

Agenda

Village Board Meeting

Tuesday, November 8, 2016 at 7:30 p.m.

Jackson Area Community Center

N165 W20330 Hickory Lane

Jackson, WI 53037

Meeting Location Change Due to Election.

1. Call to Order and Roll Call.
2. Pledge of Allegiance.
3. Any Village Citizen Comment on an Agenda Item (Please sign in).
4. Public Hearing:
Conditional Use – Cathedral Builders, Inc. – Tower Dr. Sign Permit & Front & West Elevation Alteration.
5. Public Hearing:
Planned Unit Development Amendment – Lumber Sales – Delaney Court – Containment Wall Height.
6. Consent Agenda:
 - Approval of Minutes for the Village Board Meetings of October 11, 2016, and October 18, 2016, and October 19, 2016.
 - Licenses.
Operator Licenses:
The Village Mart and Main Street Mart: Shannon Macheel
Jackson Pub: Angela Meeks
7. Budget & Finance Committee.
 - Pay Request #4 – Wilshire Drive Reconstruction Project.
(Returning from September & October Meeting.).
 - Building Inspection Software and Tablet.
 - Dispute of EMS Bill – Patient Number 9597.
 - Fire Department – Computers, Software, WIFI, and Mounting Equipment for Ambulances.
 - Final Pay Request Georgetown Dr. Reconstruction Project.
8. Plan Commission.
 - Extraterritorial Certified Survey Map – Mark Peters – Pleasant Valley Road.
 - Certified Survey Map – Holz – English Oaks.
9. Developer's Agreement – Holz – Highland Road.
10. Board of Public Works.
 - WPDES Storm Water Compliance Report.

11. Resolution 16-20 – Recognition of Casey Latz as Recipient of the Honorary Fellowship Award by the Wisconsin Park & Recreation Association.
12. Departmental Reports.
13. Washington County Board Report.
 - County Wide Health Coalition, Well Washington County – Amanda Wisth, MPH, CHES.
14. West Bend School District Liaison Report.
15. Greater Jackson Business Alliance Report.
16. Mid-Moraine Legislative Committee/Mid-Moraine Municipal Report.
17. Citizens to Address the Village Board.
18. Convene into closed session pursuant to Wis. Stats. § 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved: The Memorandum of Understanding regarding the Village-Town Revenue Sharing Agreement and Cooperative Boundary Plan.

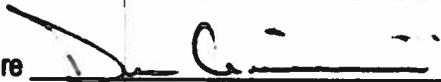
Reconvene into Open Session with Possible Action on Memorandum of Understanding.
19. Adjourn.

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Cathedral Builders, Inc.
 Contact Dean Giacomini Address/ZIP N169 W2170 Tower Dr Jackson Phone # 262-250-1985
 E-mail Address dean@cathedralbuilders.com Fax # where Agenda/Staff comments are to be faxed 262250-1988
 Name of Owner Giacomini Family Holdings Address/ZIP W143 N9340 Henry Stark Rd MF 5305 Phone# _____
 Owner Representative/Developer Cathedral Builders, Inc.
 Proposed Use of Site industrial Present Zoning M1

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u>	<u>TYPE OF INFORMATION DESCRIBED</u> (See page 5)	<u>PAPER COPIES</u>	<u>CD</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' 200') *	Labels*	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	<u>Engineering Review - Infrastructure</u>		
			5) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water Sewer Storm Sewer Plans	4 (24x36)	XXX
			17) Street Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl.	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Dean Giacomini Signature  Date 10/7/16

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a Special Use Conditional Use Planned Unit Development

Permit to:

Name of Business/Applicant: Cathedral Builders, Inc.

For a property located at (address): N169 W21170 Tower Dr Jackson

Phone number of Business/Applicant: 262-250-1985

For (land use, activity, sign, site plan, other): use approval for cabinet fabrication
business

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): external saw dust
collector to be located on north end of building (back side)

Hours of Operation: M-F 5:30am - 5:30pm Sat 5:30am-12pm

Comprehensive/Master Plan Compatibility: yes

Building Materials (type, color): existing building, proposed paint color, hard-
plank siding, stone veneer, EIFS

Setbacks from rights-of-way and property lines: existing

Screening/Buffering: n/a

Landscape Plan (sizes, species, location): to be designed

Signing (dimensions, colors, lighting, location): trim siding

Lighting (wattage, style, pole location and height, coverage): existing exterior lighting

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s),
(sidewalk/pedestrian way width and material): existing

