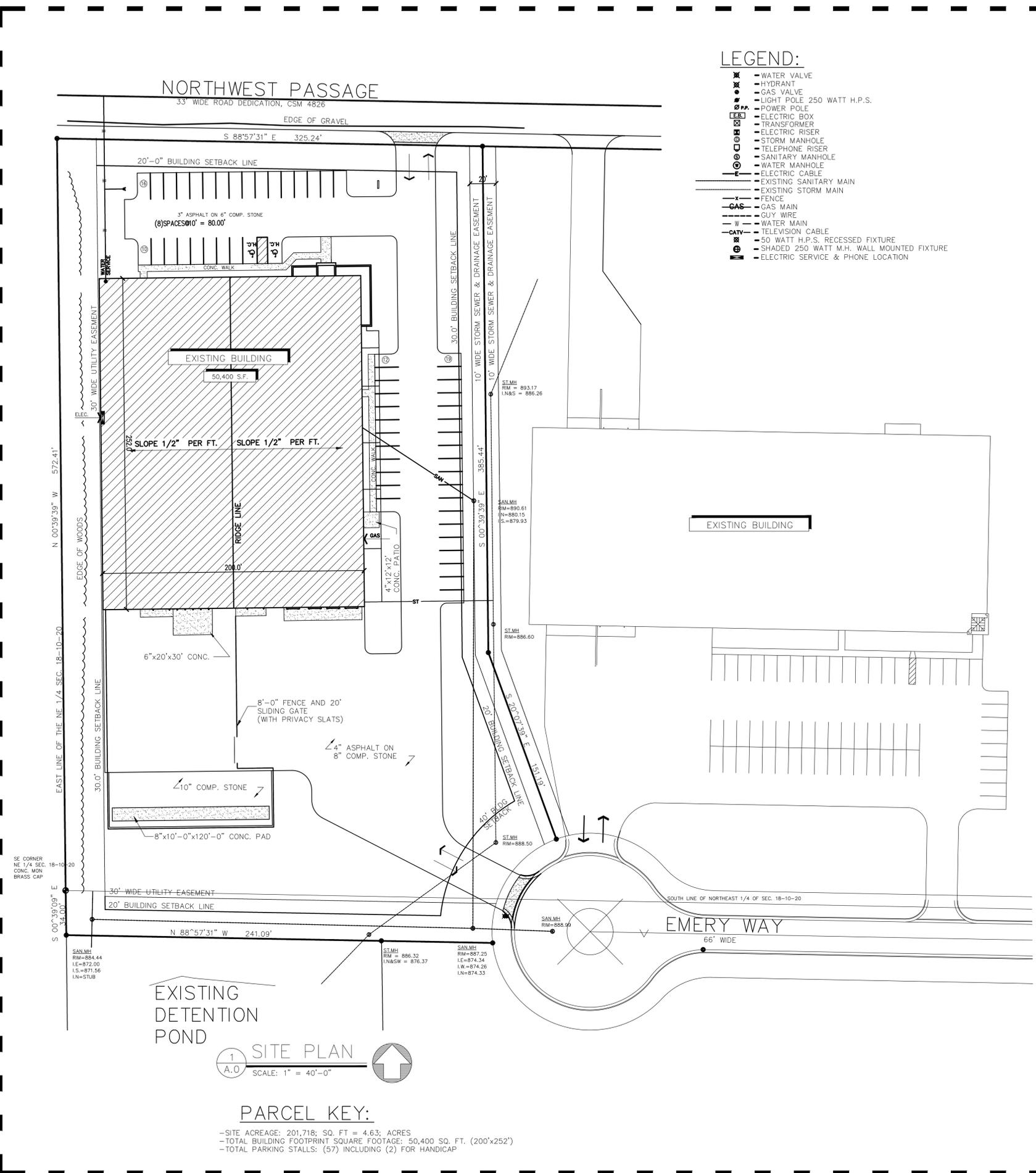
- LEGEND:**
- WATER VALVE
  - HYDRANT
  - GAS VALVE
  - LIGHT POLE 250 WATT H.P.S.
  - POWER POLE
  - ELECTRIC BOX
  - TRANSFORMER
  - ELECTRIC RISER
  - STORM MANHOLE
  - TELEPHONE RISER
  - SANITARY MANHOLE
  - WATER MANHOLE
  - ELECTRIC CABLE
  - EXISTING SANITARY MAIN
  - EXISTING STORM MAIN
  - FENCE
  - GAS MAIN
  - GUY WIRE
  - WATER MAIN
  - CATV
  - TELEVISION CABLE
  - 50 WATT H.P.S. RECESSED FIXTURE
  - SHADED 250 WATT M.H. WALL MOUNTED FIXTURE
  - ELECTRIC SERVICE & PHONE LOCATION



**SHEET INDEX:**

- A.0 COVER SHEET
- A.1 OVERALL EXISTING BUILDING REMODEL PLAN
- A.2 ENLARGED EXISTING OFFICE REMODEL
- A.3 REMODEL FINISH SCHEDULE
- A.4 EXISTING BUILDING ELEVATION W/ PROPOSED SIGN

<b>BUILDING DATA:</b>	
BUILDING CODE:	2009 IBC
OCCUPANCY:	F-1 (ACCESSORY USES B) NON-SEPERATED USES
CLASS OF CONSTRUCTION:	TYPE V-B
ALLOWABLE NO. OF STORIES:	ONE + 1 FOR SPRINKLER
NO OF STORIES:	ONE
ALLOWABLE HEIGHT:	40FT + 20FT FOR SPRINKLER
ACTUAL HEIGHT:	28'-9"
BUILDING IS:	SPRINKLERED PER 903.3.1.1 NFPA 13
ALLOWABLE AREA:	UNLIMITED AREA PER SECTION 507.3
TABLE:	8500 SF
FRONTAGE:	NA
SPRINKLER:	NA
TOTAL:	UNLIMITED AREA
EXISTING BUILDING AREA:	
SHOP/WAREHOUSE F-1:	46,250 SF
OFFICE B:	4,150 SF
MEZZANINE B:	4,150 SF
TOTAL=	54,550 SF
TRAVEL DISTANCE:	
F-1:	250FT
B:	300FT
SITE ACREAGE:	4.63+/-
AVAILABLE PARKING:	57 STALLS W/ (2) FOR HANDICAPPED



**PARCEL KEY:**

- SITE ACREAGE: 201,718; SQ. FT = 4.63; ACRES
- TOTAL BUILDING FOOTPRINT SQUARE FOOTAGE: 50,400 SQ. FT. (200'x252')
- TOTAL PARKING STALLS: (57) INCLUDING (2) FOR HANDICAP

**refractory service, inc.**  
 Sales • Installation • Repair • Gumite  
 4201 County Highway P, Jackson, WI 53037-9760  
 175 Bridgpoint Drive, South St. Paul, MN 55075

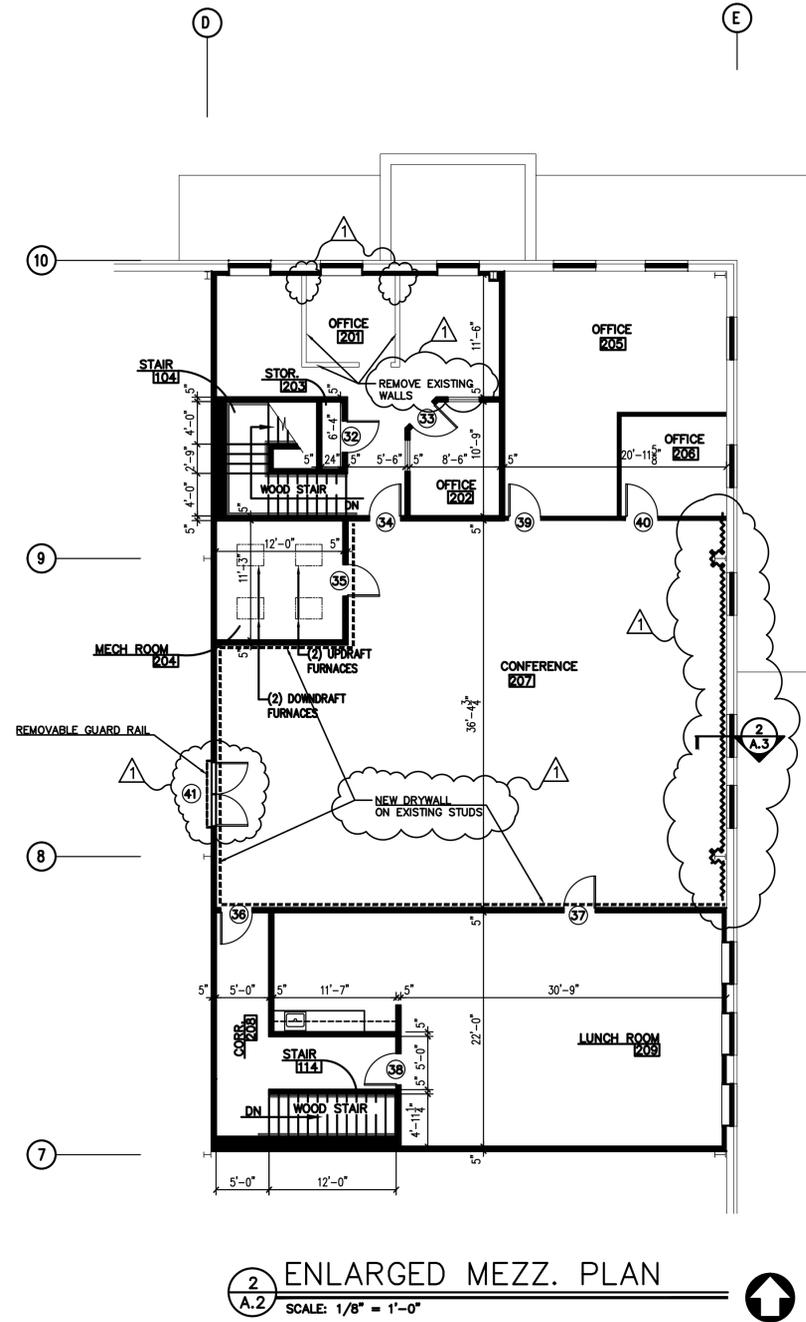
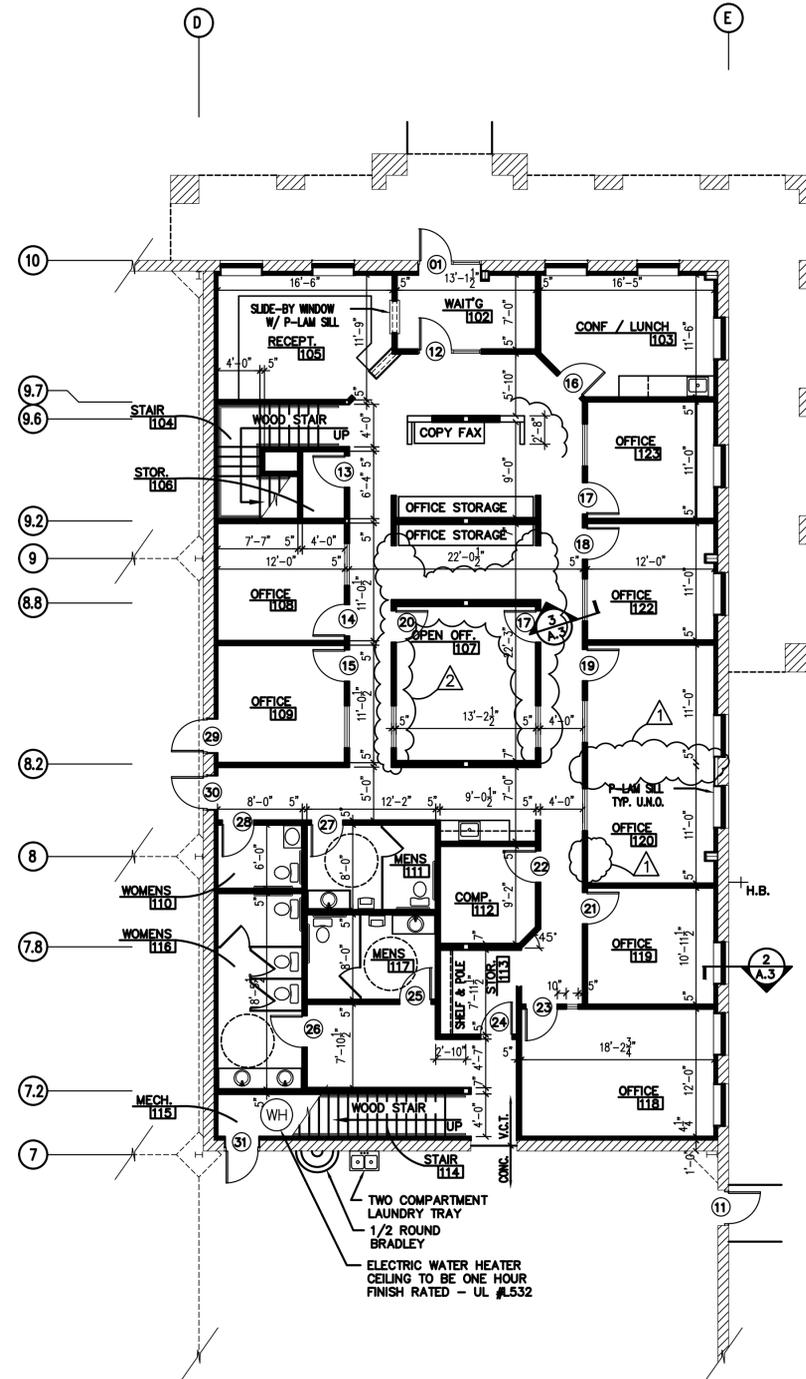
**RENOVATIONS**  
 N173 W21121 NORTHWEST PASSAGE  
 JACKSON, WISCONSIN 53037

Reproduction or use of this drawing in whole or in part must be approved in writing by CGST of Wisconsin, Inc. Contractor shall verify all dimensions on job site and notify the project designer of any variation before construction.

DATE	REVISIONS

Drawn by :  
 Checked :  
 Date : 2014-10-02  
 Scale : AS NOTED  
 Job No. :  
 Sheet Title  
**COVER SHEET**  
 Sheet Number  
**A.0**





**DRYWALL REPAIR NOTES:**

**ROOM 107**  
 -INSTALL METAL STUDS, INSULATION & DRYWALL ON EAST, WEST, & NORTH WALLS  
 -FRAME OUT & INSTALL FOR (2) 48" X 48" WINDOWS & (2) 3'x7' DOORS #17 & #20

**ROOM 201**  
 -PATCH NORTH WALL WHERE EXISTING WALLS WERE REMOVED

**ROOM 207**  
 -INSTALL METAL STUDS, INSULATION & DRYWALL ON EAST ELEVATION, CEILING HEIGHT 10'-0"  
 -INSTALL METAL STUDS, INSULATION & DRYWALL INSIDE & OUT FOR OPENING APPROXIMATELY 8' X 10' IN WEST WALL WITH NEW DOUBLE DOOR #41, PROVIDED BY OTHERS.  
 -INSTALL NEW DRYWALL ON EAST, SOUTH & WEST WALLS OF ROOM

**ROOM 120**  
 -REMOVE DIVIDER WALL & PATCH WALL WHERE EXISTING WALL WAS REMOVED.  
 -REMOVE DOOR 20, INSTALL METAL STUDS, INSULATION, & DRYWALL INSIDE & OUT FOR OPENING. REUSE DOOR #20 IN NEW LOCATION

Reproduction or use of this drawing in whole or in part must be approved in writing by COST of Wisconsin, Inc. Contractor shall verify all dimensions on job site and notify the project designer of any variation before construction.

DATE	REVISIONS
9/17/14	DRYWALL REPAIR
9/18/14	DRYWALL REPAIR







### COLOR DETAILS



**SW6867 FIREWORKS**

Interior

**COLLECTION**

**COLOR FAMILIES**

Color Family  
Reds

**RGB VALUE**

R: 215

G: 57

B: 48

**LRV**

22

**HEX VALUE**

#D73930

**STORE NEAR YOU**

**1608 MADISON AVE**

Fort Atkinson, WI 53538-3101  
(920) 563-2720

**FAVORITE STORE**

**1884 E WASHINGTON AVE**

Madison, WI 53704-5202  
(608) 227-0291

**NOTES:**

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**We can also be reached by phone at: 1-800-4-SHERWIN**  
(1-800-474-3794)



Due to individual computer monitor limitations, colors seen here may not accurately reflect the selected color. To confirm your color choices, visit your neighborhood Sherwin-Williams store and refer to our in-store color cards.





**COLOR DETAILS**



**SW7017 DORIAN GRAY**

Interior/Exterior

**RGB VALUE**

R: 172

G: 169

B: 159

**COLLECTION**

SP 17 , Sponging , Senior Living Cool Foundations , Acute Care Cool Foundations

**LRV**

39

**COLOR FAMILIES**

**Color Family**  
Cool Neutrals

**HEX VALUE**

#ACA99F

**STORE NEAR YOU**

**1608 MADISON AVE**

Fort Atkinson, WI 53538-3101  
(920) 563-2720

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**NOTES:**

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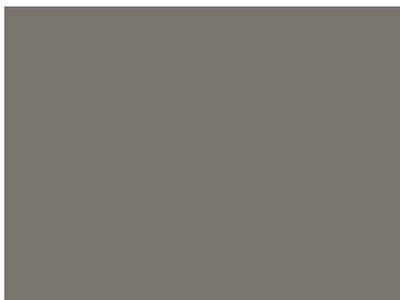


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## COLOR DETAILS



### SW7019 GAUNTLET GRAY

Interior/Exterior

### COLLECTION

Reasoned , Pottery Barn Kids -  
Fall/Winter 2014

### COLOR FAMILIES

**Color Family**  
Cool Neutrals

### RGB VALUE

R: 120

G: 116

B: 110

### LRV

17

### HEX VALUE

#78746E

### STORE NEAR YOU

#### 1608 MADISON AVE

Fort Atkinson, WI 53538-

3101

(920) 563-2720

### FAVORITE STORE

#### 1884 E WASHINGTON AVE

Madison, WI 53704-5202

(608) 227-0291

### NOTES:

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**SHERWIN-WILLIAMS.**

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
**(Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)**

Name of Applicant Poblocki Sign Co, LLC  
 Contact Matt Kaminski Address/ZIP 922 S. 70th St, West Allis 53214 Phone # (414) 405-4950  
 E-mail Address mkaminski@poblocki.com Fax # where Agenda/Staff comments are to be faxed (414) 453-3070  
 Name of Owner Children's Hospital of WI Address/ZIP N168 W22710 Prairie View Lane Phone# (414) 266-6148  
 Owner Representative/Developer Matt Kaminski  
 Proposed Use of Site Commercial / Children's Hospital Clinic Present Zoning PUD

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	<b>Engineering Review - Infrastructure</b>		XXX
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Matt Kaminski Signature Matt Kaminski Date 10-3-14

Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development    Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a     Special Use     Conditional Use     Planned Unit Development

Permit to:

Name of Business/Applicant: Children's Hospital of WI

For a property located at (address): N168 W22710 Prairie View Lane, Jackson, WI

Phone number of Business/Applicant: (414) 266-6148

For (land use, activity, sign, site plan, other): Three (3) total wall signs.

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): N/A

Hours of Operation: 24/7

Comprehensive/Master Plan Compatibility: N/A

Building Materials (type, color): Raised aluminum letters. See attached sign elevation.

Setbacks from rights-of-way and property lines: Existing.

Screening/Buffering: N/A

Landscape Plan (sizes, species, location): N/A

Signage (dimensions, colors, lighting, location): 5'-6" x 13'-3 7/16" overall, black copy & blue logo, internally lit. See attached sign elevation.

Lighting (wattage, style, pole location and height, coverage): N/A

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s)), (sidewalk/pedestrian way width and material): N/A

Storm-water Management: N/A

Erosion Control: N/A

Fire Hydrant Location(s): Existing

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: Matt Kaminski  
PH: (414) 405-4950

Hazardous Material Storage: N/A

Alarm Systems: N/A

Site Features/Constraints: N/A

Parking (no. of spaces, handicapped parking, and dimensions): Existing

Tree and shrub preservation: Existing

Setbacks/height limitations: Existing

Wastewater Usage Projected: N/A gal/year

Water Usage Projected: N/A gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):  
Continuous and reviewed upon complaint.

## TERMS OF THIS PERMIT

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Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_ Over the Counter \_\_\_\_\_ Date \_\_\_\_\_

Matt Kaminski

Matt Kaminski , Owner Agent

Please print name

\_\_\_\_\_  
John M. Walther, Administrator

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19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED  
BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO  
QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**



October 3rd, 2014

Jim Micech - Director of Building Inspection  
Village of Jackson  
N168 W20733 Main St  
Jackson, WI 53037

RE: LETTER OF INTENT & IMPACT STATEMENT as required per Village of Jackson -  
Development Application Form

**LETTER OF INTENT**

Matt Kaminski of Poblocki Sign Company, LLC (as agent for Children's Hospital of WI) is requesting permission to fabricate & install three (3) signs for Children's Hospital of WI at the multi-use building located at N168 W22710 Prairie View Lane, Jackson, WI.

**IMPACT STATEMENT**

Poblocki Sign Company, LLC will fabricate & install three (3) sets of 5'6"H x 13'3.4375"W overall face lit black & blue letters per sign elevation to north, south & east elevations.

Sign will be started upon receipt of Village of Jackson approval.

Sincerely,

A handwritten signature in blue ink that reads 'Matthew Kaminski'.