Storm-water Management: existing

Erosion Control: n/a

Fire Hydrant Location(s): existing in parking lot

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: Dean Giacomini 414-688-5799
no knox box at this time, will install in future

Hazardous Material Storage: stain, lacquer stored in fire proof cabinets

Alarm Systems: sprinkler system

Site Features/Constraints: none

Parking (no. of spaces, handicapped parking, and dimensions): employee and customer parking
to be restriped in future

Tree and shrub preservation: to be designed

Setbacks/height limitations: existing

Wastewater Usage Projected: min gal/year Water Usage Projected: min gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):
expiration and review upon complaint

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

John Walther, Administrator

DEAN GIACOMINI, Owner
Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

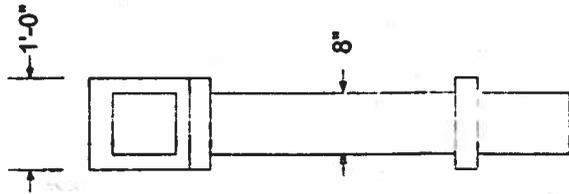
The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

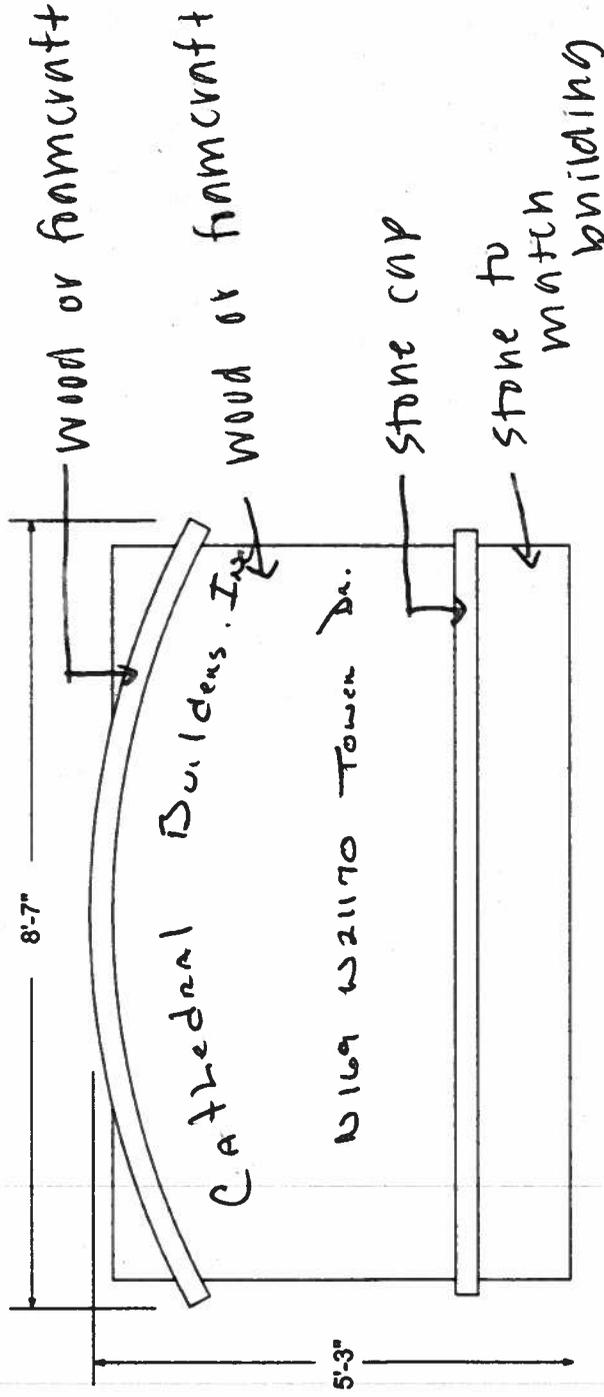
1. **Application Form: Must be submitted on CD.**
2. **Letter of Intent: What you are requesting in your own words. (Be brief)**
3. **Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00**
4. **Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.**
5. **Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.**
 - A. **Annual water consumption estimate (100% occupancy and build-out)**
 - B. **Annual sewage generation estimate (100% occupancy and build-out)**
 - C. **Vehicle trip generation (trips per day per unit x number of units)**
 - D. **Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.**
 - E. **Proposed sign(s) (advertising business, industry, dwelling unit)**
 - F. **General hours of operation**
 - G. **Anticipated user profiles (for residential developments)**
 - H. **Proposed dates of construction and completion**
 - I. **Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.**
6. **Location Map: Show where the site is relative to a Village map.**
7. **Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.**
- 8/9. **Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.**
10. **Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.**
11. **Annexation Petition/Attachment Request: Shows owner is supporting the annexation.**
12. **Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.**
13. **Sketch Plan: An informal drawing depicting the proposal for discussion purposes.**
14. **Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.**
15. **Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)**
16. **Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.**
17. **Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.**
18. **Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.**
19. **Proposed Colors and Materials: Submit samples of exterior colors and materials.**
20. **Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.**
21. **Annexation Agreement.**

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

End View



Front and Back View



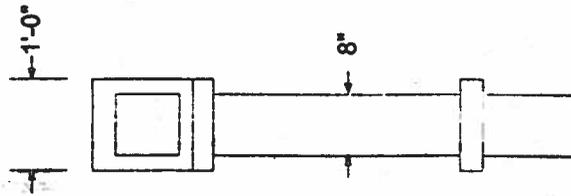
Peachtree City
Foamcraft
 ARCHITECTURAL ACCENTS & SIGN STRUCTURES
 388 South P.A. Turner, G.A. 30790 Ph: 770-487-5491 Fax: 770-487-5495

Standard Model #36
 Size: 5' 3" x 8' 7"
 Overall Sq/Ft: 45.1
 Date: 5/19/2003
 Scale: 1/2" = 12"

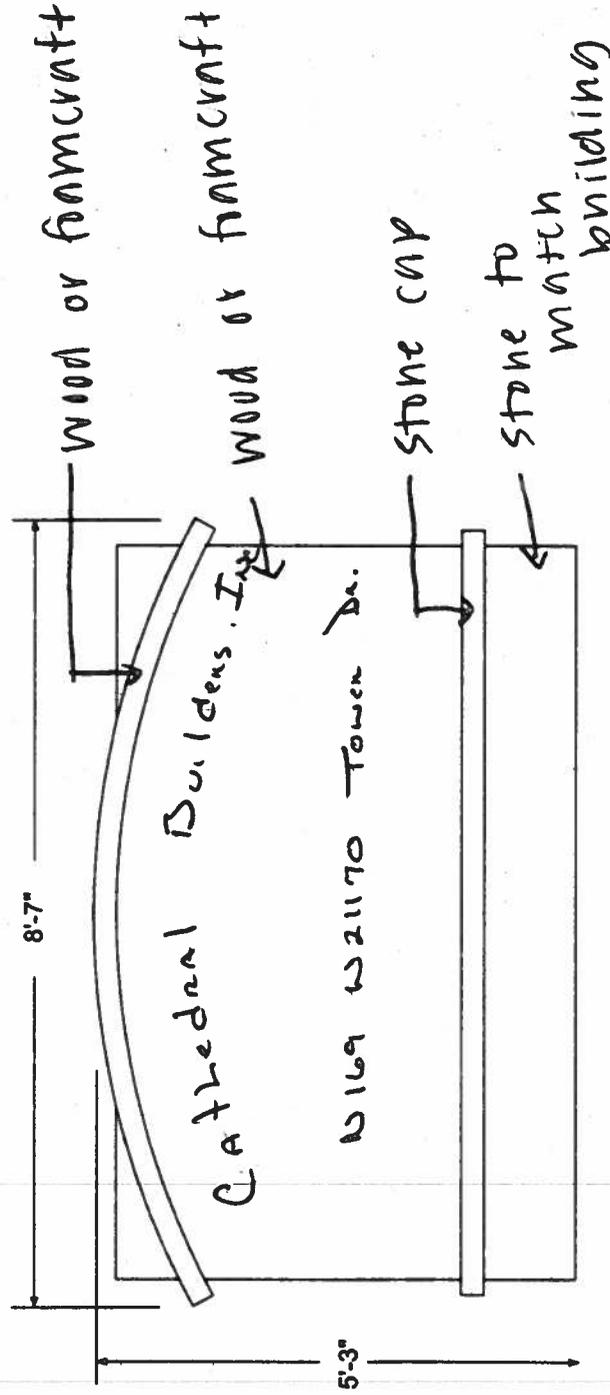
Notes:

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End View



Front and Back View



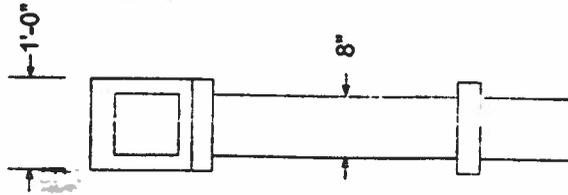
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 Overall Sq/Ft: 45.1
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Notes:

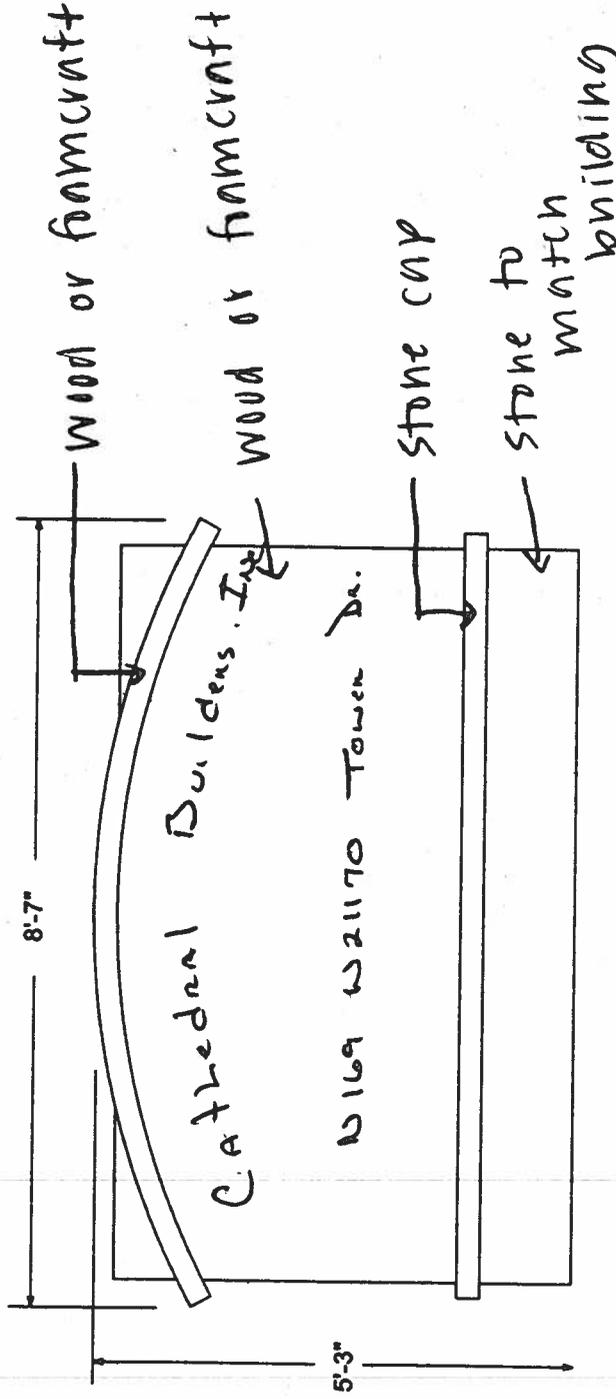
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End View



Front and Back View



Peachtree City
Foamcraft
 ARCHITECTURAL ACCENTS & SIGN STRUCTURES
 388 South Rd., Tyrone, GA 30090 Ph: 770-487-5481 Fax: 770-487-5488

Standard Model #36
 Size: 5' 3" x 8' 7"
 Overall Sq/Ft: 45.1
 Date: 5/19/2003
 Scale: 1/2" = 12"

Notes:

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6102
Labello

201-C5

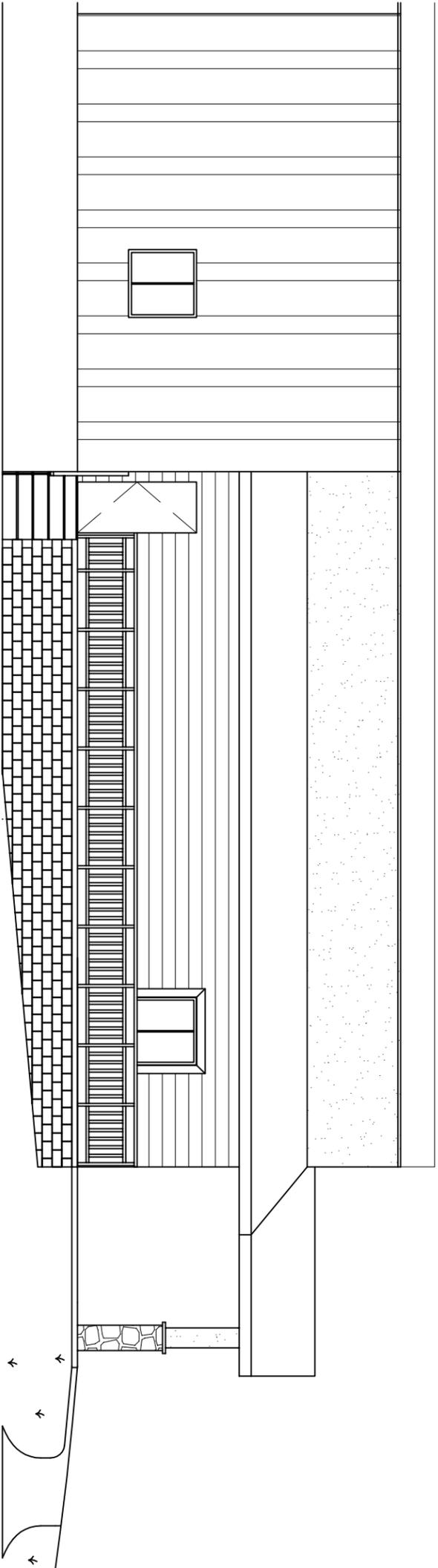
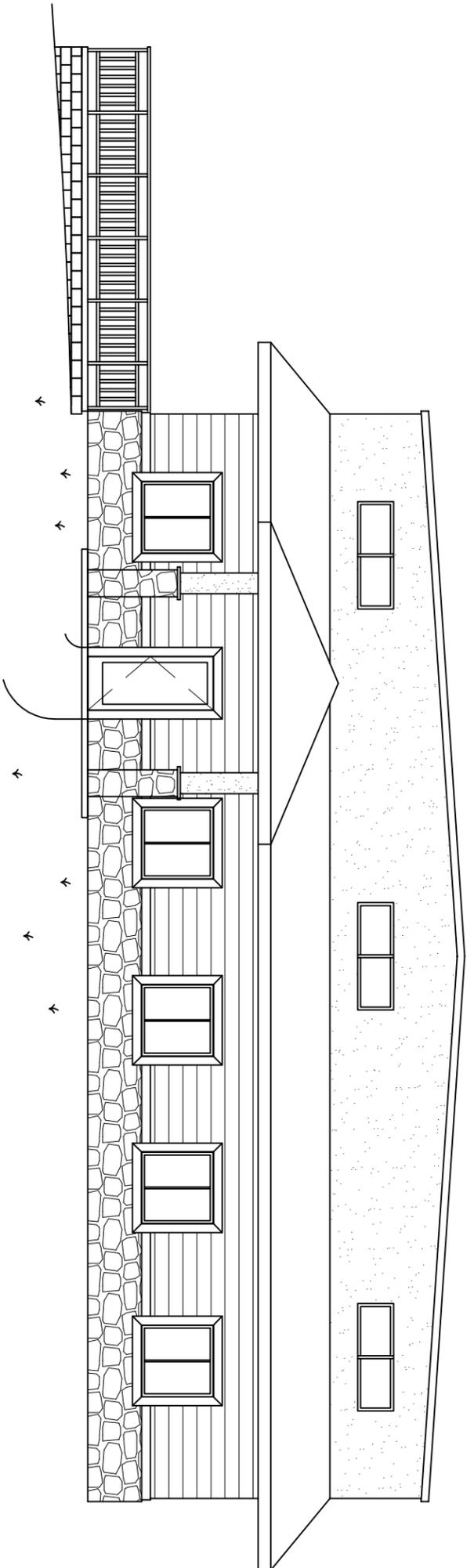
201-C5