**MATTHEW KAMINSKI**  
SENIOR SALES CONSULTANT  
P 414-777-4219 M 414-405-4950  
<http://www.linkedin.com/in/kaminskimatt>

[www.poblocki.com](http://www.poblocki.com)

# SIGN SPECIFICATIONS

## [A] - ILLUMINATED LOGO

Lighting: LED  
 Voltage: tbd  
 Description: Face-Lit [Acrylic]  
 Face Color: white  
 Return Color: white  
 Trimcap Color: white  
 Installation: Flush to wall

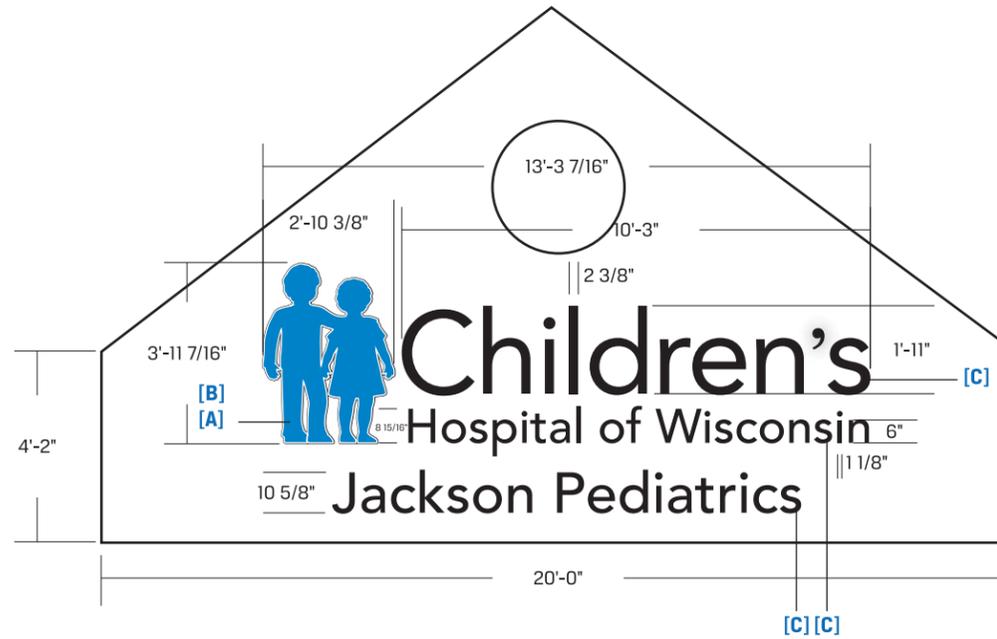
## [B] - GRAPHICS/ LOGO

Material: vinyl  
 Color: process blue 3630-337 leaving white outline

## [C] - ILLUMINATED LETTERS

Lighting: LED  
 Voltage: tbd  
 Description: Face-Lit  
 Face Color: casocryl  
 Return Color: black  
 Trimcap Color: black  
 Installation: Flush to wall

site map/ three LL sets



south elevation proposed



This document is owned by and the information contained in it is proprietary to Poblocki Sign Company, LLC. By receipt hereof, the holder agrees not to use the information, disclose it to any third party or reproduce this document without the prior written consent of Poblocki Sign Company, LLC. Holder also agrees to immediately return this document upon request by Poblocki Sign Company, LLC.

This document represents only an approximation of material colors specified. Actual product colors may vary from this print or digital image.

## Project

**Childrens  
 Hospital  
 Primary Care**

Jackson, WI

Scale: 1/4"=1'

Original Page Size: 11" x 17"

## Notes

**SURVEY REQUIRED**

**DUE TO FASCIA CONSTRUCTIONS,  
 TAGLINE IS MOVED UP**

## Revisions

REV	DESCRIPTION	BY	DATE
01	no rcwy	jh	9/22/14

Rep: Matt Kaminski

Drawn By: Jean Hardeman Orig. Date: 9/22/14

Sign Loc. No. various

**LL-01**

Lit Letters

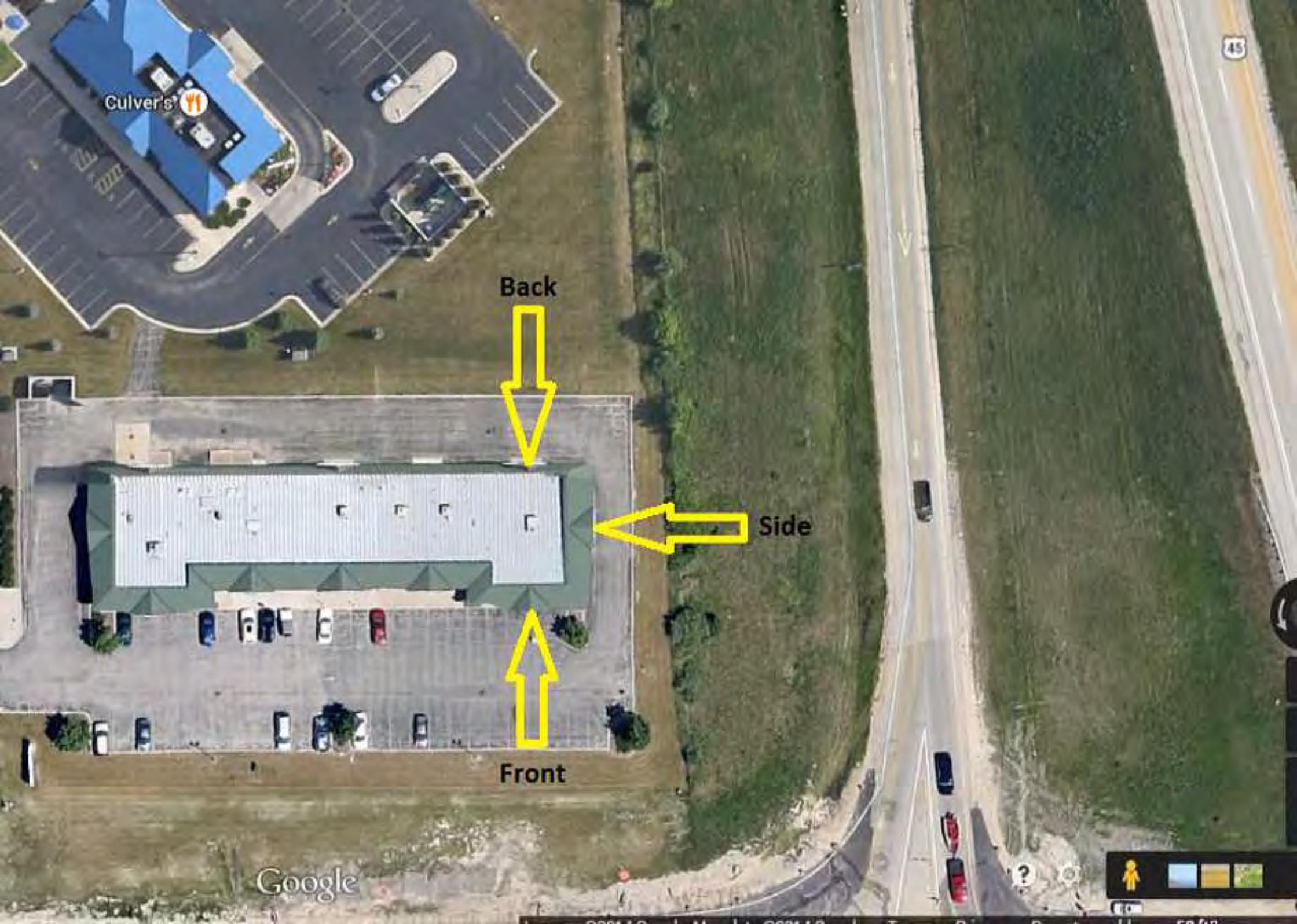
Sign. Type

**67171**

OPP - Project - Job No.

**CO1**

Design



Culver's

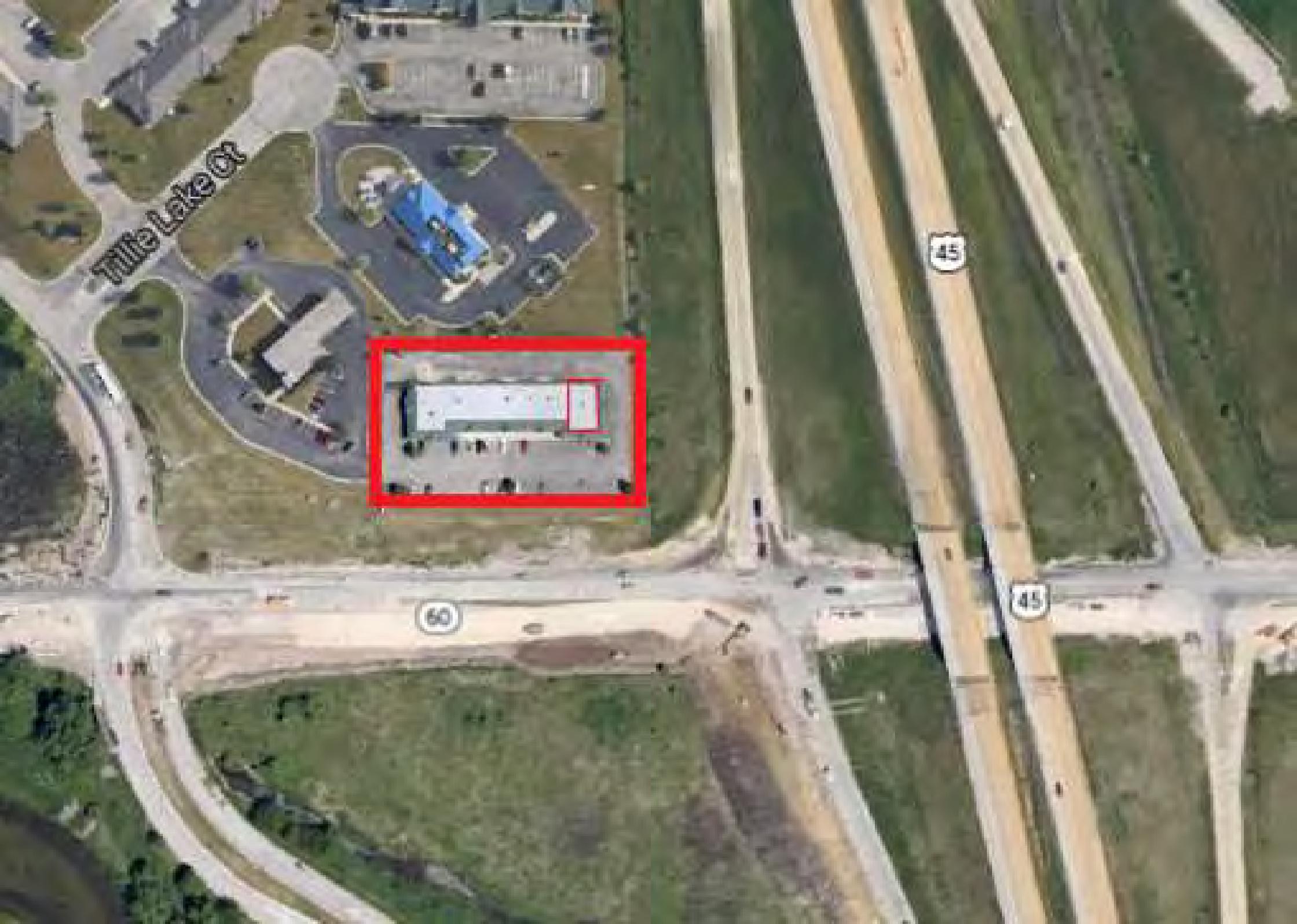
Back

Side

Front

Google

45



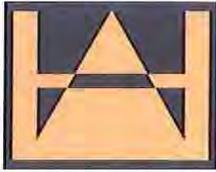
Valley Lake Ct

45

60

45





**HARRIS**  
& ASSOCIATES, INC.  
CONSULTING ENGINEERS  
AND LAND SURVEYORS

2718 N. MEADE ST.  
APPLETON, WI 54911  
TEL: 920/733/8377  
FAX: 920/733/4731

October 3, 2014

Mr. John Walther  
Village of Jackson  
N168 W20773 Main Street  
Jackson, WI 53037

Re: Premier Cranberry Creek  
Blackberry Circle

Dear Mr. Walther:

Enclosed is a copy of the revised plans for the Cranberry Creek Estates. The following revisions are based on your July 31, 2014, staff review comments:

Building Inspection

1. The building plans will be submitted to the State of Wisconsin.
2. The buildings will be completely sprinklered.
3. Each unit will be individually metered and all meters will be located in the building.
4. Each unit will be individually addressed with one address at the front door and the other address at the garage door. The public meter room will have a separate address.
5. Additional spot elevations and swales are added to the east property area to collect the stormwater runoff. See drawings C2.1, C2.2 and C2.3.
6. A new Developer's Agreement will be created for this project.
7. No additional dumpster is added to the plan.

Public Works / Engineering

1. A new Developer's Agreement will be created for this project.
2. A C.S.M. is not required; the creation of the easement for the water and sanitary sewer will be included in the Developer's Agreement.
3. The development will have a separate trash and recycling contract and not be a part of the Village's Contract.
4. The attached plans show the water, sanitary sewer and storm sewer. Also attached are the storm sewer calculations.
5. The east property will be graded to collect the stormwater runoff from this property. See drawings C2.1, C2.2 and C2.3.

Page 2

October 3, 2014

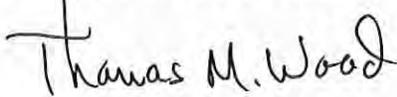
Fire Department

1. A knock box will be installed at each equipment room.
2. The Fire Alarm and Fire Suppression Systems will be installed per code. The Fire Department Connection installation will comply with the Village Code requirements.

The proposed sign is removed from the utility easement. The sign approval will be a separate submittal. Please approve the plans for the Cranberry Creek Estates.

Sincerely,

HARRIS & ASSOCIATES, INC.

A handwritten signature in black ink that reads "Thomas M. Wood". The signature is written in a cursive style with a large initial 'T'.

Thomas M. Wood

Enclosures

TMW:smf

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
**(Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)**

Name of Applicant Premier Cranberry Creek, LLC  
 Contact Thomas M. Wood Address/ZIP 2718 N. Meade St., Appleton, WI 54911 Phone # 920-733-8377  
 E-mail Address twood@harrisinc.net Fax # where Agenda/Staff comments are to be faxed 920-733-4731  
 Name of Owner Calvin Akin Address/ZIP 19105 W. Capitol Dr., Ste. 200, Brookfield Phone# 262-790-4560  
 Owner Representative/Developer Joe Goldberger WI 53043  
 Proposed Use of Site Multi-Family Residential Present Zoning PUD

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	2) Describe what you intend to do (paragraph) 3) Address Labels of adjacent owners to be notified (500'/200')	labels	XXX
<b>X</b> PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	4) Owner acknowledgement of the request 5) Impact Statement 6) Location Map	1	XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	8) Preliminary Plat 9) Final Plat		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	10) Certified survey Map		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	11) Annexation Petition 12) Annexation Map	1	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	13) Sketch Plan 14) Landscape Plan	4 (24x36)	XXX
			<b>Engineering Review - Infrastructure</b>		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan 16) Water / Sewer / Storm Sewer Plans	4 (24x36) 4 (24x36)	XXX XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections, Private Roads 18) Erosion Control Plan	4 (24x36) 4 (24x36)	XXX XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials 20) Developers Agreement		XXX XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements) 22) other -		XXX XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.  
 Name Thomas M. Wood Signature Thomas M. Wood Date 10-02-14

Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development    Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a     Special Use     Conditional Use     Planned Unit Development

Permit to:

Name of Business/Applicant: Premier Real Estate Management, LLC

For a property located at (address): Blackberry Circle

Phone number of Business/Applicant: (262)790-4560

For (land use, activity, sign, site plan, other): Site plan approval for a 60-unit multi-family residential development

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): N/A

Hours of Operation: N/A

Comprehensive/Master Plan Compatibility: Proposed development conforms to existing zoning

Building Materials (type, color): Combination of masonry and maintenance free vinyl siding, architectural dimensional shingles.

Setbacks from rights-of-way and property lines: Varies. See site plan sheet C1.0.

Screening/Buffering: See site plan sheet C4.0

Landscape Plan (sizes, species, location): See landscape plan sheet C4.0

Signing (dimensions, colors, lighting, location): See site plan sheet C1.0

Lighting (wattage, style, pole location and height, coverage): See site plan sheet C1.0

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): Private roads serve the proposed development connecting to existing improved roads. A new connection to Jackson Street is proposed.

Storm-water Management: A regional detention basin is situated on the property, and was designed to handle all stormwater runoff from this development.

Erosion Control: See erosion control plan sheet C5.0

Fire Hydrant Location(s): See site utilities plan sheet C3.0

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: A Fire Department approved knox box will be mounted on the outside wall of the equipment room of each building.

Hazardous Material Storage: N/A

Alarm Systems: N/A

Site Features/Constraints: Small areas of wetlands exist in the NE corner of the parcel. A navigable stream exists along the north side of the parcel. A floodplain is associated with the existing stream.

Parking (no. of spaces, handicapped parking, and dimensions): \_\_\_\_\_

Tree and shrub preservation: The development plans include all new landscape features to be installed. There is no existing vegetation to be preserved.

Setbacks/height limitations: Conforms to current zoning regulations.

Wastewater Usage Projected: \_\_\_\_\_ gal/year                      Water Usage Projected: \_\_\_\_\_ gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period): \_\_\_\_\_

## TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_ Over the Counter \_\_\_\_\_ Date \_\_\_\_\_

Calvin M. Arkin

Calvin M. Arkin, Owner

Please print name

\_\_\_\_\_  
John M. Walther, Administrator

YAHOO! MAPS

Jackson, WI

Enter notes here

255

Satellite



When using any driving directions or map, it is a good idea to double check and make sure the road still exists, watch out for construction, and follow all traffic safety precautions. This is only to be used as an aid in planning

# **CRANBERRY CREEK ESTATES APARTMENTS**

## **A 60-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

**BY**

**PREMIER CRANBERRY CREEK, LLC.**

Cranberry Creek Estates Apartments (the "Development") is located West of Jackson Drive, and South of Main Street. The parcel has a total land area of approximately 8.3 acres. The subject parcel is currently zoned Planned Unit Development. There are small areas of wetlands and a navigable stream meandering along the North end of the development parcel.

The Development will consist of five identical 12-unit, two-story structures totaling 60 dwelling units. Each unit will have a private exterior entrance, two bedrooms, 1 1/2 baths and single-stall attached garage with direct access to the living unit. The units are approximately 1,100 square feet in size, which exceeds the minimum floor area requirements stipulated in the zoning code. One additional exterior parking stall along with ample visitor parking will be provided. Heat will be included in the rent. All appliances, including the refrigerator, washer and dryer, are furnished. The rental rates for the proposed units will be on a market rate basis. No subsidized or Section 8 housing contracts will be executed for this development.

Neighboring properties consist of a mix of single and multiple family residential, manufacturing and businesses uses. The Village Hall is Northwest of the Development site. Cranberry Creek Condominiums is immediately West and South of the Development site. Single-family dwellings and small businesses exist to the East of the Development site.

The Development will connect to existing public utilities, including sanitary sewer and water. Easements are on record, which allow for the connection and the means to serve the Development. The Development will include the extension and completion of a loop in the public water main system. A private sanitary sewer extension will be constructed to serve four of the proposed six new structures.

Storm water runoff will be collected within an existing detention pond. This pond was designed to handle the calculated storm water runoff produced by the Development. All proper site-grading permits will be obtained prior to the start of construction. These include: The Notice of Intent - Land Disturbance Permit, and a Chapter 30 General Permit, both registered with the WDNR. There is a certain amount of overland runoff, which currently traverses through the Development. This runoff is being accounted for, and is being diverted around the proposed structures.

The landscaping plan will conform to the Village of Jackson regulations. The required number of trees and shrubs will be met and/or exceeded. A mix of evergreens and deciduous trees will be incorporated throughout the Development.

Site lighting for the Development will be generated from low impact wall mounted fixtures above each entryway and staggered along the face of each structure. The fixtures will be the cut-off series with a maximum wattage of 60 watts. They will be shielded to prevent light spraying into neighboring properties. Two dumpster enclosures, along with a community mailroom (10'x10') are proposed.

It is anticipated that construction is to begin near the beginning of September 2014. All foundations, utilities and the first coarse of asphalt is to be completed by the end of November 2014. Premier Real Estate Management, LLC, will manage the Development once units become occupied. Please see the attached biography.

BY CLT DATE 1-17-14

SUBJECT CAL AKIN

SHEET NO. 1 OF 11

CK. \_\_\_\_\_ DATE \_\_\_\_\_

CRANBERRY CREEK ESTATES - JACKSON

JOB NO. \_\_\_\_\_

STORM SEWER DESIGN

USE ATTACHED TABLES 82.36-1, 82.36-2, 82.36-3, 82.36-4 AND DRAINAGE AREA SKETCH

CB-(11) TO MH-(9)

ROOF AREA = 2385 SQFT

GRASS AREA = 6150 SQFT

$$GPM = \frac{2385}{26} + \frac{6150}{104} = 151$$

TABLE 82.36-4

	1%
5"	140
6"	230

USE 8" PIPE MIN.