SW 6100 
Practical Beige

201-C2

Siding



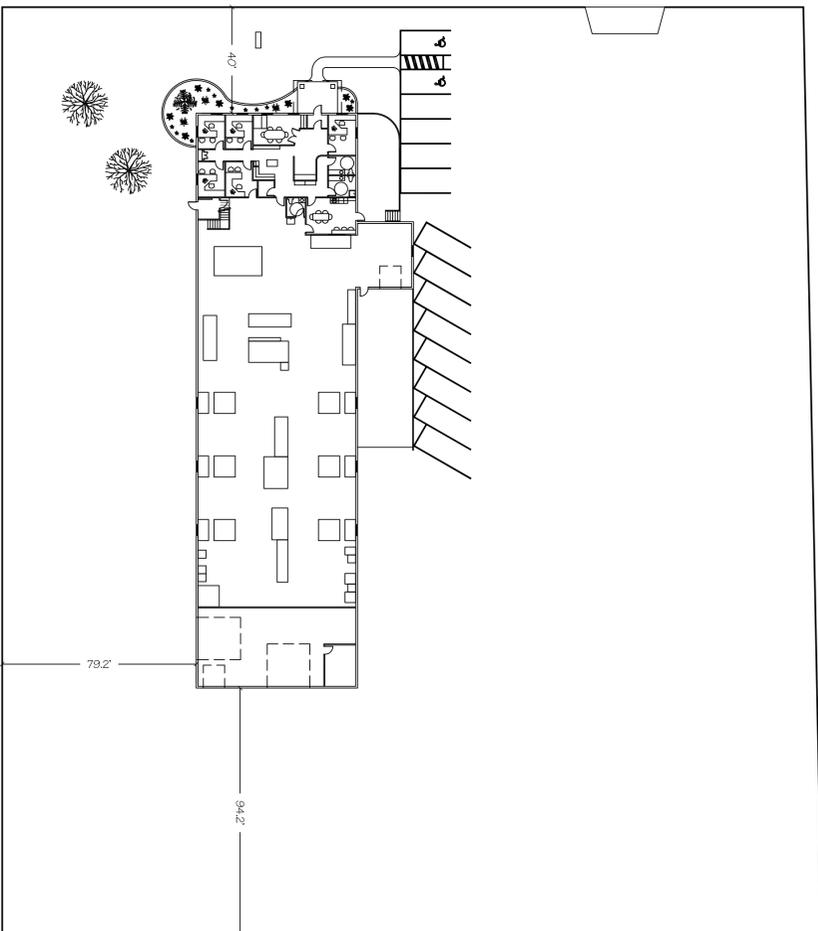