CB-(10) TO MH-(9)

ROOF AREA = 2420 + 2420 = 4840 SQFT

PAVED AREA = 4930 + 5170 = 10100 SQFT

GRASS AREA = 2530 SQFT

$$GPM = \frac{4840}{26} + \frac{10100}{325} + \frac{2530}{104} = 521$$

TABLE 82.36-4

	0.5%	1%
8"	355	500
10"	680	950

USE 10" PIPE

10-2-14



BY CLT DATE 1-17-14

SUBJECT CAL ALIN

SHEET NO. 2 OF 11

CK. \_\_\_\_\_ DATE \_\_\_\_\_

CRANBERRY CREEK ESTATES - JACKSON

JOB NO. \_\_\_\_\_

MH-(9) TO CB-(8)

ROOF AREA = 2385 + 4840 = 7225 SQFT

PAVED AREA = 10100 SQFT

GRASS AREA = 6150 + 2530 = 8680 SQFT

$$GPM = \frac{7225}{26} + \frac{10100}{32.5} + \frac{8680}{104} = 672$$

TABLE 82.36-4

	1%
8"	500
10"	950

USE 10" PIPE

CB-(8) TO MH-(6)

ROOF AREA = 2385 + 7225 = 9610 SQFT

PAVED AREA = 10100 SQFT

GRASS AREA = 8300 + 8680 = 16980 SQFT

$$GPM = \frac{9610}{26} + \frac{10100}{32.5} + \frac{16980}{104} = 844$$

TABLE 82.36-4

	1%
8"	500
10"	950

USE 10" PIPE

CB-(7) TO MH-(6)

ROOF AREA = 2420 + 2420 = 4840 SQFT

PAVED AREA = 9180 SQFT

$$GPM = \frac{4840}{26} + \frac{9180}{32.5} = 469$$

TABLE 82.36-4

	1%
6"	230
8"	500

USE 8" PIPE

BY CLT DATE 1-17-14 SUBJECT CAL AKIN SHEET NO. 3 OF 11  
 CK. \_\_\_\_\_ DATE \_\_\_\_\_ CRANBERRY CREEK ESTATES - JACKSON JOB NO. \_\_\_\_\_

MH-⑥ TO CB-⑤

ROOF AREA = 4840 + 9610 = 14450 SQFT  
 PAVED AREA = 9180 + 10100 = 19280 SQFT  
 GRASS AREA = 16980 SQFT

$$GPM = \frac{14450}{26} + \frac{19280}{32.5} + \frac{16980}{104} = 1312$$

TABLE 82.36-4

	<u>1%</u>	
10"	950	USE 12" PIPE
12"	1580	

CB-⑤ TO MH-③

ROOF AREA = 2385 + 14450 = 16835 SQFT  
 PAVED AREA = 19280 SQFT  
 GRASS AREA = 9630 + 16980 = 26610 SQFT

$$GPM = \frac{16835}{26} + \frac{19280}{32.5} + \frac{26610}{104} = 1497$$

TABLE 82.36-4

	<u>1%</u>	
10"	950	USE 12" PIPE
12"	1580	

CULVERT ④ TO MH-③

GRASS AREA = 7500 SQFT

TABLE 82.36-3

	<u>0.5%</u>	
4"	5200	USE 8" PIPE MIN.
5"	9880	

BY CLT DATE 1-17-14

SUBJECT CAL AKIN

SHEET NO. 4 OF 11

CK. \_\_\_\_\_ DATE \_\_\_\_\_

CRANBERRY CREEK ESTATES - JACKSON

JOB NO. \_\_\_\_\_

MH-③ TO INLET ②

ROOF AREA = 16835 SQFT

PAVED AREA = 19280 SQFT

GRASS AREA = 7500 + 26610 = 34110 SQFT

$$GPM = \frac{16835}{26} + \frac{19280}{32.5} + \frac{34110}{104} = 1569$$

TABLE 82.36-4

	<u>1%</u>	
10"	950	USE 12" PIPE
12"	1580	

INLET-② TO INLET-①

ROOF AREA = 2440 + 16835 = 19275 SQFT

PAVED AREA = 6475 + 19280 = 25755 SQFT

GRASS AREA = 34110 SQFT

$$GPM = \frac{19275}{26} + \frac{25755}{32.5} + \frac{34110}{104} = 1862$$

TABLE 82.36-4

	<u>1%</u>	
12"	1580	USE 15" PIPE
15"	2800	

INLET-① TO EX. DETENTION AREA

ROOF AREA = 19275 SQFT

PAVED AREA = 2720 + 25755 = 28475 SQFT

GRASS AREA = 34110 SQFT

$$GPM = \frac{19275}{26} + \frac{28475}{32.5} + \frac{34110}{104} = 1945$$

TABLE 82.36-4

	<u>1%</u>	
12"	1580	USE 15" PIPE
15"	2800	

BY CLT DATE 1-17-14 SUBJECT CAL AKIN SHEET NO. 5 OF 11  
 CK. \_\_\_\_\_ DATE \_\_\_\_\_ CRANBERRY CREEK ESTATES- JACKSON JOB NO. \_\_\_\_\_

CULVERT - (12) TO EX. DETENTION AREA

ROOF AREA = 2490 SQFT

GRASS AREA = 8000 SQFT

$$GPM = \frac{2490}{26} + \frac{8000}{104} = 173$$

TABLE 82.36-4

	1%	
5'	140	USE 12" MIN
6"	230	

CB - (30) TO INLET - (28)

ROOF AREA = 2420 SQFT

PAVED AREA = 5245 SQFT

$$GPM = \frac{2420}{26} + \frac{5245}{32.5} = 255$$

TABLE 82.36-4

	1%	
6"	230	USE 8" PIPE
8'	500	

CB - (29) TO INLET - (28)

ROOF AREA = 2420 SQFT

PAVED AREA = 4735 SQFT

GRASS AREA = 3550 SQFT

$$GPM = \frac{2420}{26} + \frac{4735}{32.5} + \frac{3550}{104} = 273$$

TABLE 82.36-4

	1%	
6"	230	USE 8" PIPE
8'	500	

BY CLT DATE 1-17-14

SUBJECT CAL ARIN

SHEET NO. 6 OF 11

CK. \_\_\_\_\_ DATE \_\_\_\_\_

CRANBERRY CREEK ESTATES - JACKSON

JOB NO. \_\_\_\_\_

INLET-(28) TO INLET-(26)

ROOF AREA = 2420 + 2420 = 4840 SQFT

PAVED AREA = 1160 + 5245 + 4735 = 11140 SQFT

GRASS AREA = 3550 SQFT

$$GPM = \frac{4840}{26} + \frac{11140}{32.5} + \frac{3550}{104} = 563$$

TABLE 82.36-4

	<u>1%</u>	
8"	500	USE 10" PIPE
10"	950	

INLET-(27) TO INLET-(26)

ROOF AREA = 2490 SQFT

PAVED AREA = 5430 SQFT

GRASS AREA = 480 + 3790 = 4270 SQFT

$$GPM = \frac{2490}{26} + \frac{5430}{32.5} + \frac{4270}{104} = 304$$

TABLE 82.36-4

	<u>1%</u>	
6"	230	USE 8" PIPE
8"	500	

INLET-(26) TO INLET-(24)

ROOF AREA = 2490 + 4840 + 2490 = 9820 SQFT

PAVED AREA = 1095 + 11140 + 5430 = 17665 SQFT

GRASS AREA = 4485 + 3550 + 4270 = 12305 SQFT

$$GPM = \frac{9820}{26} + \frac{17665}{32.5} + \frac{12305}{104} = 1040$$

TABLE 82.36-4

	<u>1%</u>	
10"	950	USE 12" PIPE
12"	1580	

BY CLT DATE 1-17-14

SUBJECT CAL. AKIN

SHEET NO. 7 OF 11

CK. \_\_\_\_\_ DATE \_\_\_\_\_

CRANBERRY CREEK ESTATES - JACKSON

JOB NO. \_\_\_\_\_

INLET - (25) TO INLET (24)

ROOF AREA =  $2420 + 2420 = 4840$  SQFT

PAVED AREA = 6475 SQFT

$$GPM = \frac{4840}{26} + \frac{6475}{32.5} = 385$$

TABLE 82.36-4

1%

6"

230

USE 8" PIPE

8"

500

INLET - (24) TO INLET (22)

ROOF AREA =  $4840 + 9820 = 14660$  SQFT

PAVED AREA =  $1525 + 6475 + 17665 = 25665$  SQFT

GRASS AREA =  $1060 + 12305 = 13365$  SQFT

$$GPM = \frac{14660}{26} + \frac{25665}{32.5} + \frac{13365}{104} = 1482$$

TABLE 82.36-4

1%

10"

950

USE 12" PIPE

12"

1580

INLET - (23) TO INLET (22)

ROOF AREA = 2000 SQFT

PAVED AREA = 6390 SQFT

GRASS AREA =  $1050 + 3310 = 4360$  SQFT

$$GPM = \frac{2000}{26} + \frac{6390}{32.5} + \frac{4360}{104} = 315$$

TABLE 82.36-4

1%

6"

230

USE 8" PIPE

8"

500

BY CLT DATE 1-17-14

SUBJECT CAL AKIN

SHEET NO. 8 OF     

CK.      DATE     

CRAWBERRY CREEK ESTATES-J

JOB NO.     

INLET- (22) TO INLET- (18)

ROOF AREA = 2000 + 14660 = 16660 SQFT

PAVED AREA = 1375 + 6390 + 25665 = 33430 SQFT

GRASS AREA = 4360 + 13365 = 17725 SQFT

$$GPM = \frac{16660}{26} + \frac{33430}{32.5} + \frac{17725}{104} = 1840$$

TABLE 82.36-4

	<u>1%</u>
12"	1580
15"	2800

USE 15" PIPE

CULVERT- (21) TO INLET- (18)

ROOF AREA = 2490 SQFT

GRASS AREA = 5640 SQFT

$$GPM = \frac{2490}{26} + \frac{5640}{104} = 150$$

TABLE 82.36-4

	<u>1%</u>
5"	140
6"	230

USE 12" MIN

CB- (20) TO INLET- (19)

ROOF AREA = 2420 + 2420 = 4840 SQFT

PAVED AREA = 6480 SQFT

$$GPM = \frac{4840}{26} + \frac{6480}{32.5} = 386$$

TABLE 82.36-4

	<u>1%</u>
6"	230
8"	500

USE 8" PIPE

BY CLT DATE 1-17-14 SUBJECT CA AKIN SHEET NO. 9 OF       
 CK.      DATE      CRANBERRY CREEK ESTATES - JACKSON JOB NO.     

INLET- (19) TO INLET- (18)

ROOF AREA = 480 + 4840 = 5320 SQFT

PAVED AREA = 3910 + 6480 = 10390 SQFT

GRASS AREA = 2025 SQFT

$$GPM = \frac{5320}{26} + \frac{10390}{32.5} + \frac{2025}{104} = 544$$

TABLE 82.36-4

	1%
8"	500
10"	950

USE 10" PIPE

INLET- (18) TO INLET- (16)

ROOF AREA = 16660 + 2490 + 5320 = 24470 SQFT

PAVED AREA = 1370 + 33430 + 10390 = 45190 SQFT

GRASS AREA = 17725 + 5640 + 2025 = 25390 SQFT

$$GPM = \frac{24470}{26} + \frac{45190}{32.5} + \frac{25390}{104} = 2576$$

TABLE 82.36-4

	1%
12"	1580
15"	2800

USE 15" PIPE

INLET- (17) TO INLET- (16)

ROOF AREA = 3595 SQFT

PAVED AREA = 6710 SQFT

GRASS AREA = 7830 SQFT

$$GPM = \frac{3595}{26} + \frac{6710}{32.5} + \frac{7830}{104} = 420$$

TABLE 82.36-4

	1%
6"	230
8"	500

USE 8" PIPE

BY CLT DATE 1-17-14

SUBJECT CAL AKIN

SHEET NO. 10 OF 11

CK. \_\_\_\_\_ DATE \_\_\_\_\_

CRANBERRY CREEK ESTATES - JACKSON

JOB NO. \_\_\_\_\_

INLET-(16) TO INLET-(13)

ROOF AREA = 24470 + 3595 = 28065 SQFT

PAVED AREA = 3650 + 45190 + 6710 = 55550 SQFT

GRASS AREA = 25390 + 7830 = 33220 SQFT

$$GPM = \frac{28065}{26} + \frac{55550}{32.5} + \frac{33220}{104} = 3108$$

TABLE 82.36-4

	<u>1%</u>	
15"	2800	USE 18" PIPE
18"	4675	

CULVERT-(15) TO INLET-(14)

ROOF AREA = 2385 + 2385 + 2385 = 7155 SQFT

GRASS AREA = 23810 SQFT

$$GPM = \frac{7155}{26} + \frac{23810}{104} = 504$$

TABLE 82.36-4

	<u>1%</u>	
8"	500	USE 12" PIPE MIN
10"	950	

INLET-(14) TO INLET-(13)

ROOF AREA = 1210 + 7155 = 8365 SQFT

PAVED AREA = 7460 SQFT

GRASS AREA = 23810 SQFT

$$GPM = \frac{8365}{26} + \frac{7460}{32.5} + \frac{23810}{104} = 780$$

TABLE 82.36-4

	<u>1%</u>	
8"	500	USE 12" PIPE - SAME AS (15) - (14)
10"	950	

BY CLT DATE 1-17-14

SUBJECT CALAKIN

SHEET NO. 11 OF 11

CK. \_\_\_\_\_ DATE \_\_\_\_\_

CRAWBERRY CREEK ESTATES - JACKSON

JOB NO. \_\_\_\_\_

INLET - (3) TO EX. DETENTION AREA

ROOF AREA = 28065 + 8365 = 36430 SQFT

PAVED AREA = 4990 + 55550 + 7460 = 68000 SQFT

GRASS AREA = 33220 + 23810 = 57030 SQFT

$$GPM = \frac{36430}{26} + \frac{68000}{32.5} + \frac{57030}{104} = 4042$$

TABLE 82.36-4

1%

15"	2800
18"	4675

USE 18" PIPE

(7) **PROHIBITED USE OF CLEANOUT OPENINGS.** Cleanout openings shall not be used for the installation of fixtures or floor drains, except where another cleanout of equal access and capacity is provided.

(8) **MANHOLES.** (a) *Diameter.* The minimum diameter of manholes shall be 42 inches. A manhole shall have a minimum access opening of 24 inches.

(b) *Materials.* Manholes shall be constructed of approved materials in accordance with ch. ILHR 84 and in accordance with the design provisions of a. NR 110.13.

**Note 1:** The provisions of NR 110.13 regarding the manhole's flow channel, watertightness, and drop pipe indicate the following specifications:

- The flow channel through manholes shall be made to conform to the shape and slope of the sewer. See Appendix for further explanatory material.

- Solid watertight manhole covers are to be used wherever the manhole tops may be flooded by street runoff or high water. Where groundwater conditions are unfavorable, manholes of brick or block shall be waterproofed on the exterior with plastic coatings supplemented by a bituminous waterproof coating or other approved coatings. Inlet and outlet pipes are to be joined to the manhole with a gasketed flexible watertight connection or any watertight connection arrangement that allows differential settlement of the pipe and manhole wall to take place.

- An outside drop pipe is to be provided for a sewer entering a manhole where the invert elevation of the entering sewer is 2 feet or more above the spring line of the outgoing sewer. The entire drop connection shall be encased in the concrete. Inside drop connection may be approved on a case-by-case basis.

**Note:** See Appendix for further explanatory material.

**History:** Cr. Register, February, 1985, No. 350, eff. 3-1-85; am. (3) (1), r. and rec. (3) (j), Register, May, 1988, No. 389, eff. 6-1-88; am. (5) (a) 2, n., Register, August, 1991, No. 428, eff. 9-1-91; r. and rec. (3) (j) and (5) (a) 2, r., Register, February, 1991, No. 458, eff. 3-1-94.

**ILHR 82.36 Storm and clear water drain systems.** (1) **SCORE.** The provisions of this section set forth the requirements for the design and installation of storm and clear water drain systems including storm building drains and sewers.

(2) **MATERIALS.** All storm and clear water drain systems shall be constructed of approved materials in accordance with ch. ILHR 84.

(3) **DISPOSAL.** (a) *Storm sewer.* Storm water, surface water, groundwater and clear water wastes shall be discharged to a storm sewer system or a combined sanitary-storm sewer system where available. Combined public sanitary-storm sewer systems shall be approved by the department of natural resources. Combined private sanitary-storm sewer systems shall be approved by the department.

(b) *Other disposal methods.* 1. Where no storm sewer system or combined sanitary-storm sewer system is available or adequate to receive the anticipated load, the final disposal of the storm water, surface water, groundwater or clear water wastes shall be discharged in accordance with local governmental requirements. If the final disposal of such waters or wastes is by means of subsurface discharge, documentation shall be submitted to this department to determine whether the method of disposal is acceptable.

2. Where approved by the local governmental authority, storm water, surface water, groundwater and clear water wastes of the properties of one- and 2-family dwell-

ings may be discharged onto flat areas, such as streets or lawns, so long as the water flows away from the buildings and does not create a nuisance.

3. a. The clear water wastes from a drinking fountain, water heater relief valve, storage tank relief valve or water softener shall be discharged to either a sanitary drain system or a storm drain system.

b. The clear water wastes from equipment other than those listed in subpar. a. may be discharged to a sanitary drain system if not more than 20 gallons of clear water wastes per day per building are discharged.

(c) *Segregation of wastes.* 1. a. Except as provided in subpar. b., where a sanitary sewer system and a storm sewer system are available the drain piping for storm water or clear water wastes may not connect to any part of the sanitary drain system.

b. Where a combined sanitary-storm sewer system is available storm water wastes, clear water wastes and sanitary wastes may not be combined until discharging to the building sewer.

2. Storm water wastes and clear water wastes shall not be combined until discharging into the storm building drain.

(4) **LOAD ON DRAIN PIPING.** (a) *Storm water drainage.* The load factor on storm water drain piping shall be computed in terms of gallons per minute or on the square footage of the horizontal projection of roofs, paved areas, yards and other tributary areas.

(b) *Continuous flow devices.* Where there is a continuous or semicontinuous discharge into the storm building drain or storm building sewer, as from a pump, air conditioning unit, or similar device, each gallon per minute of such discharge shall be computed as being equivalent to 26 square feet of roof area.

(5) **SELECTING SIZE OF STORM AND CLEAR WATER DRAIN PIPING.** (a) *Horizontal storm water drain piping.* The pipe size for horizontal drain piping for storm water shall be determined from Tables 82.36-1 to 82.36-4.

Table 82.36-1

MINIMUM SIZE OF STORM WATER HORIZONTAL DRAIN PIPING SERVING ROOF AREAS

Pipe Diameters (in inches)	Maximum Roof Areas (in square feet)			
	Pitch of Piping Per Foot			
	0.5% 1/16 inch	1% 1/8 inch	2% 1/4 inch	4% 1/2 inch
3	650	910	1,300	1,820
4	1,300	1,950	2,900	3,770
5	2,470	3,610	5,070	7,020
6	4,160	5,980	8,320	11,700
8	9,320	13,000	18,200	26,000
10	17,680	24,700	33,800	50,440
12	27,300	41,080	57,200	81,900
15	52,000	72,900	105,300	146,640
18	85,800	121,550	174,200	247,000
21	156,520	179,660	256,880	374,400
24	187,200	261,560	382,200	546,000

**Note:** Divide square footage by 26 to obtain flow in gpm.

Table 82.36-2

**MINIMUM SIZE OF STORM WATER HORIZONTAL DRAIN PIPING  
PAVED OR GRAVELED GROUND SURFACE AREAS**

Pipe Diameters (in inches)	Maximum Surface Areas (in square feet)			
	Pitch of Piping Per Foot			
	1/16 inch 0.5%	1/8 inch 1%	1/4 inch 2%	1/2 inch 4%
3	810	1,140	1,625	2,270
4	1,625	2,430	3,740	4,720
5	3,090	4,550	6,350	8,760
6	5,200	7,470	10,400	14,600
8	11,650	16,250	22,750	32,000
10	22,100	30,850	44,250	63,000
12	34,150	52,300	71,500	103,200
15	65,000	91,000	131,500	183,000
18	107,000	152,000	210,500	321,000
21	195,000	274,000	381,000	468,000
24	334,000	495,000	675,000	992,000

Note: Divide square footage by 32.5 to obtain flow in gpm.

Table 82.36-3

**MINIMUM SIZE OF STORM WATER HORIZONTAL DRAIN PIPING  
SERVING LAWNS, PARKS AND SIMILAR LAND SURFACES**

Pipe Diameters (in inches)	Maximum Surface Areas (in square feet)			
	Pitch of Piping Per Foot			
	1/16 inch	1/8 inch	1/4 inch	1/2 inch
3	2,600	3,640	5,200	7,280
4	5,200	7,800	11,960	16,980
5	9,880	13,660	20,280	28,080
6	16,640	23,920	33,280	46,800
8	37,280	52,000	72,800	112,000
10	69,720	98,800	135,200	201,760
12	109,200	164,320	228,800	327,600
15	208,000	291,200	421,200	588,560
18	343,200	490,200	696,800	988,000
21	628,080	718,640	1,027,520	1,497,600
24	748,800	1,046,240	1,528,800	2,184,000

Note: Divide square footage by 104 to obtain flow in gpm.

Table 82.36-4

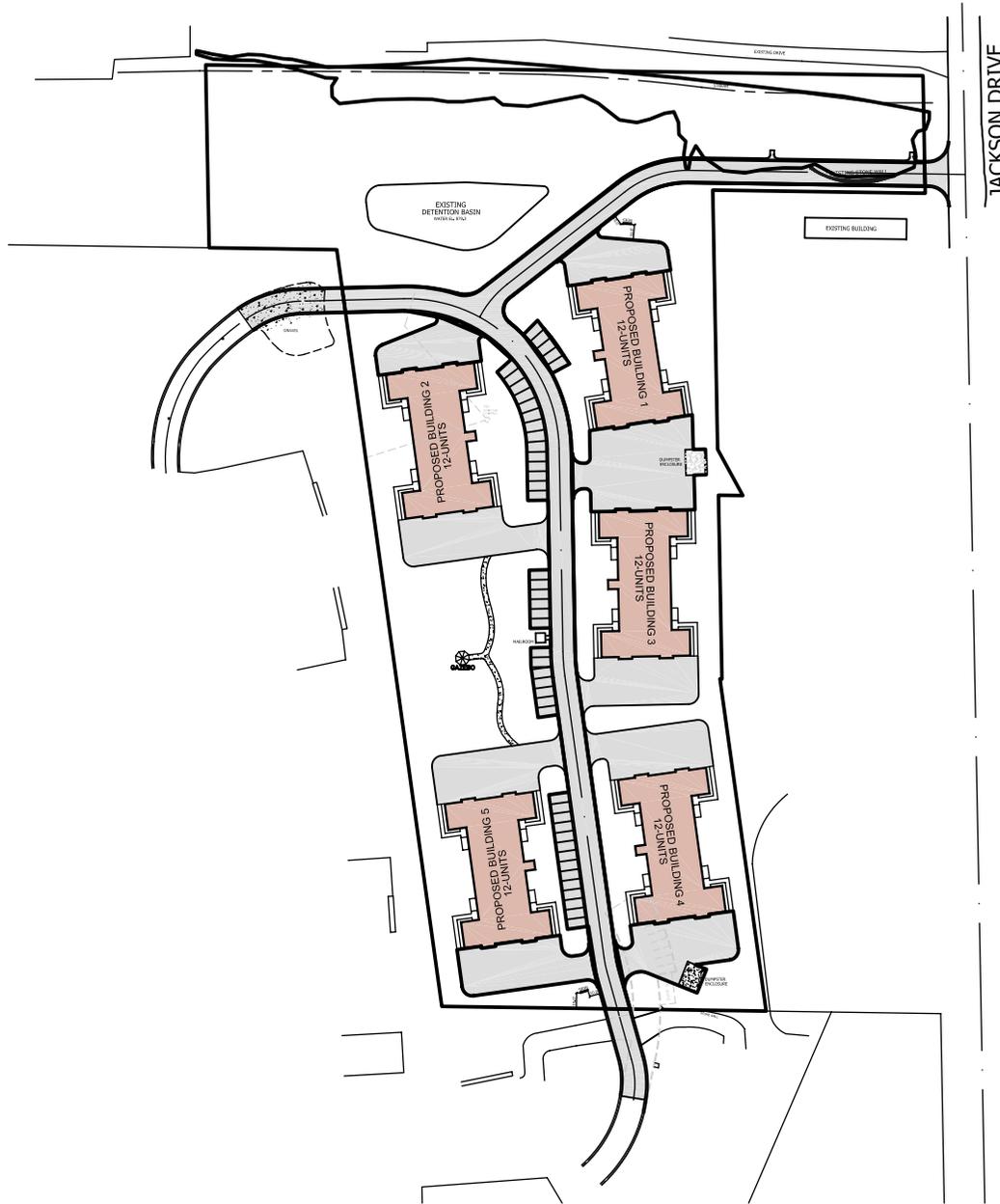
**MAXIMUM CAPACITY OF STORM WATER  
HORIZONTAL DRAIN PIPING FLOWING FULL**

Pipe Diameters (in inches)	Maximum Capacities in Gallons Per Minute			
	Pitch of Piping Per Foot			
	1/16 inch	1/8 inch	1/4 inch	1/2 inch
3	25	35	50	70
4	50	75	115	145
5	97	140	195	270
6	160	230	320	450
8	353	500	700	1,000
10	680	950	1,300	1,940
12	1,050	1,580	2,200	3,150
15	2,000	2,800	4,050	5,640
18	3,300	4,675	6,700	9,500
21	6,020	8,510	12,880	18,400
24	7,200	10,080	14,700	21,000



# CRANBERRY CREEK ESTATES

VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN



PREMIER REAL ESTATE MANAGEMENT, LLC  
 19105 W. CAPITOL DR., STE. 200  
 BROOKFIELD, WISCONSIN 53045  
 (262) 790-4560



**DEVELOPMENT PLAN**  
 SCALE 1" = 60'

**INDEX OF DRAWINGS**

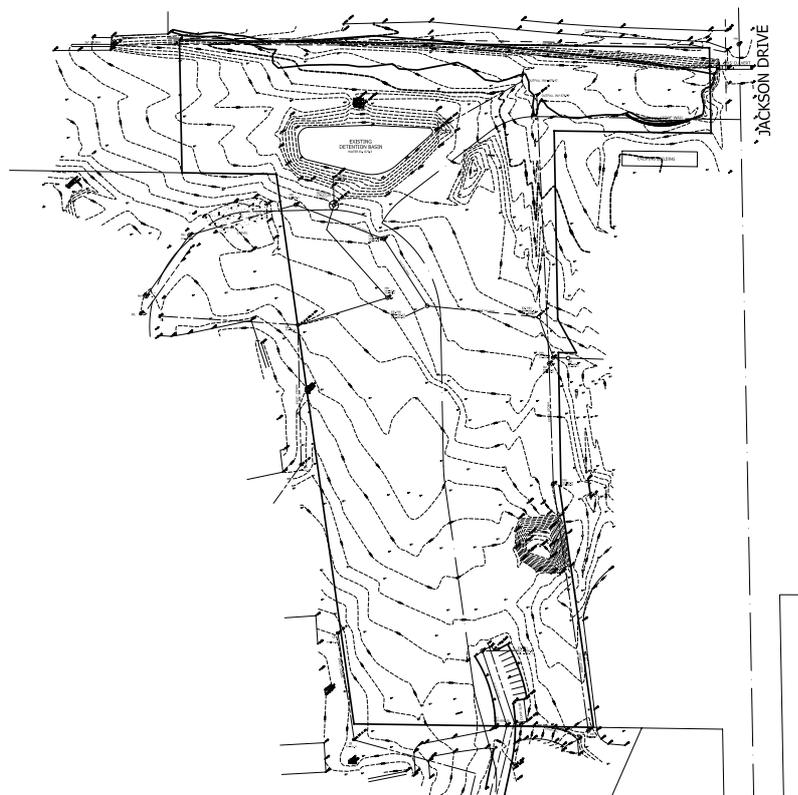
- C1.0 - DEVELOPMENT PLAN
- C1.1 - EXISTING CONDITIONS PLAN
- C2.0 - OVERALL SITE GRADING PLAN
- C2.1 - PARTIAL SITE GRADING PLAN
- C2.2 - PARTIAL SITE GRADING PLAN
- C2.3 - PARTIAL SITE GRADING PLAN
- C3.0 - SITE UTILITIES PLAN
- C4.0 - LANDSCAPE PLAN & DETAILS
- C5.0 - EROSION CONTROL PLAN & DETAILS

<b>PROJECT:</b> PREMIER CRANBERRY CREEK, LLC CRANBERRY CREEK ESTATES JACKSON STREET, VILLAGE OF JACKSON WASHINGTON COUNTY, WISCONSIN	<b>LOCATION:</b>	<b>DESCRIPTION:</b> DEVELOPMENT PLAN	REV. NO.	DESCRIPTION	DATE	BY	REV. NO.	DESCRIPTION	DATE	BY
DRAWN BY: TWV CHECKED BY:			DATE: 10/02/14		SHEET:		<b>C1.0</b>		PROJECT NUMBER: 7402	

**HARRIS**  
 & ASSOCIATES, INC.  
 200 LAW BUILDING  
 APPLETON, WI 54911  
 TEL: (920) 733-8377  
 FAX: (920) 733-4761

# CRANBERRY CREEK ESTATES

VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN



PREMIER REAL ESTATE MANAGEMENT, LLC  
 19105 W. CAPITOL DR., STE. 200  
 BROOKFIELD, WISCONSIN 53045  
 (262) 790-4560



EXISTING CONDITIONS PLAN  
 SCALE 1" = 60'

<b>PROJECT:</b>	CRANBERRY CREEK ESTATES, LLC CRANBERRY CREEK ESTATES	DATE:			
<b>LOCATION:</b>	JACKSON STREET VILLAGE OF JACKSON WASHINGTON COUNTY, WISCONSIN	<b>DATE:</b>			
<b>DESCRIPTION:</b>	EXISTING CONDITIONS PLAN	<b>DATE:</b>			
<b>SCALE:</b>	1" = 60'	<b>DATE:</b>			
<b>PROJECT NO.:</b>	7402	<b>DATE:</b>			

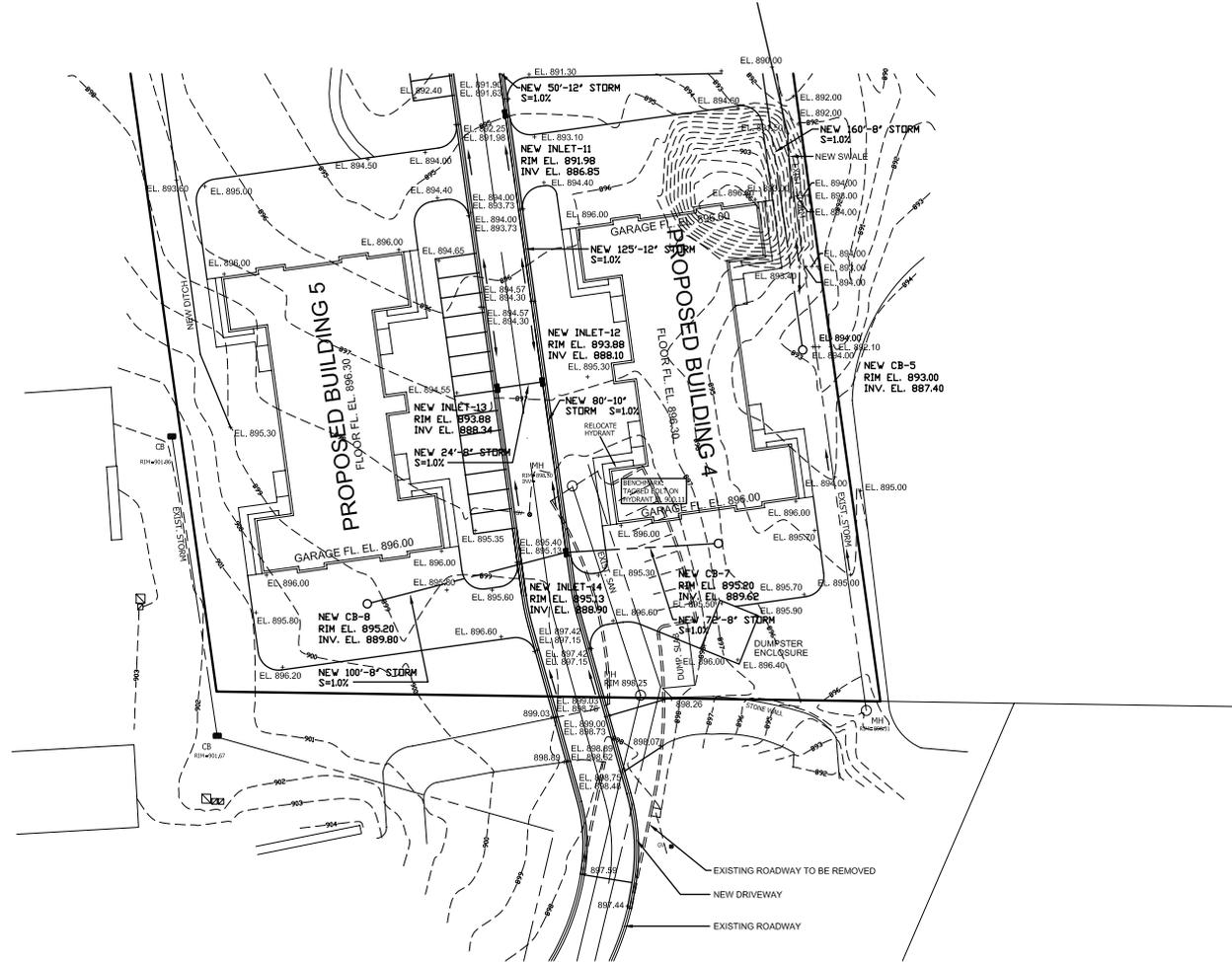
**HARBERS ARCHITECTS**  
 INC.  
 2777 MONROE AVE. ST.  
 APPLETON, WI 54911  
 TEL: (920) 734-4377  
 FAX: (920) 734-4721





# CRANBERRY CREEK ESTATES

VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN



PREMIER REAL ESTATE MANAGEMENT, LLC  
 19105 W. CAPITOL DR., STE. 200  
 BROOKFIELD, WISCONSIN 53045  
 (262) 790-4560



**PARTIAL SITE GRADING PLAN**  
 SCALE 1" = 30'

<b>PROJECT:</b> PREMIER CRANBERRY CREEK, LLC CRANBERRY CREEK ESTATES JACKSON STREET VILLAGE OF JACKSON WASHINGTON COUNTY, WISCONSIN	<b>LOCATION:</b> JACKSON STREET VILLAGE OF JACKSON WASHINGTON COUNTY, WISCONSIN	<b>DESCRIPTION:</b> PARTIAL SITE GRADING PLAN	DRAWN BY: TWV	CHECKED BY:	DATE: 10/02/14
			REV. NO.	DESCRIPTION	DATE

**HARRIS**  
 & ASSOCIATES, INC.  
 CIVIL ENGINEERS  
 AND LAND SURVEYORS  
 2718 NORTH MEADE ST.  
 APPLETON, WI 54911  
 TEL: (920) 733-8377  
 FAX: (920) 733-4731



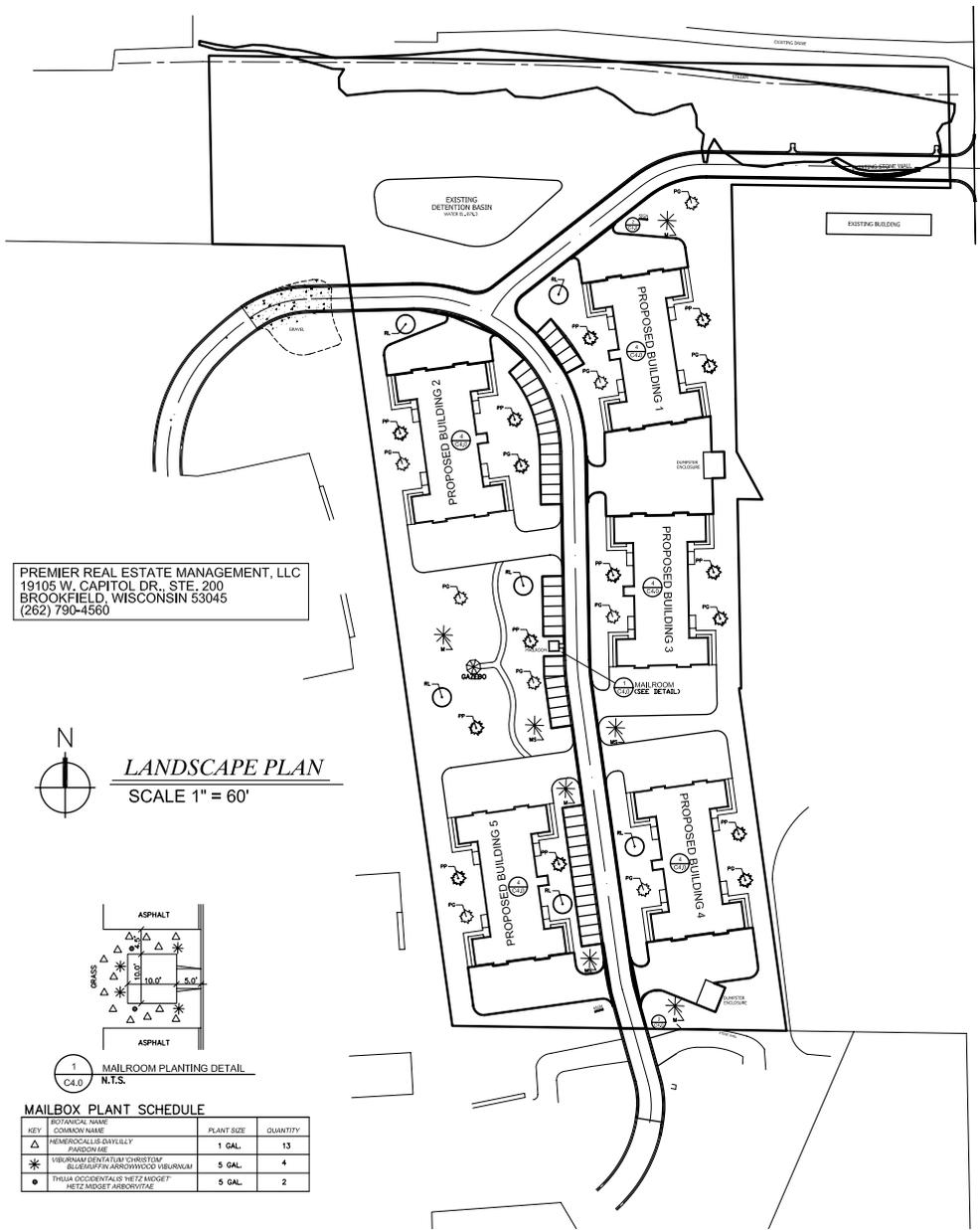
**C2.3**  
 PROJECT NUMBER  
 7402





# CRANBERRY CREEK ESTATES

VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

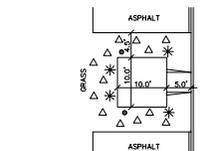


JACKSON DRIVE

PREMIER REAL ESTATE MANAGEMENT, LLC  
19105 W. CAPITOL DR., STE. 200  
BROOKFIELD, WISCONSIN 53045  
(262) 790-4560



LANDSCAPE PLAN  
SCALE 1" = 60'



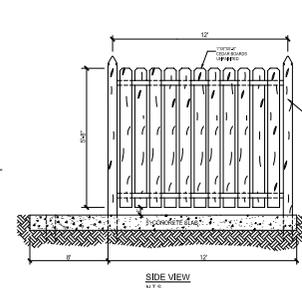
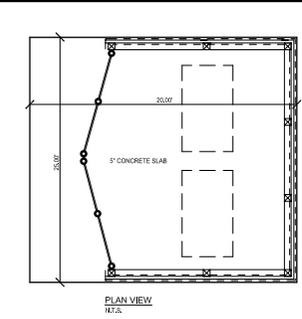
1 MAILROOM PLANTING DETAIL  
N.T.S.

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	QUANTITY
△	HEMEROCALLIS DAYLILY PANDORAE	1 GAL.	13
*	VIORNIAM DENTATUM CHRISTOM BLUEGRASS IN ARROWWOOD VIBURNUM	5 GAL.	4
●	THUSA OCCIDENTALIS 'HEIZ MIDGET' HEIZ MIDGET ARBORVITAE	5 GAL.	2



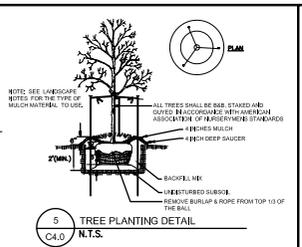
2 PROJECT SIGN PLANTING DETAIL  
N.T.S.

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	QUANTITY
△	HEMEROCALLIS DAYLILY PANDORAE	1 GAL.	7
□	HEMEROCALLIS DAYLILY STELLA D'ORO	1 GAL.	7
*	VIORNIAM DENTATUM CHRISTOM BLUEGRASS IN ARROWWOOD VIBURNUM	5 GAL.	2
●	THUSA OCCIDENTALIS 'HEIZ MIDGET' HEIZ MIDGET ARBORVITAE	5 GAL.	6



3 DUMPSTER ENCLOSURE DETAIL  
N.T.S.

4 BUILDING PLANTING DETAIL  
N.T.S.



5 TREE PLANTING DETAIL  
N.T.S.

LANDSCAPE NOTES:

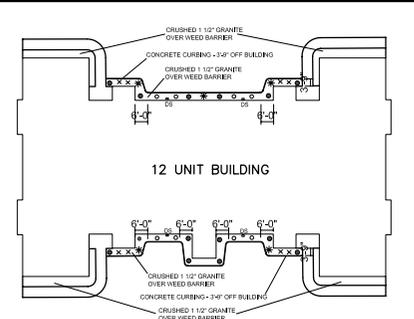
1. VERIFY UTILITIES BEFORE BEGINNING ANY WORK.
2. ALL PLANT BEDS SHALL HAVE 6" TOPSOIL, FABRIC WEED BARRIER AND 4" CONTINUOUS LAYER OF CEDAR HARDWOOD MULCH. ALL TREES AND LARGE SHRUBS IN LAWN AREAS AND BERMED PLANTING AREAS SHALL BE MULCHED WITH A 4" HARDWOOD MULCH. PROVIDE PLASTIC LANDSCAPE EDGING AROUND ALL PLANTING BEDS AS PER PLANS. PLASTIC EDGING SHALL BE LANDSCAPE CONTRACTOR GRADE OLY OLA BLACKJACK PLASTIC EDGING.
3. ALL TREES SHALL BE B&B, STAKED AND GUYED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSEYMEANS STANDARDS.
4. NEW AND DISTURBED LAWN AREAS SHALL BE RESTORED WITH SEED AND MULCH OR HYDRO-SEEDING.
5. MODIFICATIONS TO PLANT SPACING MAY BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR. DESIGNER SHOULD BE NOTIFIED OF ANY PROPOSED CHANGES TO PLANT MATERIALS OR DESIGN.
6. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED SITE WORK. IN CASE OF DISCREPANCIES BETWEEN PLAN AND PLANT COUNTS, PLAN SHALL GOVERN.
7. ALL LANDSCAPING WITHIN THE FRONT YARD SETBACK SHALL HAVE THE FOLLOWING RESTRICTIONS: 1) SHRUBS SHALL BE MAINTAINED AT A HEIGHT OF NO GREATER THAN THREE (3) FEET; 2) TREES MUST HAVE A CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE FIRST BRANCH OF A MINIMUM OF SIX (6) FEET.