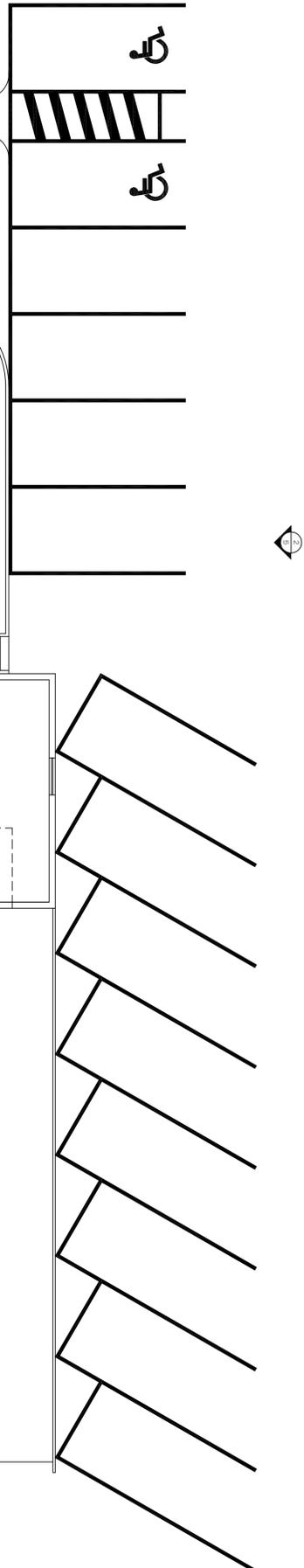
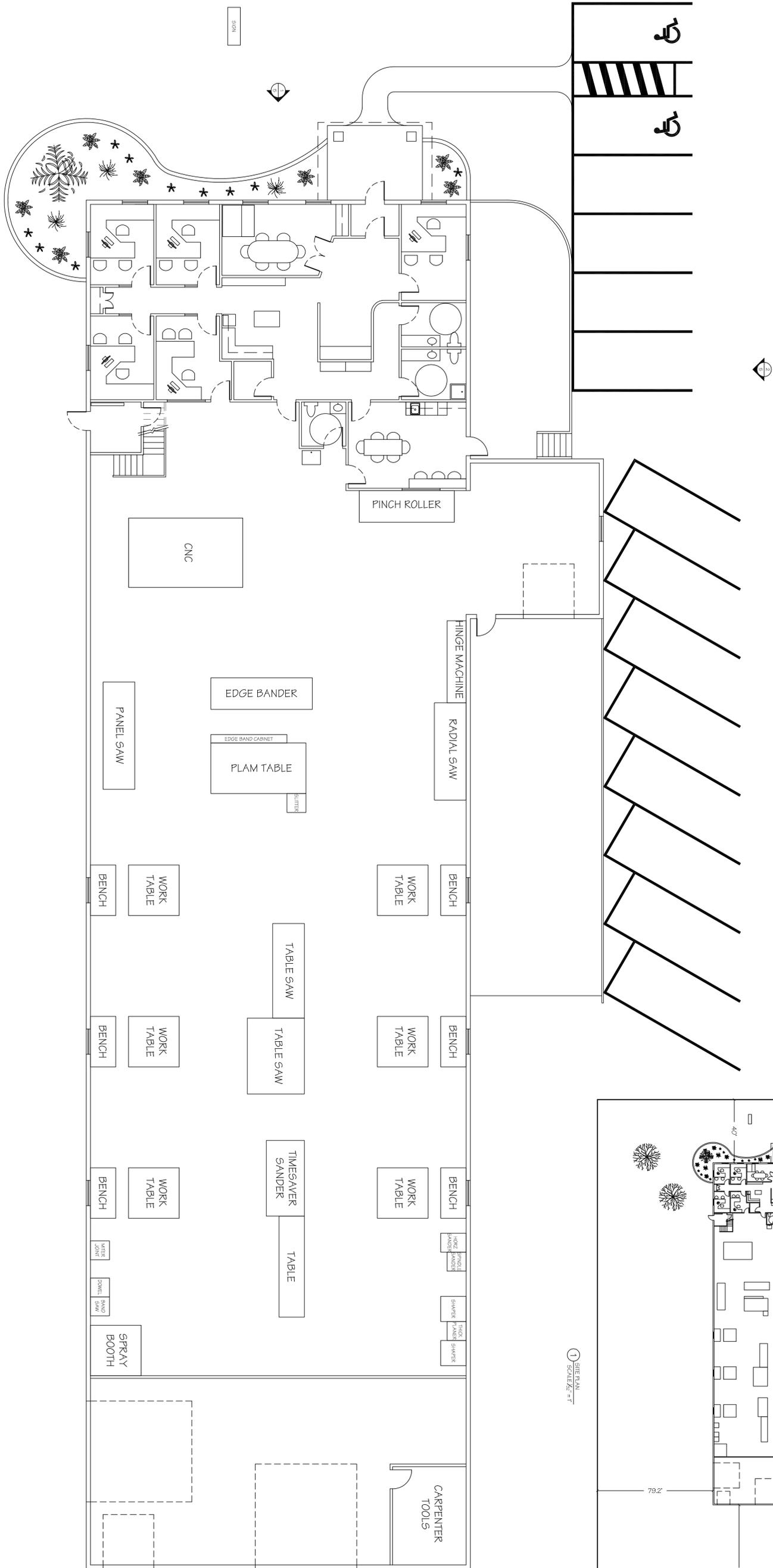