PLANT SCHEDULE

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	MATURITY	QUANTITY / SPACING
PG	PIZZA GARDIA DENSITA BLACK HILLS SPRUCE	6"	20-40'	12 / SPACE PER PLAN
PP	PIZZA PONSOP COLORADO SPRUCE	4"	20-40'	11 / SPACE PER PLAN

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	MATURITY	QUANTITY / SPACING
RL	AMERSALLA REDGRAP REDMON LARCHEN	2 1/2" CAL	50'	6 / SPACE PER PLAN
M	MALLS SCANDL WYMAN CRABAPPLE	2" CAL	20'	4 / SPACE PER PLAN
MS	MALLS SARGENT SARGENT CRABAPPLE	2" CAL	6'-10'	4 / SPACE PER PLAN



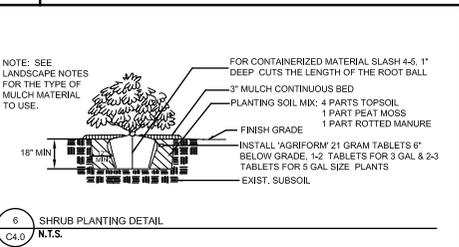
PLANT SCHEDULE

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	QUANTITY
○	POTENTILLA FRICTIOSA GOLDENRINGER GOLDENRINGER POTENTILLA	3 GAL.	6 / BUILDING
●	THUSA OCCIDENTALIS 'HEIZ MIDGET' HEIZ MIDGET ARBORVITAE	5 GAL.	14 / BUILDING
*	VIORNIAM DENTATUM CHRISTOM BLUEGRASS IN ARROWWOOD VIBURNUM	5 GAL.	5 / BUILDING
×	SPREIA x BUNALIA GOLDPLAME GOLDPLAME SPREIA	3 GAL.	8 / BUILDING

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	QUANTITY
SD	HEMEROCALLIS 'STELLA DE ORO' STELLA D'ORO DWARF DAYLILY	1 GAL.	4

3 ROLLS 4x100' 3.2 OZ. WEED BARRIER  
N.T.S.

2 ROLLS 20' BLACK EDGING WITH STAKES PROFESSIONAL GRADE  
N.T.S.



6 SHRUB PLANTING DETAIL  
N.T.S.

2718 NORTH MEADE ST.  
APPLETON, WI 54911  
(920) 733-8377  
FAX: (920) 733-4731

**HARIS & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTS

DATE: \_\_\_\_\_ BY: \_\_\_\_\_

REV. NO. DESCRIPTION DATE BY REV. NO. DESCRIPTION

PREMIER CRANBERRY CREEK, LLC  
CRANBERRY CREEK ESTATES  
JACKSON STREET, VILLAGE OF JACKSON  
WASHINGTON COUNTY, WISCONSIN

LANDSCAPE PLAN & DETAILS

PROJECT: \_\_\_\_\_ LOCATION: \_\_\_\_\_ DESCRIPTION: \_\_\_\_\_

DRAWN BY: TWV  
CHECKED BY: \_\_\_\_\_

DATE: 10/02/14  
SHEET  
**C4.0**  
PROJECT NUMBER  
7402





**LETTER OF TRANSMITTAL**

**Project Name:** Digester Improvements Project  
**Project Number:** J0420040  
**Date:** October 13, 2014

**To:** Brian Kober, P.E.  
 Village of Jackson  
 N168 W20733 Main Street  
 Jackson, WI 53037

Item	Quantity	Date	Description
1	2	10/13/14	Pay Request #1

- Purpose:**
- |  |   |
|--|---|
| <input type="checkbox"/> For your approval             | <input type="checkbox"/> Return of submittal    |
| <input type="checkbox"/> For your information          | <input type="checkbox"/> No Exception Taken     |
| <input type="checkbox"/> For your review and comment   | <input type="checkbox"/> Rejected               |
| <input type="checkbox"/> As you requested              | <input type="checkbox"/> Submit Specified Item  |
| <input checked="" type="checkbox"/> Please return      | <input type="checkbox"/> Make Corrections Noted |
| <input checked="" type="checkbox"/> For your signature | <input type="checkbox"/> Revise and Resubmit    |
| <input type="checkbox"/> For your quotation            | <input type="checkbox"/>                        |

**Remarks:**

Please find enclosed the aforementioned documents. The Pay Request is ready for your review and payment. If you have any questions, please give me a call at (262) 657-1550.

**Signed:**  **Copies:**  
 Gregory J. Droessler, P.E.



October 13, 2014

Mr. Brian Kober, P.E.  
Village of Jackson  
N168 W20733 Main Street  
Jackson, WI 53037

Re: Digester Improvements Project

Dear Mr. Kober:

Clark Dietz, Inc. has reviewed the first pay request from Sabel Mechanical, LLC for the Digester Improvements Project currently underway at the wastewater treatment plant. The total amount requested on this draw is \$15,446.62 for the following work complete:

- Mobilization to the site, including the bonds and insurance required for the project
- Submittal assembly and submission
- Pre-Construction meeting

Less the 5% retainage, Sabel is requesting a payment of \$14,674.29. At this time Clark Dietz, Inc. takes no exceptions to their request and recommends payment by the Village. Please let me know if you have any questions or concerns regarding this pay request.

Sincerely,  
Clark Dietz, Inc.

A handwritten signature in blue ink, appearing to read 'G. Droessler', is written over a light blue horizontal line.

Gregory J. Droessler, P.E.  
Project Manager



# INVOICE

Invoice Number: 1004-1st Pay request

Invoice Date: Aug 8, 2014

Page: 1

N7295 Winnebago Dr  
 Fond du Lac, WI 54935  
 920-904-5579

Bill To:
JacksonWWTF PO Box 637 Jackson, WI 53037

Ship to:
JacksonWWTF PO Box 637 Jackson, WI 53037

Customer ID	Customer PO	Payment Terms	
JA-Jackson WWTF		Net 30 Days	
Sales Rep ID	Shipping Method	Ship Date	Due Date
			9/7/14

Quantity	Item	Description	Unit Price	Amount
1.00		Bonding	13,844.40	13,844.40
1.00		Bank	662.22	662.22
10.00	1006	Doug	84.00	840.00
100.00	1000	Mileage	1.00	100.00

**PAST DUE AMOUNTS ARE SUBJECT TO A FINANCE CHARGE OF 18% COMPOUNDED MONTHLY. COLLECTION FEES AND ATTORNEY FEES WILL BE ASSESSED TO ALL ACCOUNTS PLACED FOR COLLECTION.**

Subtotal	15,446.62
Sales Tax	
<b>TOTAL</b>	<b>15,446.62</b>

**APPLICATION AND CERTIFICATE FOR PAYMENT**

**TO OWNER:**  
 Village of Jackson  
 N168 W20733 Main Street  
 Jackson, WI 53037  
**FROM CONTRACTOR:**  
 Sabel Mechanical LLC  
 N7295 Winnebago Drive  
 Fond du Lac, WI 54935

**PROJECT:**  
 Village of Jackson WWTP  
 Digester Improvements  
 Jackson, WI 53037  
**VIA ARCHITECT:**  
 Clark Deitz, Inc  
 5017 Green Bay Road  
 Suite 126  
 Kenosha, WI 53144

**CONTRACT FOR:** Digester Improvements

**APPLICATION #:** 1004-1  
**PERIOD TO:** 08/25/14  
**PROJECT NOS:**  
**CONTRACT DATE:** 08/01/14

**Distribution to:**

Owner	
Const. Mgr	
Architect	X
Contractor	

**CONTRACTOR'S APPLICATION FOR PAYMENT**

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown therein is now due.

<b>1. ORIGINAL CONTRACT SUM</b> -----	\$ 367,900.00
<b>2. Net change by Change Orders</b> -----	\$ 367,900.00
<b>3. CONTRACT SUM TO DATE (Line 1 +/- 2)</b>	\$ 15,446.62
<b>4. TOTAL COMPLETED &amp; STORED TO DATE-\$</b> (Column G on Continuation Sheet)	

**5. RETAINAGE:**

a. 5.0% of Completed Work (Columns D+E on Continuation Sheet)	\$ 772.33
b. 10.0% of Stored Material (Column F on Continuation Sheet)	\$
Total Retainage (Line 5a + 5b or Total in Column 1 of Continuation Sheet)	\$ 772.33

<b>6. TOTAL EARNED LESS RETAINAGE</b> ----- (Line 4 less Line 5 Total)	\$ 14,674.29
---	--------------

**7. LESS PREVIOUS CERTIFICATES FOR PAYMENT**  
(Line 6 from prior Certificate)-----

	\$
<b>8. CURRENT PAYMENT DUE</b> -----	\$ 14,674.29

**9. BALANCE TO FINISH, INCLUDING RETAINAGE**  
(Line 3 less Line 6)

	\$ 353,225.71
--	---------------

**CONTRACTOR:**   
 By: \* Clark Deitz Date: \* 8-25-2014

State of: \_\_\_\_\_  
 County of: \_\_\_\_\_  
 Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_

Notary Public: \_\_\_\_\_  
 My Commission expires: \_\_\_\_\_

**CERTIFICATE FOR PAYMENT**

In accordance with Contract Documents, based on on-site observations and the data comprising application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

**AMOUNT CERTIFIED** ----- \$  
 (Attach explanation if amount certified differs from the amount applied for. Initial all figures on this application and on the Continuation Sheet that are changed to conform to the amount certified.)

**ARCHITECT:**

By: \_\_\_\_\_ Date: \_\_\_\_\_  
 This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner of Contractor under this Contract.

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month		
<b>TOTALS</b>		
<b>NET CHANGES by Change Order</b>		

**CONTINUATION SHEET**

ATTACHMENT TO PAY APPLICATION

APPLICATION NUMBER: 1004-1

PROJECT:

APPLICATION DATE: 08/19/14

Village of Jackson WWTP

PERIOD TO:

25-Aug-14

Digester Improvements

ARCHITECT'S PROJECT NO:

Jackson, WI 53037

A Item No.	B Description of Work	C Scheduled Value		D Work Completed		E Work Completed This Period	F Materials Presently Stored (Not In D or E)	G		H Balance To Finish (C - G)	I Retainage
		Value		From Previous Application (D + E)				Total Completed And Stored To Date (D + E + F)	% (G/C)		
1	General Contract work	29,317.00				15,446.62		15,446.62	53%	13,870.38	772.33
2	General Demolition Work	13,060.00								13,060.00	
3	Painting Work	14,880.00								14,880.00	
4	Process Piping	47,544.00								47,544.00	
5	Electrical Work	33,659.00								33,659.00	
6	Digester Mxing Equipment	114,000.00								114,000.00	
7	Digester Covers	55,440.00								55,440.00	
8	Allowance	20,000.00								20,000.00	
9	Digester Inspection	40,000.00								40,000.00	
10											
11											
12											
13											
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16											
17											
18											
19											
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21											
22											
23											
24											
25											
26											
27											
28											
SUBTOTALS PAGE 2		367,900.00				15,446.62		15,446.62	4%	352,453.38	772.33



**IntelliSys Inc.**  
205 W. Wacker Drive  
Suite 1320  
Chicago, IL 60606

## PROPOSAL

Phone: 800 347-9977  
Fax: 847 348-8141  
Date: September 11, 2014

The Seller hereby agrees to sell the Buyer the following subject to the terms stated herein.

---

Proposal No. 140911JAC

**TO: Jackson Wastewater**  
W194 N16658 Eagle Drive  
P.O. Box 147  
Jackson, WI 53037  
Attn: Brian Kober

**PROJECT: IPMC Scada Software**

We are pleased to offer the following specified software that will provide for an update and expansion of the Jackson SCADA and Data Management Systems. The purpose of this project is to update the SystemVIEW HMI application.

The major components included in this scope are:

**1. SystemVIEW 7 (2048 Real IO Tags, 4 Client Licenses).**

**The software solution provides:**

- Inexpensive Browser based client licenses.
- Time based compression of series process and historical data ensures highly efficient queries.
- Cross platform client operation on Windows, Linux, MAC, IOS and Android.
- OPC compatibility with SVG (Scalable Vector Graphics).
- Views will automatically adjust to the device display.
- Compatible with Windows Server 2012, 2008, Windows 8, 7 and XP.
- Full development tools included.

**Services include:**

- Existing SystemVIEW graphics will be replicated as closely as possible within the constraints of the new application design.
- The existing SystemVIEW application on the Historian Server will not be de-commissioned until the new RTServer & SystemVIEW applications are complete and tested.
- Approx. 33 Process, Trend and Control Screens
- Approx. 1065 IO tags
- Approx. 175 data extracts
- 5 days project management, onsite installation, validation and training included



**Project Total....**

**\$ 26,000**

---

Escalation: Price is firm for 60 days from date of Proposal.  
Freight: ( ) Price is F.O.B. Factory. (X) Freight allowed to jobsite. ( ) No freight included.  
Taxes: ALL APPLICABLE TAXES MUST BE ADDED.  
Terms: Progress payments will be invoiced as a percentage of the project total as follows: 15% to bind the agreement, start work and order materials, 70% when hardware or software is installed on-site, and 15% upon completion of startup and testing. Progress payments will be invoiced with 30 days net terms. A 1.5% service charge will apply to the unpaid balance for each 30 day period, commencing 30 days after date of invoice.

---

THE SELLER RESERVES THE RIGHT TO REVIEW AND REVISE THIS PROPOSAL AFTER 30 DAYS FROM ISSUANCE

---

IntelliSys Inc.

By: \_\_\_\_\_

*Randy Hoody*

I accept this proposal and all terms thereof:

Accepted: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



October 10, 2014

BOARD OF DIRECTORS

**Nancy Frank, Chair**  
University Of Wisconsin–Milwaukee

**Tom Grisa, P.E., Vice Chair**  
City of Brookfield

**David Lee, P.E., Secretary, Treasurer**  
We Energies

**Don Berghammer, P.E.**  
Wisconsin Department of Transportation

**Brian Depies**  
Yaggy Colby Associates, Inc.

**Sharon Gayan, Wisconsin Department of  
Natural Resources (non-voting advisor)**

**Michael G. Hahn, P.E., P.H.**  
Southeastern Wisconsin Regional  
Planning Commission

**Andy Holschbach**  
Ozaukee County

**Ghassan Korban**  
City of Milwaukee

**Peter McAvoy**  
UWM School of Freshwater Sciences

**Ezra Meyer**  
Clean Wisconsin

**Neil Palmer**  
Village of Elm Grove

**Kevin Shafer, P.E.**  
Milwaukee Metropolitan Sewerage District

**Dan Stoffel**  
Washington County

600 East Greenfield Avenue  
Milwaukee, WI 53204-2944

(414) 382-1766  
swtwater.org

Mr. Brian Kober  
Village of Jackson  
N168 W20733 Main St.  
Jackson, WI 53037

Dear Mr. Kober,

I am writing to formally request your financial support of Sweet Water's stormwater pollution outreach and education efforts for the coming year, 2015. Sweet Water is continuing to link nearly 50 partners across the region, expanding our *Respect Our Waters* stormwater pollution public education effort.

Support in 2014 came from 35 area municipalities, from Kenosha at the Illinois border, to Germantown and Ozaukee County to the north. That local government backing was more than matched by grants secured from the Wisconsin Department of Natural Resources (WI DNR) and the Joyce Foundation.

With three years of the *Respect Our Waters* campaign behind us, we are now ready to formalize this effort as an on-going initiative spearheaded by Sweet Water. To take this step will also require a commitment from you, our municipal partners, to enable us to deliver a quality outreach campaign. **We hope that we can count on your community's continued support and participation.**

Sweet Water successfully secured a second two-year \$80,000 WI DNR grant submitted on behalf of Milwaukee County. Root-Pike WIN also submitted a proposal to the WI DNR for a two-year grant request of \$80,000 for the Village of Mount Pleasant. **As a result of this unified effort, individual municipalities can join in a much bigger campaign at a fraction of the cost to any one community.**

**Our outreach campaign, *Respect Our Waters*, is designed to directly meet the information and education (I&E) requirements of the WI DNR's NR 216 program.** The campaign uses a variety of efforts to encourage direct public involvement in nonpoint source pollution reduction efforts. The DNR has committed to review our program to ensure that they will be able to certify that it will meet their requirements.

The outreach campaign in 2015 will incorporate the following components: the **advertising campaign** to be led in 2015 by Eichenbaum and Associates; **media publicity**; **articles** upon request for your municipal newsletters; a **website** and **social media** presence; participation in **community events**; and a **speakers' bureau** available for presentations in your community on a variety of subjects.

The 2015 outreach will be informed by a review of the 2014 media campaign deliverables and program components later this fall. We will again bring together a communication committee comprised of municipal partners and key public relations professionals to aid us in this review. After this review, we will development the 2015 campaign.

We continue to be very pleased with the strong partnership with our ad agency, Eichenbaum and Associates. Not only does Eichenbaum and Associates bring unique and engaging creative talent to the table; they also have a talented and savvy public relations and media team that have been able to substantially leverage our investment.

In addition to our Sparkles' PSA's and water quality related news stories that ran on Fox 6 and ads on Fox6Now.com, we presented workshops, exhibited at community events, revised our *Respect Our Waters* website, and pushed the campaign out into the social media on the web.

We have also strengthened our partnership with Root-Pike WIN as we worked to develop components of the campaign. **We are building momentum.** We hope that you see value in this campaign for your community and will continue to support this regional effort.

I have attached a proposed 2015 funding template that outlines support levels for all the potential partners based on a combination of municipal population, surface area and a specific program cost of \$45,000. We hope that your community will participate at the level as indicated by the attached matrix.

**Please join our efforts in 2015 with support from your community.** You may consider this letter a formal request for your participation in our program. If you would like to participate please acknowledge by sending an email after October 10, to Kate Morgan at [morgan@swwtwater.org](mailto:morgan@swwtwater.org). We plan on sending participating communities an invoice in January 2015.

If you have any questions, I can be contacted at [marchese@swwtwater.org](mailto:marchese@swwtwater.org), or 414-382-1766. We greatly appreciate your support of this important initiative. Thank you.

Sincerely,



Pat Marchese  
Interim Executive Director

Attachment

## 2015 Supporter Roster for Sweet Water Stormwater Information & Education Outreach Program

Municipality	Land Area (square miles)	% of Total Area	Approx. Population	% of Total Population	Proposed 2015 Cost Share to raise \$45k in total
Adell (Village of)	0.56	0.14%	516	0.05%	\$ 42.38
Bayside (Village of)	2.4	0.60%	4,389	0.41%	\$ 227.11
Brookfield (City of)	27.09	6.79%	37,920	3.52%	\$ 2,320.77
Brown Deer (Village of)	4.4	1.10%	11,999	1.11%	\$ 498.90
Butler (Village of)	0.8	0.20%	1,841	0.17%	\$ 83.60
Campellsport (Village of)	1.33	0.33%	2,016	0.19%	\$ 117.16
Cascade (Village of)	0.81	0.20%	709	0.07%	\$ 60.52
Cedarburg (City of)	4.83	1.21%	11,412	1.06%	\$ 510.91
Cudahy (City of)	4.77	1.20%	18,267	1.70%	\$ 650.68
Elm Grove (Village of)	3.27	0.82%	5,934	0.55%	\$ 308.47
Fox Point (Village of)	2.9	0.73%	6,701	0.62%	\$ 303.61
Fredonia (Village of)	2.09	0.52%	2,160	0.20%	\$ 163.06
Germantown (Village of)	34.42	8.63%	19,749	1.83%	\$ 2,354.97
Glendale (City of)	5.76	1.44%	12,872	1.19%	\$ 593.89
Grafton (Village of)	5.06	1.27%	11,459	1.06%	\$ 524.87
Greenfield (City of)	11.51	2.89%	36,720	3.41%	\$ 1,416.43
Jackson (Village of)	3.05	0.77%	6,753	0.63%	\$ 313.16
Kewaskum (Village of)	2.45	0.61%	4,004	0.37%	\$ 221.89
Menomonee Falls (Village of)	32.92	8.26%	35,626	3.31%	\$ 2,601.88
Mequon (City of)	46.28	11.61%	23,132	2.15%	\$ 3,094.95
Milwaukee (City of)	96.12	24.11%	594,833	55.21%	\$ 17,846.96
Milwaukee (County of)					
Ozaukee County					
Newburg (Village of)	0.89	0.22%	1,254	0.12%	\$ 76.42
Random Lake (Village of)	1.35	0.34%	1,594	0.15%	\$ 109.48
Richfield (Village of)	35.91	9.01%	11,300	1.05%	\$ 2,262.61
River Hills (Village of)	5.1	1.28%	1,597	0.15%	\$ 321.18
Saukville (Village of)	3.8	0.95%	4,465	0.41%	\$ 307.70
Shorewood (Village of)	1.59	0.40%	13,162	1.22%	\$ 364.60
South Milwaukee (City of)	4.8	1.20%	21,156	1.96%	\$ 712.71
Slinger (Village of)	5.29	1.33%	5,068	0.47%	\$ 404.39
St. Francis (City of)	2.55	0.64%	9,365	0.87%	\$ 339.49
Thiensville (Village of)	1.2	0.30%	3,235	0.30%	\$ 135.28
Waldo (Village of)	0.94	0.24%	503	0.05%	\$ 63.55
Wauwatosa (City of)	13.25	3.32%	46,396	4.31%	\$ 1,716.70
West Allis (City of)	11.39	2.86%	60,411	5.61%	\$ 1,904.41
West Bend (City of)	14.57	3.65%	31,078	2.88%	\$ 1,471.30
West Milwaukee (Village of)	1.1	0.28%	4,206	0.39%	\$ 149.92
Whitefish Bay (Village of)	2.13	0.53%	14,110	1.31%	\$ 414.88
<b>Totals</b>	<b>398.68</b>	<b>100.00%</b>	<b>1,077,396</b>	<b>100.00%</b>	<b>\$ 45,000.00</b>

## **DRAFT MINUTES**

### **Board of Public Works Meeting**

**Tuesday, October 28, 2014 – 7:00 P.M.**

**Jackson Village Hall**

**N168W20733 Main Street**

**1. Call to Order and Roll Call.**

Chairman Tr. Don Olson called the meeting to order at 7:00 p.m.

Members present: Tr. Jack Lippold, Tr. Scott Mittelsteadt, Brian Heckendorf, Scott Thielmann, Corinne Benson, Linda Granec.

Members excused:

Staff present: Brian Kober and John Walther.

**2. Approval of Minutes for September 30, 2014, meeting.**

Motion by Corinne Benson, second by Tr. Lippold to approve the minutes of the September 30, 2014, Board of Public Works meeting.

Vote: 7 ayes, 0 nays. Motion Carried unanimously.

**3. Pay Request #1 – Digester Improvement Project – Sabel Mechanical, LLC.**

Director of Public Works, Brian Kober, presented information on the item. Motion by Brian Heckendorf, second by Linda Granec to Recommend the Village Board Approve Pay Request #1 – Digester Improvement Project – Sabel Mechanical LLC, in the amount of \$14,674.29.

Vote: 7 ayes, 0 nays. Motion Carried unanimously.

**4. Purchase of IPMC Scada Software for WWTP – Intellisys Proposal.**

Brian Kober presented information on the item. This was going to be a 2015 budget item but they have changed to a server system. The software that oversees the module at the plant had glitches. Would use replacement system money. Motion by Corinne Benson, second by Tr. Mittelsteadt to Recommend the Village Board Approve the IPMC Scada Software for WWTP – Intellisys.

Vote: 7 ayes, 0 nays. Motion Carried unanimously.

**5. Sweet Water Financial Support Request.**

Brian Kober presented information on the item. Motion by Scott Thielmann, second by Corinne Benson to Recommend the Village Board Approve the Request of \$313.16 to Sweet Water.

Vote: 7 ayes, 0 nays. Motion Carried unanimously.

**6. Request for connection to the Jackson Water System – 2321 Western Avenue.**

Brian Kober presented information on the item. Property owner, Scott Sullivan, was present. This is outside the special casing area. After discussion motion by Tr. Olson, second by Linda Granec to refer the item to a future meeting until the 2015 boundary agreement is taken care of.

Vote: 7 ayes, 0 nays. Motion Carried unanimously.

**7. Review of RFP for Georgetown Drive Construction Project.**

Brian Kober reported that he will sign the contracts this week. The Village Board did approve GAI Consultants.

**8. Director of Public Works Report.**

Brian Kober reviewed the Public Works Report.

Motion by Tr. Lippold, second by Corinne Benson to place the report on file.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

**9. Citizens/Village Staff to address the Board.**

Linda Granec pointed out a typo on the agreement. Town is spelled as tow.

Brian Kober commented that the extension of the water main will come at the next meeting for Cranberry Creek.

Tr. Lippold commented that the business park sign is working and there is nothing wrong with it.

The no parking signs on Stonewall are working.

**10. Adjourn.**

Motion by Corinne Benson, second by Scott Thielmann to adjourn at 7:32 p.m.

Vote: 7 ayes, 0 nays. Motion carried unanimously.

DRAFT

Respectfully submitted by: Deanna L. Boldrey

ON 6-23-14 AT 5:20 A.M. I WAS PICKING UP  
A CLIENT WHILE WORKING FOR WASHINGTON COUNTY  
TAXI. I GOT OUT OF THE VEHICLE TO ASSIST CLIENT  
ONTO THE VEHICLE, AND THEN I [REDACTED]. THE  
CLIENT CALLED 911. THE AMBULANCE SHOWED UP  
AND TOOK ME TO ST. JOSEPHS HOSPITAL.  
I SPENT [REDACTED] IN THE  
HOSPITAL [REDACTED]. I WAS TOLD I [REDACTED]  
OUT DUE TO [REDACTED]  
NOT ONLY DID I LOSE MY JOB, THE D.O.T. WAS  
NOTIFIED AND TOOK AWAY MY DRIVERS LICENSE.  
I AM ENCLOSING THE LETTER FROM ST. JOES  
GIVING ME A 100% DISCOUNT FOR MY BILL FOR  
THE 23<sup>RD</sup> AND 24<sup>TH</sup> OF JUNE. ALSO ENCLOSED IS  
A LETTER FROM THE D.O.T..  
IF YOU HAVE ANY QUESTIONS YOU CAN CONTACT  
ME AT 262-353-6917.

Sincerely,  
Brett Bowlus

RECEIVED  
OCT 15 2014

BY:.....



# **JACKSON FIRE DEPARTMENT**

**“Educating the Community about Fire Safety”**

**September 30, 2014**

**Mr. Brett Bowlus  
475 Meadowbrook Drive # 104  
West Bend, WI 53090**

**Mr. Bowlus,**

**I have received your request from our billing company to dispute your charges for the services of the Jackson Fire Departments Ambulance on June 30, 2014.**

**The fees for the fire department's services can only be waived by the Village Board after being reviewed by the Budget and Finance Committee. If you would like to have your issue heard by these two village bodies please forward any information to the Village Clerk the week prior to the second Tuesday of the month, if not received by that time the matter will not be heard until the following month.**

**Once your matter has been placed on the agenda's you may want to be present at the meetings to address and questions that the Budget and Finance Committee or the Village Board may have for you.**

**Please submit all paperwork to the following address:**

**Village Clerk  
Village of Jackson  
PO Box 637  
Jackson WI, 53037**

**Sincerely,**

**Jackson Fire Department**



ST JOSEPH'S HOSPITAL  
400 Woodland Prime, Suite 103  
N74 W12501 Leatherwood Ct  
Menomonee Falls WI 53051-4490

12015025 5507

September 14 2014

## St. Joseph's Hospital

*Froedtert.com*



51166-14A\*1\*

BRETT D BOWLUS

475 MEADOWBROOK DR APT 104

WEST BEND WI 53090-2464

00017



Dear Brett,

Thank you for submitting an application for St Joseph's Hospital's Financial Assistance Program. Based on the information you provided, we are pleased to inform you that you are eligible to receive a 100% discount. The accounts listed below have been adjusted to a balance of \$0. Payments received prior to this determination are non-refundable. Accounts that are already listed with a collection agency will not be included in this Financial Assistance approval.

St Joseph's Hospital reserves the right to reverse their determination should you become retroactively eligible for any assistance programs or settlement related to your hospital charges. This would include but is not limited to any type of insurance settlement, third party liability settlement, eligibility for Medicaid or the Victim of Crime Program. In the event you are eligible to receive a settlement, the entire balance will become patient due and payable upon receipt of the revised bill. By accepting this discount you agree to promptly inform the Patient Financial Services Department at 866-223-6964 if you receive a settlement or become retroactively eligible for an assistance program.

The following accounts are included in the Financial Assistance approval:

2000064144

Thank you,

Patient Financial Services

November 6, 2014

Deanna,

**Please place the following item(s) on the B & F and VB Agenda's for November.**

Replacement of Ambulance 1250

Thanks,

John

# MEMO:

To: Budget & Finance and Village Board Members  
From: Chief Skodinski  
Date: November 7, 2014  
Re: Replacement of Ambulance 1250

The Jackson FD is looking to replace our 2002 Ambulance 1250 that has about 58,000 miles on it. With any emergency services vehicle the wear on the vehicle is a lot greater than the miles indicate.

Besides the mileage, 1250 has at least 15 areas of rust occurring on the door frames, cabinet doors and hinges on the outside of the vehicle and 2 other major areas of rust are happening on both rocker panels on the cab of the truck. There is also an intermittent leak from the rear main seal that was estimated to cost \$1,500 to repair. Given the fact that we only received \$16,500.00 for the ambulance we sold in 2010 that had 10,000 less miles on it, the Jackson FD believes that repairing these issues doesn't make good economic sense.

The Jackson FD has been using a 14 year replacement cycle for its ambulances for many years (including the 1250's purchase) and due to the increase in calls for service over the years we will be looking at adjusting that time frame in the near future. When 1250 was purchased the Jackson FD responded to 292 EMS calls for service, this year we reached that number on August 20<sup>th</sup>. Last year the Jackson FD responded to 457 EMS calls for service or a 64% increase since 2002, to share the workload the ambulances they are rotated every 3 weeks to the first out position.

This new ambulance will be set up to accommodate the skills we now perform and the equipment we now carry. Newer technological enhancements will also improve the safety and comfort for both the patient and personnel. A committee of 4 EMS personnel was formed to design the new ambulance to fit the needs of the Jackson FD, that committee is working to have the ambulance ready to order prior to the 2015 price increases.

The committee along with the Jackson FD is seeking approval to spend an amount not to exceed \$170,000 for the new ambulance.

The new ambulance would be purchased with funds from the Jackson FD reserve account that has a current balance of \$347,742 this balance takes into account the year to date revenues and current designated expenditures. Since the new ambulance is paid for upon delivery, I'm estimating the reserve fund balance should be around \$425,000 when the check is written.

I would like to respectfully ask that the Budget and Finance Committee move this item to the Village Board Agenda so that all Board Members may be in attendance for the presentation as members of the committee will be in attendance to give a brief presentation on the new ambulance.

Any comments, questions or if you would like to see 1250 please don't hesitate to contact me.

Chief John Skodinski

- Item 9. Premier Cranberry Jackson LLC Development Agreement will be distributed prior to the meeting.
- Item 10. Resolution 14-12 Resolution in Recognition of Kelly Valentino will be distributed prior to the meeting or at the meeting.
- Item 11. Gym and Dance Floor Resurfacing and Electric Hand Dryers will be distributed prior to the meeting or at the meeting.

Village of Jackson  
Entertainment License Application

RECEIVED  
OCT 21 2014  
BY: DOB



I hereby apply for an Entertainment license for one year, starting January 1, 2015 to December 31, 2015 inclusive (unless sooner revoked) subject to the limitations imposed by Chapter 6 of the Village of Jackson Code, and all acts amendatory thereof and supplementary thereto, and hereby agree to comply with all laws, resolutions, ordinances and regulations (federal, state, local) affecting a license granted to me.

→ Answer the following questions carefully. Incomplete applications will not be considered.

- Name Kelly A. Valentino  
First Initial Last
- Date of Birth 8/6/1968
- Firm represented Jackson Jt. Parks & Recreation Dept.
- Manager's Name: Same as Above Date of Birth: Same Phone: (262) 677-9665
- Address N165 W20330 Hickory Lane Jackson 53037 Same as Above  
Street City ZIP Daytime Phone
- Explain how the license will be used: Misc. Events, ie: Monte Carlo Night, Music In Park, Ghoul Gala
- Attach a copy of your Commercial Insurance Policy listing policy coverage and effective date.

My signature certifies that all of my responses are true to the best of my knowledge. I also authorize the Jackson Police Department to obtain criminal history and driver record data pertaining to me from any federal, state, and/or local agency deemed necessary by the department. This release is executed as part of my application and it's understood that any information collected shall be used only in consideration of my application. If approved, my license will be issued and mailed within seven days of board approval.

X Kelly Valentino 10/21/2014  
Signature of Applicant Date

Police Chief's Recommendation:

Approve [ ] Approve with Conditions- See attached [ ] Deny- See attached

Jed M. Dolnick  
Jed M. Dolnick, Chief of Police

License (Annually) \$150.00

Per Event \$25.00

Payment _____
Date Received _____
Receipt # _____
CC: Police Dept _____

<u>NAME</u>	<u>BUSINESS</u>	<u>POLICE CHIEF RECOMMENDATION</u>
Amanda Hodges	East Side Mart	Approve
Melissa Wise	East Side Mart	Approve
Mariah Wimer	Village Mart	Approve
Melisaa Huttner	Main Street Mart	Approve
Steven Obenberger	Walgreen's	Approve
Gregory Kitner	Jackson Pub	Approve

**ORDINANCE #14-03**

---

**CREATING OF CHAPTER 15.06 (F)  
DUMPING OF MATERIAL ON PRIVATE LAND**

---

**THE VILLAGE BOARD OF THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN, does ordain the following changes to the Village Code:**

**SECTION I.** Chapter 15.06 (F) of the Village Code of the Village of Jackson is hereby created to read as follows:

**F. DUMPING MATERIAL ON PRIVATE LAND:**

No person or property owner shall dump, fill, or modify a drainage pattern on any unimproved lot in such that the resultant elevation of any part of the lot becomes higher than the elevations at the abutting property lines.

In the event of a violation of this section, the Village of Jackson shall notify the owner of the property, in writing, to cause such unimproved lot to be graded to the proper level within 15 days after the date of such notice. Upon failure to comply with such notice, the Village of Jackson may enter upon the premises with such assistance as may be necessary, causing the existing condition to be corrected and the cost of such correction charged against the property and shall be a lien thereon and shall be assessed and collected as a special assessment.

**SECTION II.** This Ordinance shall take effect from and after its passage and posting.

Introduced by: \_\_\_\_\_

Seconded by: \_\_\_\_\_

Passed and Approved \_\_\_\_\_

Vote: \_\_\_ Aye \_\_\_ Nay

\_\_\_\_\_  
Wendy A. Kannenberg, Village President

\_\_\_\_\_  
Attest: Deanna Boldrey, Village Clerk/Treasurer

Proof of Posting:

I, the undersigned, certify that I posted copies of this Ordinance on bulletin boards at the Village Hall, Post Office and one other location in the Village.

Dated: \_\_\_\_\_

Village Official: \_\_\_\_\_



**Design 2 Construct**  
 Development Corporation  
 N173 W21010 Northwest Passage  
 Jackson, WI 53037  
 Tel: (262) 677-9933 Fax: (262) 677-9934

**LETTER OF TRANSMITTAL**

Date: Friday, October 03, 2014  
 Project No.: 14-00201  
 Project: ABC Supply

**TRANSMITTAL TO:**

Village of Jackson  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Ph.: \_\_\_\_\_

**REGARDING:**

ABC Supply - Alcan Ct  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
--------	------	-----	-------------

1			Application Form
Below			Letter of Intent (See Remarks Below)
1			Concept Plan with Location Map
1			CD with all items listed above
1	10/6/2014	47946	\$50.00 Check for Conceptual Plan Review Fees

**THESE ARE TRANSMITTED as checked below:**

<input type="checkbox"/> For Approval	<input type="checkbox"/> Resubmit _____ copies for approval	<input type="checkbox"/> Approved As Submitted
<input type="checkbox"/> For Your Use	<input type="checkbox"/> Submit _____ copies for distribution	<input type="checkbox"/> Approved As Noted
<input type="checkbox"/> As Requested	<input type="checkbox"/> Return _____ corrected prints	<input type="checkbox"/> Returned For Corrections
<input checked="" type="checkbox"/> For Review and Comment	<input type="checkbox"/> _____	

**REMARKS:**

We are submitting a Conceptual Site Plan to relocate ABC Supply into an existing 50,000 square foot warehouse and associated office space. The extent of the project will be to add parking to the front of the existiiing building and add paving and fencing to the back of the building for outdoor storage. We would appreciate conceptual approval so that we may begin site clearing & grading during the Building Review process.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

COPIES TO: \_\_\_\_\_

SIGNED: [Signature]

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
 (Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)

Name of Applicant DESIGN 2 CONSTRUCT  
 Contact BRAD EGAN Address/ZIP N173 W2010 NW PASSAGE Phone # 262 677 9933  
 E-mail Address bragan@design2construct.com Fax # where Agenda/Staff comments are to be faxed 262 677 9934  
 Name of Owner ABC SUPPLY Address/ZIP N194 N16660 EDGE DR JACKSON Phone# 262 677 1460  
 Owner Representative/Developer \_\_\_\_\_  
 Proposed Use of Site RETAIL & MATERIAL STORAGE Present Zoning \_\_\_\_\_

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages) 2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') 4) Owner acknowledgement of the request	labels 1	XXX
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement 6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan 8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat 10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition 12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan 14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	<b>Engineering Review - Infrastructure</b>		XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan 16) Water / Sewer / Storm Sewer Plans	4 (24x36) 4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections 18) Erosion Control Plan	4 (24x36) 4 (24x36)	XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials 20) Developers Agreement		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements) 22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name BRAD EGAN Signature [Signature] Date 10/3/14

Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development    Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a     Special Use     Conditional Use     Planned Unit Development

Permit to:

Name of Business/Applicant: ABC Supply Co.

For a property located at (address): N174 W21221 ALCAN DR.

Phone number of Business/Applicant: 262 677 1460

For (land use, activity, sign, site plan, other): CONCEPT PLAN FOR RELOCATION OF ABC SUPPLY

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): NONE

Hours of Operation: M-F 6<sup>00</sup> TO 6<sup>00</sup> SAT 7<sup>00</sup> TO 11<sup>00</sup> AM

Comprehensive/Master Plan Compatibility: \_\_\_\_\_

Building Materials (type, color): EXIST

Setbacks from rights-of-way and property lines: EXIST

Screening/Buffering: EXIST

Landscape Plan (sizes, species, location): EXIST

Signing (dimensions, colors, lighting, location): TBD

Lighting (wattage, style, pole location and height, coverage): EXIST

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s)), (sidewalk/pedestrian way width and material): EXIST TO BE MODIFIED

Storm-water Management: EXIST

Erosion Control: \_\_\_\_\_

Fire Hydrant Location(s): EXIST

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: EXIST

Hazardous Material Storage: NONE

Alarm Systems: TBD

Site Features/Constraints: FENCING AT REAR OF EXISTING BUILDING FOR OUTDOOR STORAGE

Parking (no. of spaces, handicapped parking, and dimensions): 35 INCLUDING H.C. SPACES 9x20'

Tree and shrub preservation: D.N.A.

Setbacks/height limitations: EXIST

Wastewater Usage Projected: \_\_\_\_\_ gal/year                      Water Usage Projected: \_\_\_\_\_ gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):  
\_\_\_\_\_  
\_\_\_\_\_

## TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_ Over the Counter \_\_\_\_\_ Date \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_, Owner

Please print name

\_\_\_\_\_  
John M. Walther, Administrator

Applications shall be submitted by 4:00 PM of the first Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

**EXPLANATION OF TYPES OF INFORMATION (from face of application form):**

---

1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: a copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
  - A. Annual water consumption estimate (100% occupancy and build-out)
  - B. Annual sewage generation estimate (100% occupancy and build-out)
  - C. Vehicle trip generation (trips per day per unit x number of units)
  - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
  - E. Proposed sign(s) (advertising business, industry, dwelling unit)
  - F. General hours of operation
  - G. Anticipated User profiles (for residential developments)
  - H. Proposed dates of construction and completion
  - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.)
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and Water/Sewer/Storm plans may be shown combined on this plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name, and common name of proposed trees and shrubs. Also calls out surface treatments. Shows walls, fences, and details.
15. Grading/Drainage Plan: Shows original and proposed grades and runoff calculations based on a 10-year storm. Is usually combined with a Storm Sewer Plan (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains and fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Cross-Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED  
BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO  
QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**

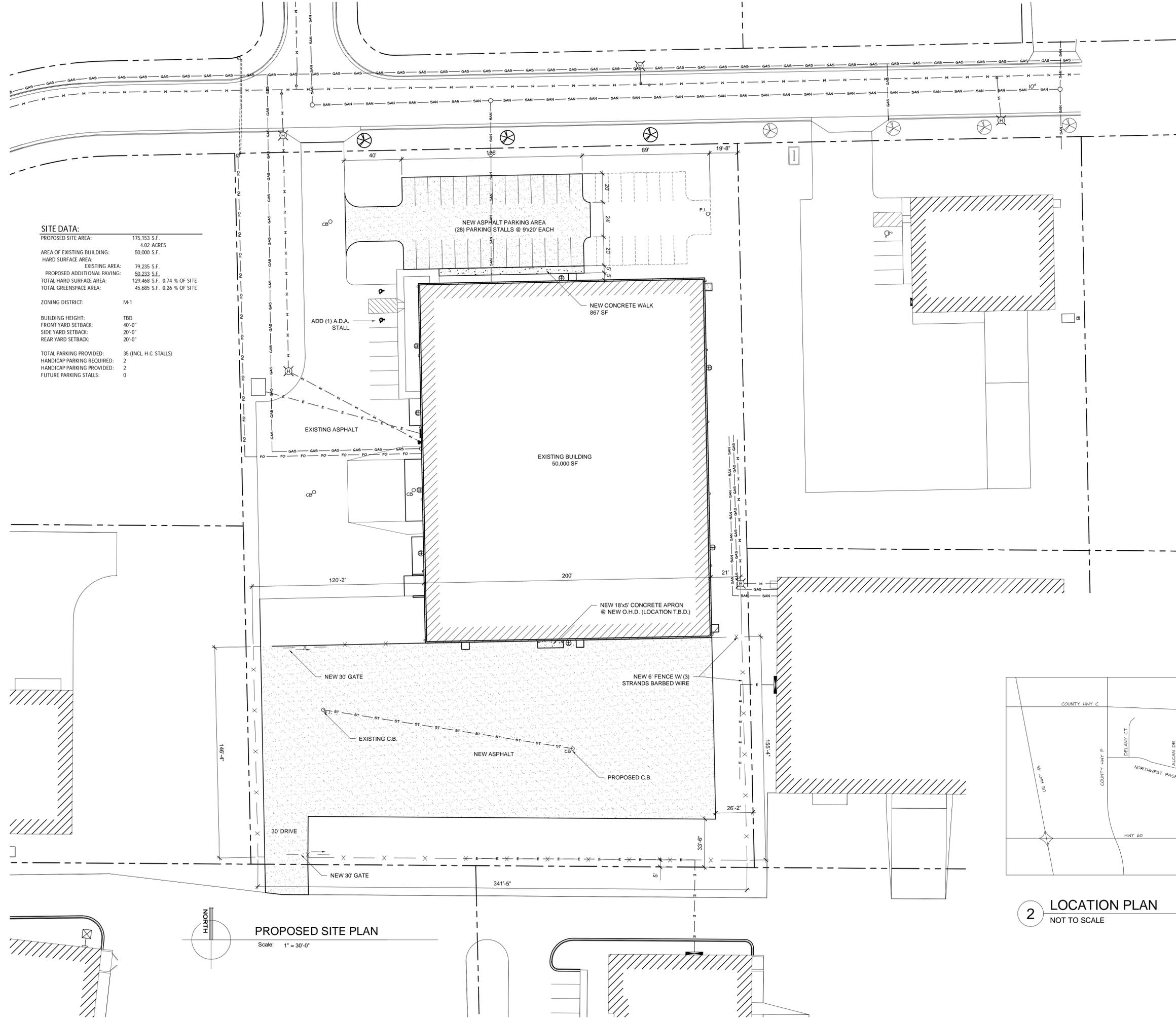
BUILDING DESIGN FOR:  
**PROPOSAL 14-00201**  
 \*  
**ALCAN DRIVE**  
 JACKSON, WI 53037

SHEET TITLE  
 PROPOSED SITE PLAN

REVISIONS

PROJECT DATA	
DATE	10.03.2014
JOB NO.	14-00201
SET USE	CONCEPTUAL - JACKSON P.C.
FILE NAME	C1-A1.0
DRAWN BY	BCE
SHEET NO.	

**A1.0**



**SITE DATA:**

PROPOSED SITE AREA:	175,153 S.F.
	4.02 ACRES
AREA OF EXISTING BUILDING:	50,000 S.F.
HARD SURFACE AREA:	
EXISTING AREA:	79,235 S.F.
PROPOSED ADDITIONAL PAVING:	50,233 S.F.
TOTAL HARD SURFACE AREA:	129,468 S.F. 0.74 % OF SITE
TOTAL GREENSPACE AREA:	45,685 S.F. 0.26 % OF SITE
ZONING DISTRICT:	M-1
BUILDING HEIGHT:	TBD
FRONT YARD SETBACK:	40'-0"
SIDE YARD SETBACK:	20'-0"
REAR YARD SETBACK:	20'-0"
TOTAL PARKING PROVIDED:	35 (INCL. H.C. STALLS)
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
FUTURE PARKING STALLS:	0



**2** LOCATION PLAN  
 NOT TO SCALE

**PROPOSED SITE PLAN**  
 Scale: 1" = 30'-0"



**Design 2 Construct**

Development Corporation  
N173 W21010 Northwest Passage  
Jackson, WI 53037  
Tel: (262) 677-9933 Fax: (262) 677-9934

**LETTER OF TRANSMITTAL**

Date: Friday, October 03, 2014  
Project No.: 14-00202  
Project: Cedar Creek Warehouse

**TRANSMITTAL TO:**

Village of Jackson  
  
  
  
Ph.:

**REGARDING:**

Cedar Creek Warehouse - Delany Court

COPIES	DATE	NO.	DESCRIPTION
1			Application Form
Below			Letter of Intent (See Remarks Below)
1			Concept Plan with Location Map
1			CD with all items listed above
1	10/6/2014	47947	\$50.00 Check for Conceptual Plan Review Fees

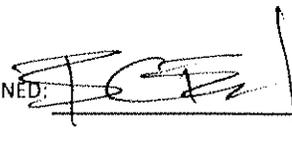
**THESE ARE TRANSMITTED as checked below:**

<input type="checkbox"/> For Approval	<input type="checkbox"/> Resubmit _____ copies for approval	<input type="checkbox"/> Approved As Submitted
<input type="checkbox"/> For Your Use	<input type="checkbox"/> Submit _____ copies for distribution	<input type="checkbox"/> Approved As Noted
<input type="checkbox"/> As Requested	<input type="checkbox"/> Return _____ corrected prints	<input type="checkbox"/> Returned For Corrections
<input checked="" type="checkbox"/> For Review and Comment	<input type="checkbox"/> _____	

**REMARKS:**

We are submitting a Conceptual Site Plan for a 50,000 square foot warehouse and associated office space for Cedar Creek Motorsports. We would appreciate a conceptual approval so that we may begin site clearing & grading during the Building Review process.

COPIES TO: \_\_\_\_\_

SIGNED: 

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
 (Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)

Name of Applicant DESIGN 2 CONSTRUCT  
 Contact BRAD EGAN Address/ZIP N173 W 21010 NW PASSAGE Phone # 262 677 9933  
 E-mail Address bragan@design2construct.com Fax # where Agenda/Staff comments are to be faxed 262 677 9934  
 Name of Owner JEPSON BROTHERS Address/ZIP 1518 Hwy 60 CEDARBURG, WI 53012 Phone# 262 377 5700  
 Owner Representative/Developer DCC  
 Proposed Use of Site WAREHOUSE Present Zoning \_\_\_\_\_

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	2) Describe what you intend to do (paragraph)		XXX
			3) Address Labels of adjacent owners to be notified (500' / 200')	labels	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	4) Owner acknowledgement of the request	1	
			5) Impact Statement		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	6) Location Map		XXX
			7) Development Plan / Site Plan		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	8) Preliminary Plat		XXX
			9) Final Plat		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	10) Certified survey Map		XXX
			11) Annexation Petition		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	12) Annexation Map	1	XXX
			13) Sketch Plan		XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	14) Landscape Plan	4 (24x36)	XXX
			<b>Engineering Review - Infrastructure</b>		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan	4 (24x36)	XXX
			16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections	4 (24x36)	XXX
			18) Erosion Control Plan	4 (24x36)	XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials		XXX
			20) Developers Agreement		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements)		XXX
			22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name BRAD EGAN Signature [Signature] Date 10/3/14

Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development    Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a     **Special Use**     Conditional Use     Planned Unit Development

Permit to:

Name of Business/Applicant: CEDAR CREEK MOTORSPORTS - JEPSON BROTHER

For a property located at (address): DELANEY COURT

Phone number of Business/Applicant: 262 377 5700

For (land use, activity, sign, site plan, other): CONCEPTUAL SITE PLAN

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): NONE

Hours of Operation: M-F 8-5

Comprehensive/Master Plan Compatibility: \_\_\_\_\_

Building Materials (type, color): TBD

Setbacks from rights-of-way and property lines: 40' FRONT 20' SIDE & REAR

Screening/Buffering: TBD

Landscape Plan (sizes, species, location): TBD

Signage (dimensions, colors, lighting, location): TBD

Lighting (wattage, style, pole location and height, coverage): TBD

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): TBD

Storm-water Management: TBD

Erosion Control: TBD

Fire Hydrant Location(s): EXISTING

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: TBD

Hazardous Material Storage: NONE

Alarm Systems: TBD

Site Features/Constraints: \_\_\_\_\_

Parking (no. of spaces, handicapped parking, and dimensions): 13 SPACES + 2 H.C. SPACES  
10' x 20'

Tree and shrub preservation: NONE

Setbacks/height limitations: TBD

Wastewater Usage Projected: TBD gal/year

Water Usage Projected: TBD gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):  
\_\_\_\_\_  
\_\_\_\_\_

## TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_ Over the Counter \_\_\_\_\_ Date \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_, Owner

Please print name

\_\_\_\_\_  
John M. Walther, Administrator

Applications shall be submitted by 4:00 PM of the first Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

**EXPLANATION OF TYPES OF INFORMATION (from face of application form):**

---

**1. Application Form: Must be submitted on CD.**

2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay.
4. Proof of Property Ownership: a copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
  - A. Annual water consumption estimate (100% occupancy and build-out)
  - B. Annual sewage generation estimate (100% occupancy and build-out)
  - C. Vehicle trip generation (trips per day per unit x number of units)
  - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
  - E. Proposed sign(s) (advertising business, industry, dwelling unit)
  - F. General hours of operation
  - G. Anticipated User profiles (for residential developments)
  - H. Proposed dates of construction and completion
  - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.)
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and Water/Sewer/Storm plans may be shown combined on this plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name, and common name of proposed trees and shrubs. Also calls out surface treatments. Shows walls, fences, and details.
15. Grading/Drainage Plan: Shows original and proposed grades and runoff calculations based on a 10-year storm. Is usually combined with a Storm Sewer Plan (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains and fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Cross-Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

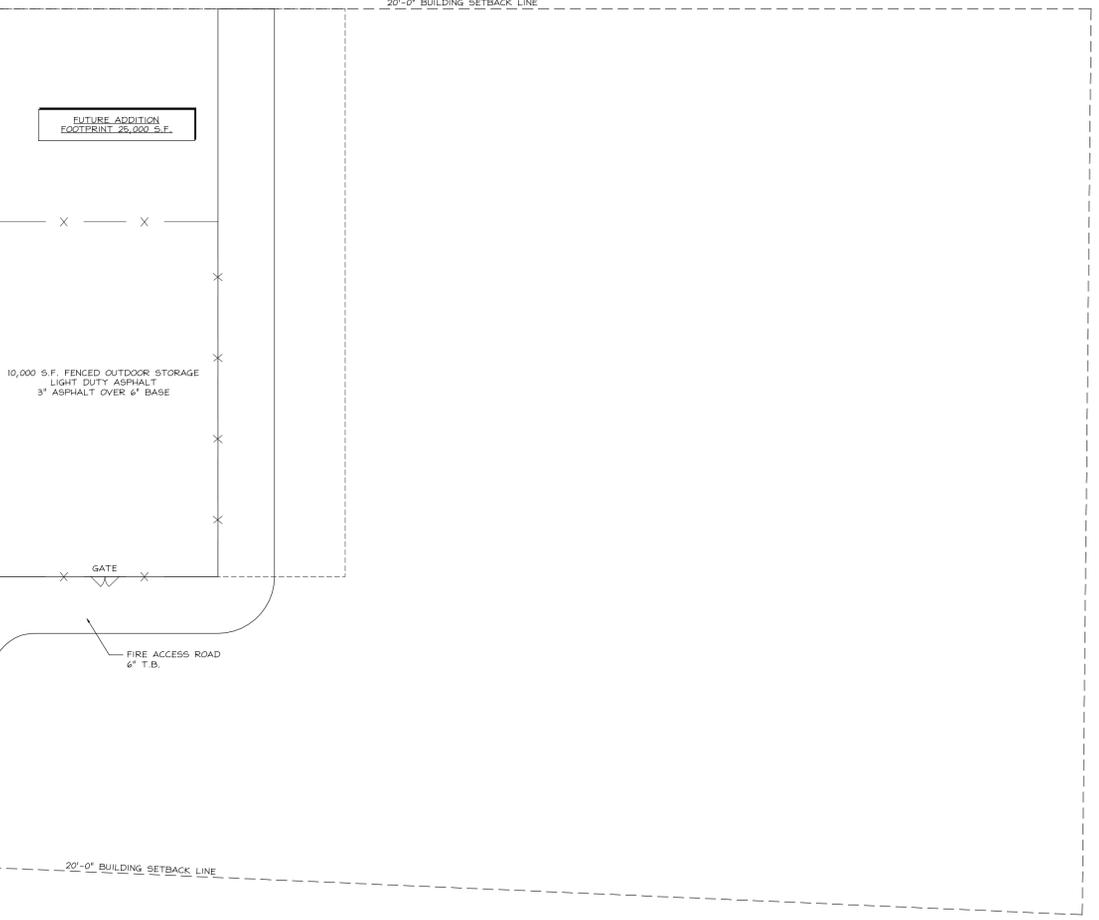
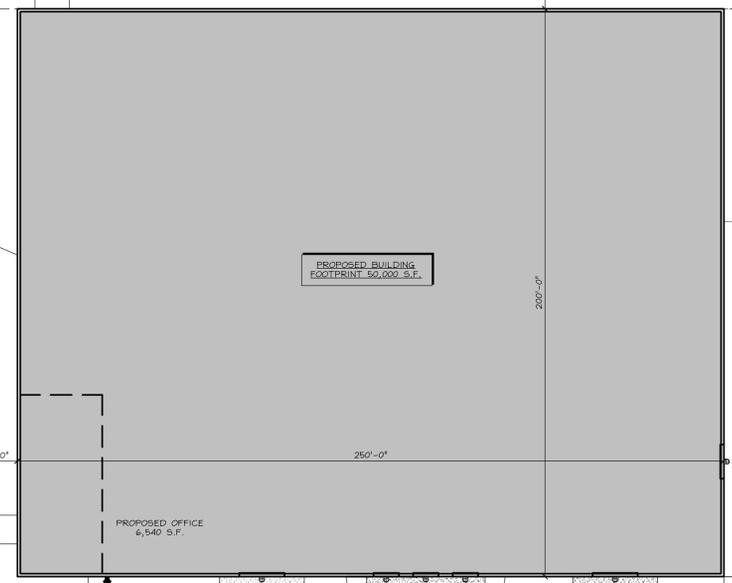
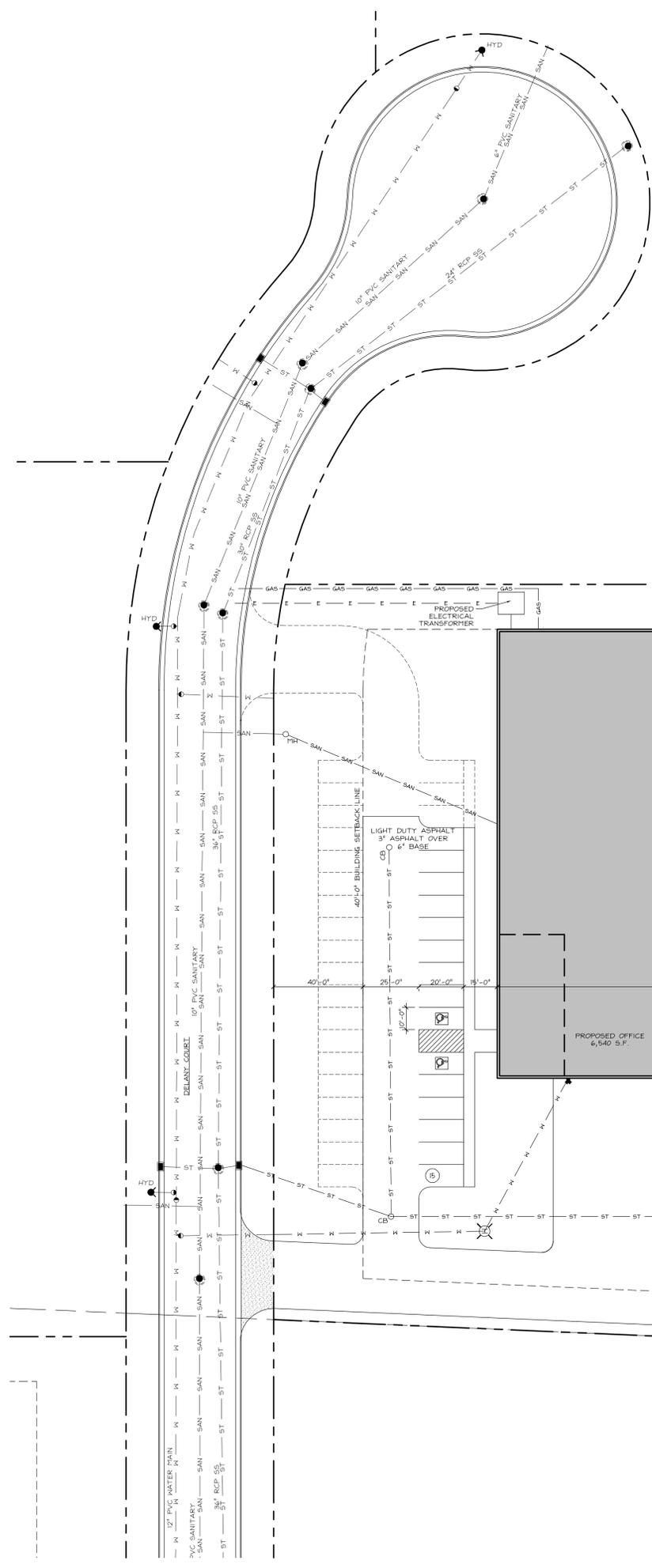
**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED  
BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO  
QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**

**SITE DATA:**

PROPOSED SITE AREA:	260,317 S.F. 5.98 ACRES
AREA OF PROPOSED BUILDING:	50,000 S.F.
TOTAL BUILDING FOOTPRINT:	50,000 S.F.
TOTAL HARD SURFACE AREA:	98,026 S.F. (38% OF SITE)
TOTAL GREENSPACE AREA:	162,291 S.F. (62% OF SITE)
ZONING DISTRICT:	M-1
BUILDING HEIGHT:	40'-0"
FRONT YARD SETBACK:	20'-0"
SIDE YARD SETBACK:	20'-0"
REAR YARD SETBACK:	20'-0"
TOTAL PARKING PROVIDED:	15 (INCL. H.C. STALLS)
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
FUTURE PARKING STALLS:	0



**2 LOCATION PLAN**  
 NOT TO SCALE



**1 FIRST FLOOR PLAN**  
 SCALE: 1" = 30'-0"

BUILDING DESIGN FOR:  
**PROPOSAL 14-00202**  
 \*  
**DELANEY COURT**  
 JACKSON, WI 53037

**SHEET TITLE**  
 PROPOSED SITE PLAN

**REVISIONS**

**PROJECT DATA**

DATE	10.03.2014
JOB NO.	14-00168
SET USE	CONCEPTUAL - JACKSON P.C.
FILE NAME	C1-A1.0
DRAWN BY	BCE
SHEET NO.	

**A1.0**

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
 (Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Donna J. Spaeth  
 Contact Donna J. Spaeth Address/ZIP N168W21058 Main St. 53037 Phone # 262-677-2269  
 E-mail Address \_\_\_\_\_ Fax # where Agenda/Staff comments are to be faxed 262-677-2269  
 Name of Owner Donna J. Spaeth Address/ZIP N168W21058 Main St. 53037 Phone# 262-677-2269  
 Owner Representative/Developer Donna J Spaeth  
 Proposed Use of Site Update Boundary Lines on 2 Parcels Present Zoning \_\_\_\_\_

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500'/200')	labels	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
<b>CERTIFIED SURVEY MAP (CSM)</b>	<b>\$150</b>	<b>1,2,6,10,20</b>	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	<b>Engineering Review - Infrastructure</b>		XXX
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Donna J. Spaeth Signature *Donna J. Spaeth* Date 9/16/14

Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

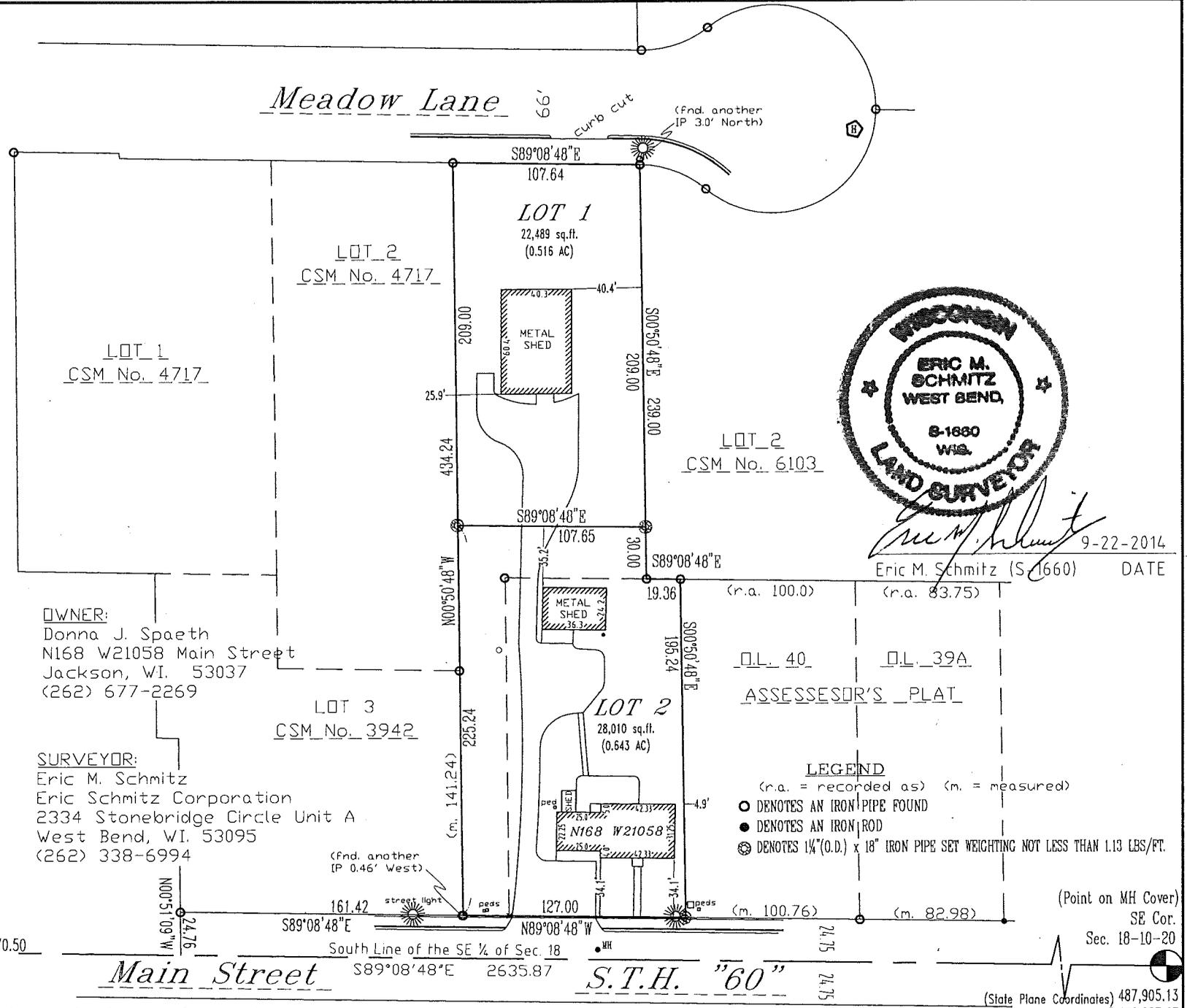
262 677 1710  
 Village of Jackson  
 11:44:27 a.m.  
 09-26-2014  
 2/6

# Certified Survey Map

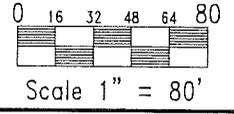
Being a redivision of LOT 2 of Certified Survey Map No. 3942, and a part of OUTLOT 41 of 'Assessor's Plat Of The Village Of Jackson' all being a part of the SW 1/4 of the SE 1/4 of Section 18, T10N, R20E, Village of Jackson, Washington County, Wisconsin.

## Surveyor's Certificate:

I, Eric M. Schmitz, registered land surveyor, hereby certify that by the direction of Donna P. Spaeth, I have surveyed, divided, mapped, and shown the land described hereon; That part of the SW 1/4 of the SE 1/4 of Section 18, Town 10 North, Range 20 East, Village of Jackson, Washington County, Wisconsin, described as follows: Commencing at the South 1/4 Corner of said Section 18, thence S 89°08'48" E, along the south line of the SE 1/4 of said Section 18, 270.50 feet; thence N 00°51'09" W, 24.76 feet to the northerly right-of-way line of Main Street (S.T.H. 60) and the southwest lot corner of Lot 3 of Certified Survey Map Number 3942; thence S 89°08'48" E, along said northerly r-o-w line and south lot line of said Lot 3, 161.42 feet to the southeast lot corner of said Lot 3 and to the point of beginning; thence N 00°50'48" W, along the easterly lot line of said Lot 3 and the easterly lot line of Lot 2 of Certified Survey Map Number 4717, 434.24 feet to the northeast lot corner of said Lot 2 and the southerly right-of-way line of Meadow Lane; thence S 89°08'48" E, along said southerly r-o-w line, 107.64 feet to the northwest lot corner of Lot 2 of Certified Survey Map Number 6103; thence S 00°50'48" E, along the westerly line of said Lot 2, 239.00 feet to the southwest lot corner of said Lot 2; thence S 89°08'48" E, along the southerly lot line of said Lot 2, 19.36 feet; thence S 00°50'48" E, 195.24 feet to the northerly right-of-way line of Main Street (S.T.H. 60); thence N 89°08'48" W, along said northerly r-o-w line, 127.00 feet to the point of beginning. Said described lands containing 50,499 sq.ft. (1.159 Acres) of land, more or less. That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made. I have fully complied with the provision of Chapters 236.20, 236.21(2)(a) and 236.34 of the Wisconsin State Statutes, and the Land Division Ordinances of the Village of Jackson, in surveying, dividing and mapping said land.



*Eric M. Schmitz*  
Eric M. Schmitz (S-1660) DATE 9-22-2014



North Referenced To The Wisconsin Coordinate System, South Zone Based On The Control Survey Summary Diagram By Southeastern Wisconsin Regional Planning Commission, Revised January 2013 And The South Line Of The SE 1/4 Of Section 18-10-20 Bearing S 89°08'48" E.

# Certified Survey Map

Being a redivision of LOT 2 of Certified Survey Map No. 3942, and a part of OUTLOT 41 of 'Assessor's Plat Of The Village Of Jackson' all being a part of the SW ¼ of the SE ¼ of Section 18, T10N, R20E, Village of Jackson, Washington County, Wisconsin.

## Owner's Certificate:

As owner I hereby certify that I caused the land shown and described herein to be surveyed, divided, and mapped as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required to be submitted to the following for approval: Village of Jackson Plan Commission, the Village of Jackson Village Board.

WITNESS the hand and seal of said owners this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

In the presence of:

\_\_\_\_\_  
Donna P. Spaeth

\_\_\_\_\_  
Witness

(STATE OF WISCONSIN WASHINGTON COUNTY) s.s.  
Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2014, the above named owners are to me known to be the same persons who executed the foregoing instrument and acknowledge the same.

(Notary Seal) \_\_\_\_\_, Notary Public,  
\_\_\_\_\_, Wisconsin.

My commission expires \_\_\_\_\_.

## VILLAGE OF JACKSON PLAN COMMISSION APPROVAL

This land division is hereby approved by the Village of Jackson Plan Commission on this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
Wendt Kannenberg, Chairperson

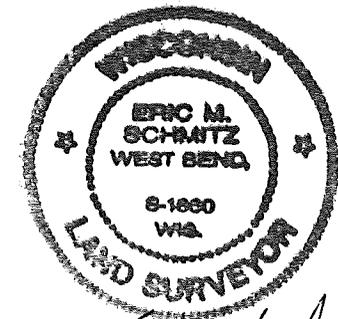
\_\_\_\_\_  
John Walther, Zoning Administrator

## VILLAGE OF JACKSON VILLAGE BOARD APPROVAL

This land division is hereby approved by the Village of Jackson Village Board on this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
Wendt Kannenberg, President

\_\_\_\_\_  
Deanna Boldrey, Village Clerk/Treasurer



*Eric M. Schmitz*  
Eric M. Schmitz (S-1660) DATE 9-22-2014

September 26, 2014

Attn: Brian Kober  
Director of Public Works  
Tel: 262-677-9001 X 14  
Village of Jackson  
N168 W20733 Main St.  
Jackson WI 53037

Ref: CSM to Adjust Boundaries for property  
Tax Key # V3-0064-00G Commercial Land w/Shed  
Tax Key # V3-0064-00C Residential Land w/House

Dear Brian,

Enclosed please find the following documents:

- 1) Village of Jackson Development Application Form
- 2) Location Map – Village of Jackson, Washington County – with Current Boundary Line for referenced property
- 3) Copy of Certified Survey Map by Surveyor Eric Schmitz – with updated boundary lines.
- 4) Fee \$150 Check #7637

**Request:**

Remove strip of land ("reversed 7" shape) from Parcel V3\_0064-00G (Commercial Shed) and attach to Parcel V3\_0064-00C (House).

There is no change to the two existing parcel numbers and no change to the current ownership. This CSM is to clean up the boundaries for house versus commercial property.

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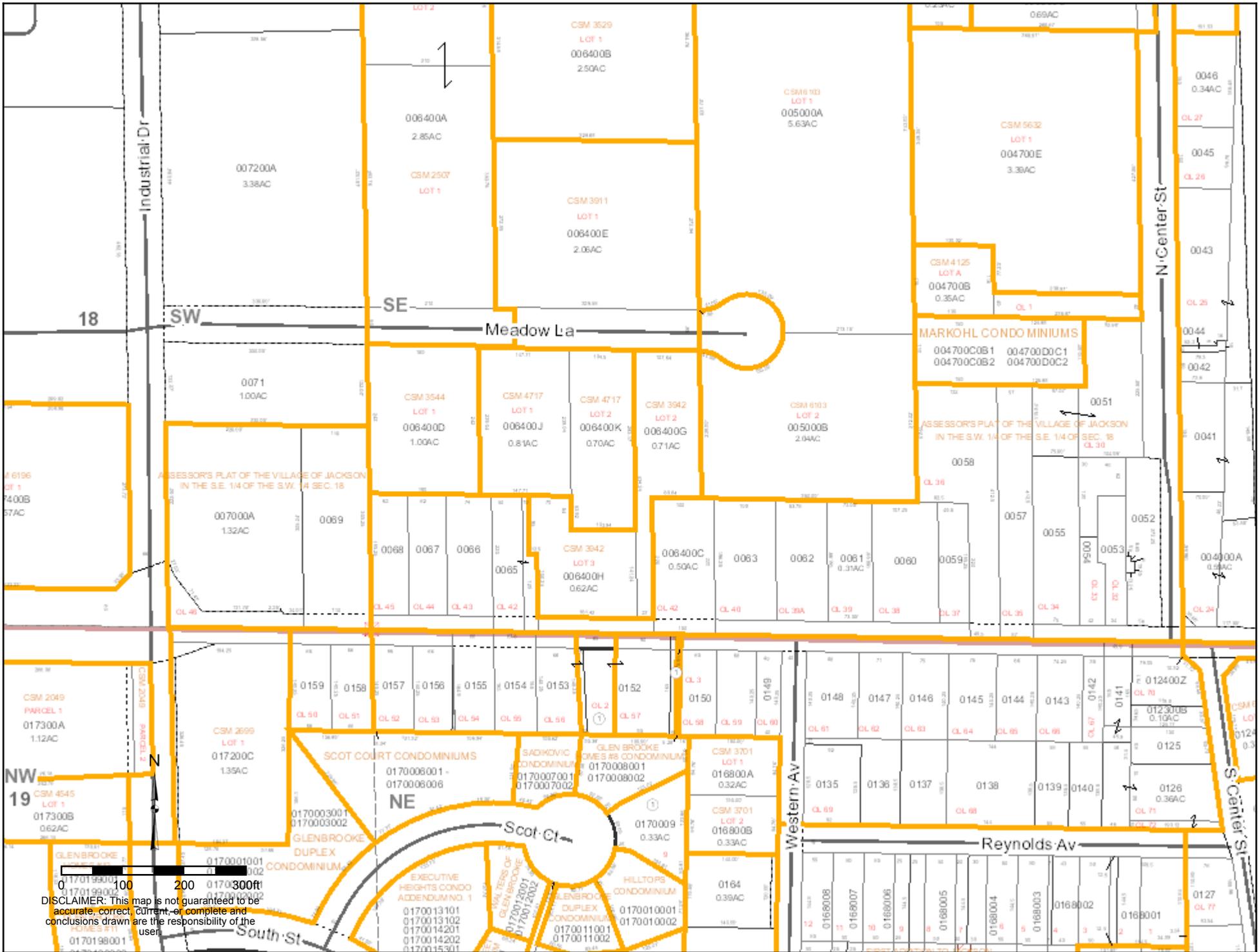
If there are any questions, or you need additional information, please contact me.

Sincerely,

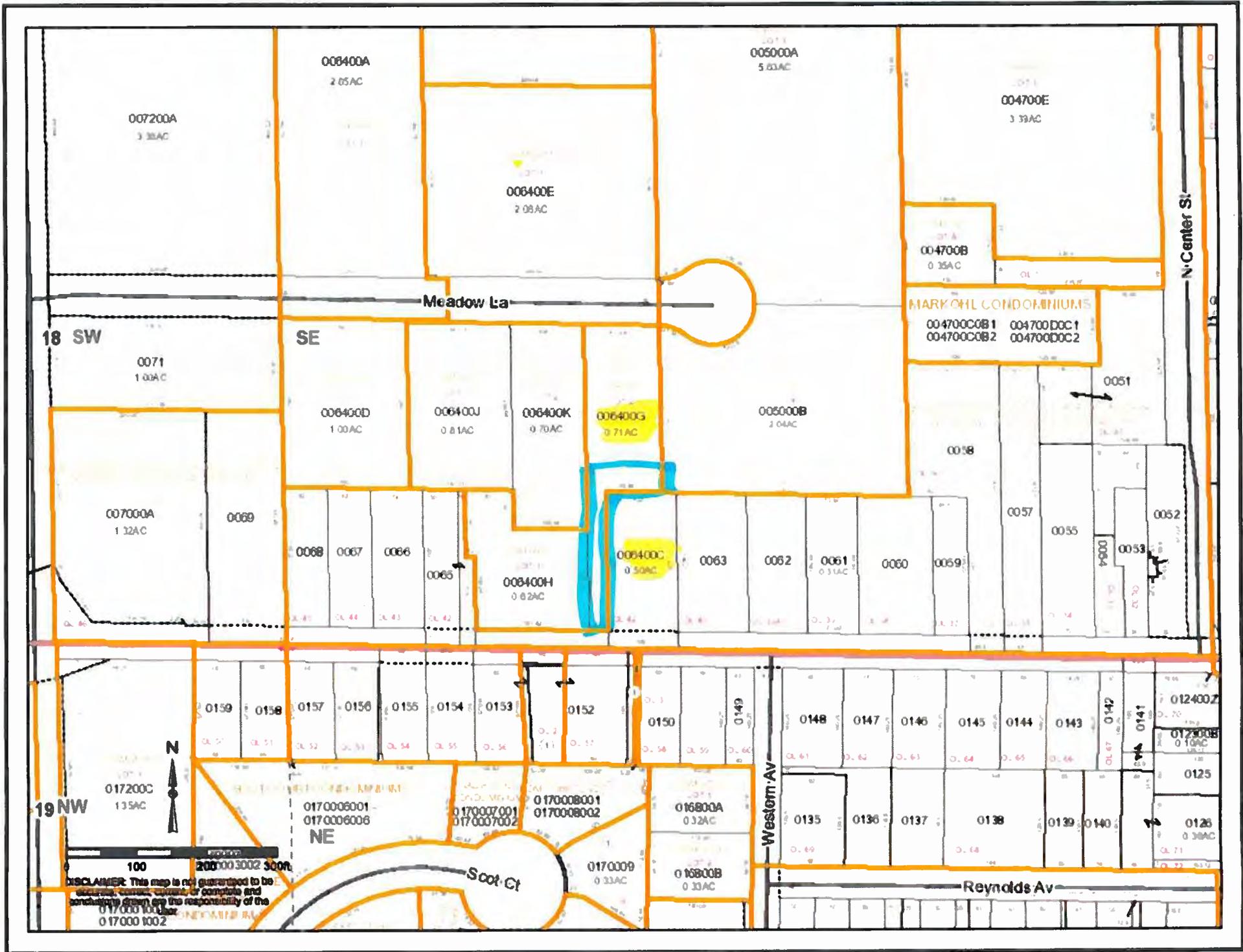


Donna J. Spaeth, Owner  
N168 W21058 Main St.  
Jackson WI 53037  
Tel/Fax: 262-677-2269

Enc. As listed above.



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.



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 DISCLAIMER: This map is not guaranteed to be accurate, correct, or complete and the user assumes all responsibility for the use of this map.  
 017000 100000  
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**DRAFT MINUTES**  
**PLAN COMMISSION MEETING**  
**Thursday – October 30, 2014 – 7:00 p.m.**  
**Jackson Village Hall**  
**N168W20733 Main St**  
**Jackson, WI 53037**

**1. Call to Order & Roll Call.**

Chairperson Wendy Kannenberg called the meeting to order at 7:00 p.m.  
Members present: Peter Habel, Doug Alfke, Tr. Kruepke, Steve Schoen, Tr. Lippold, and Jeff Dalton.  
Staff present: John Walther, Brian Kober and Jim Micech.

**2. Minutes – September 25, 2014, Plan Commission Meeting.**

A motion was made by Peter Habel, seconded by Doug Alfke to approve the minutes of the September 25, 2014, Plan Commission meeting.  
Vote: 7 ayes, 0 nays. Motion carried.

**3. Conditional Use – Oversized Shed – Jerry Warner, Linden Circle.**

Jerry Warner was present. Jerry commented that he wants the shed for additional storage. He continued that he would like to build more of a barn style with a field stone bottom to look like a small regular style barn and to consider the dimensions of 14x26 to be the interior dimensions. Brian Kober commented that he is matching his home. Jerry commented he will submit a new set up plans for the permit.

After discussion, a motion was made by Peter Habel, second by Steve Schoen to Recommend the Village Board Approve the Conditional Use – Oversized Shed – for Jerry Warner, Linden Circle per Staff Comments.

Vote: 7 ayes, 0 nays. Motion carried.

**4. Conditional Use – Refractory Service, Inc – Sign and Building Use, Northwest Passage.**

Lance Stanwyck presented an overview. They would like to move in before the first of the year with minor renovations to the building. Refractory Service specializes in high temperature insulation. Brian Kober commented that the gallons per year use has changed to 40,000 gallons. Brian commented that there will not be a charge for an additional RU with review in the future.

After discussion, a motion was made by Peter Habel, second by Tr. Lippold to Recommend the Village Board Approve the Conditional Use – Refractory Service, Inc. – Sign and Building Use, Northwest Passage per Staff Comments.

Vote: 7 ayes, 0 nays. Motion carried.

- 5. Concept Plan – ABC Supply Company – Alcan Drive.**  
Jim Blise presented detail on the ABC Company and Cedar Creek Motor Sports (Items 5 & 6).  
Motion by Peter Habel, second by Tr. Schoen to take items 5 & 6 as a consent agenda and Recommend the Village Board Approve of the Concept Plan - ABC Supply Company – Alcan Drive and Concept Plan – Cedar Creek Motor Sports – Delaney Court per staff comments.  
Vote: 7 ayes, 0 nays. Motion carried.
- 6. Concept Plan – Cedar Creek Motor Sports – Delaney Court.**  
See item number 5.
- 7. Certified Survey Map – Adjust Boundary Lines – Donna Spaeth, Main Street.**  
Motion by Perter Habel, second by Jeff Dalton, to Recommend the Village Board Approve of the Certified Survey Map – Adjust Boundary Lines – Donna Spaeth, Main Street, per staff comments. Donna Spaeth was present and had received Staff Comments.  
Vote: 7 ayes, 0 nays. Motion carried.
- 8. Planned Unit Development Amendment – Poblocki Sign Company LLC, Children’s Hospital of Wisconsin – Sign at Prairie View Lane.**  
Matt Kaminski was present and had received Staff Comments. There will be one sign with the initial opening. All of the signs will be the same.  
Motion by Peter Habel, second by Tr. Kruepke, to Recommend Approval of the Planned Unit Development Amendment – Poblocki Sign Company, LLC, Children’s Hospital of Wisconsin – Sign at Prairie View Lane, per staff comments.  
Vote: 7 ayes, 0 nays. Motion carried.
- 9. Planned Unit Development Amendment – Cranberry Creek Estates – 60 Unit Multi-Family.**  
Tom Wood gave a presentation and addressed the items from Staff Comments. He commented on moving the main into the private street. Additional discussion of the hydrants, dumpsters, and drainage ensued. He commented that the condo association requested a change to one of the dumpster locations, and they have also accommodated for an additional dumpster. Peter Habel commented on proper grading and landscaping. Tom commented that a culvert will be added. The previous wetland delineation had expired. The wetland boundary has been remarked and has shrunk. They have applied for a new permit. It is in the works and they do not anticipate any problems. The permit in the Staff Comments has expired. Discussion of the landscaping ensued.

Steve Schoen questioned sidewalks. Brian commented that this is the last development on Jackson Drive that we would enforce the sidewalk ordinance. This would warrant the Village to put in sidewalks and would be special assessed. Motion by Peter Habel, second by Steve Schoen, to Recommend Approval of the Planned Unit Development Amendment – Cranberry Creek Estates – 60 Unit Multi - Family, per staff comments.  
Vote: 7 ayes, 0 nays. Motion carried.

**10. Premier Cranberry Jackson LLC – Development Agreement.**

The development agreement will be reviewed by counsel prior to the Village Board meeting. Attachments will be complete prior to the Village Board meeting. Pres. Kannenberg questioned if it was typical in development agreements for only one notice of deficiencies. Joe Goldberger commented that he will work with staff after counsel review. He used the same format that was used previously. Motion by Peter Habel, second by Steve Schoen to recommend approval of the Premier Cranberry Jackson LLC Development Agreement per staff comments and legal counsel review.

Vote: 7 ayes, 0 nays. Motion carried.

**11. Citizens to address the Plan Commission.**

None.

**12. Adjourn.**

A motion was made by Peter Habel, seconded by Jeff Dalton to adjourn.

Vote: 7 ayes, 0 nays. Motion was adjourned at 7:31 p.m.

Respectfully submitted by Deanna L. Boldrey – Clerk/Treasurer.