STANDARD CONSTRUCTION PRACTICES: UNO
 - CABINET INTERIORS TO BE WHITE MELAMINE
 - CABINET CONSTRUCTION TO BE FULL OVERLAY
 - ALL GRAIN TO RUN VERTICAL UNO
 - ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION
 - CATHEDRAL BUILDERS IS NOT RESPONSIBLE FOR IN-WALL BLOCKING, UNLESS STATED IN THE CONTRACT

Cathedral Builders Inc.
 W143 N9340 HENRY STARK RD. MENOMONEE FALLS, WI
 262-250-1985 FAX 262-250-1988

BY: L.GIACOMINI
 DATE: 7-Oct-16
 REVISION: A
 JOB NO: ----
 DESCRIPTION:
 EXTERIOR ELEVATIONS

SHEET:
5

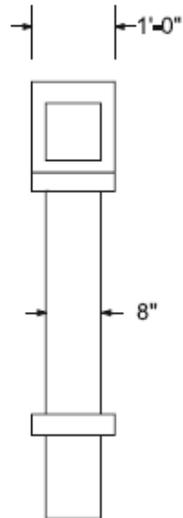


1 SITE PLAN
SCALE: 1/8" = 1'-0"

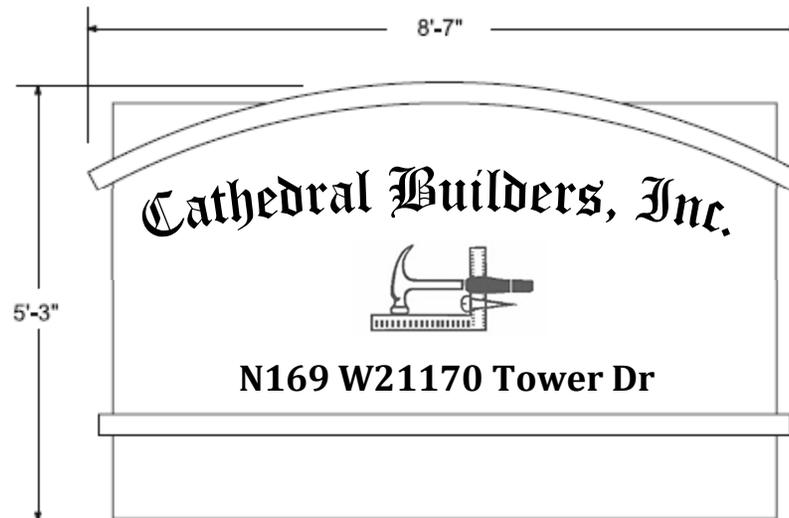
PROJECT:	
BY:	LJACOMINI
DATE:	7-24-16
REVISION:	A
JOB NO.:
DESCRIPTION:	SHOP FLOOR VIEW
SCALE:	1/8" = 1'-0"
SHEET:	1

Cathedral Builders Inc.
 N169 W2170 TOWER DR JACKSON, WI 53027
 262-250-1985 FAX 262-250-1988

End View



Front and Back View



Peachtree City
Foamcraft
 ARCHITECTURAL ACCENTS & SIGN STRUCTURES
 386 Senola Rd., Tyrone, GA 30290 Ph: 770-497-6491 Fax: 770-497-6408

Standard Model #36
 Size: 5' 3" x 8' 7"
 Overall Sq/Ft: 45.1
 Date: 5/19/2003
 Scale: 1/2" = 12"

Notes:

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Design 2 Construct

Development Corporation
N173 W21010 Northwest Passage
Jackson, WI 53037
Tel: (262) 677-9933 Fax: (262) 677-9934

LETTER OF TRANSMITTAL

Date: Thursday, April 14, 2016
Project No.: 15-00170
Project: **Lumber Sales & Products, Inc.**

TRANSMITTAL TO:

Village of Jackson Plan Commission
Attn: Deanna Boldrey
N168 W20733 Main St
Jackson, WI 53037
Ph.:

REGARDING:

Lumber Sales & Products, Inc.
Delaney Court
Jackson, WI 53037

COPIES	DATE	NO.	DESCRIPTION
4	8/16/2016		Site Plan
4	10/7/2016		Fence Details
1	4/14/2016		Address Labels of Adjacent Owners
1	4/14/2016		CD containing all the above

THESE ARE TRANSMITTED as checked below:

For Approval	Resubmit _____ copies for approval	Approved As Submitted
For Your Use	Submit _____ copies for distribution	Approved As Noted
As Requested	Return _____ corrected prints	Returned For Corrections
For Review and Comment	_____	

REMARKS:

The Owner of Lumber Sales would like to revise his scrap enclosure to eight feet high inside the enclosure. To meet the conditions of previous Plan Commission approval of the fence, the Owner will raise the grade around the outside of the enclosure two feet and install the approved six foot high fence.

COPIES TO: _____

SIGNED: Brad Egan

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Desiree Z Covert Phone # 262 677 9988
 Contact BRAD EGAN Address/ZIP _____
 E-mail Address began@design2construct.com Fax # where Agenda/Staff comments are to be faxed _____
 Name of Owner Lansar Sales Address/ZIP Deerley Court Phone# _____
 Owner Representative/Developer D.Z.C. Present Zoning PUD
 Proposed Use of Site PARKING LOT

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	2) Describe what you intend to do (paragraph) 3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	XXX
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	4) Owner acknowledgement of the request 5) Impact Statement	1	XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	6) Location Map 7) Development Plan / Site Plan		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	8) Preliminary Plat 9) Final Plat		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	10) Certified survey Map 11) Annexation Petition		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	12) Annexation Map 13) Sketch Plan	1	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	14) Landscape Plan <u>Engineering Review - Infrastructure</u>	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan 16) Water / Sewer / Storm Sewer Plans	4 (24x36) 4 (24x36)	XXX XXX
FINAL PLAT / Final Plat Reappl.	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections 18) Erosion Control Plan	4 (24x36) 4 (24x36)	XXX XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials 20) Developers Agreement		XXX XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements)		XXX
VARIANCE	\$150	1,2,3,4,6,7	22) other -		XXX
* Labels	\$25				
			If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name BRAD EGAN Signature [Signature] Date 10/7/16
 Office Use: Date Received _____ Date Paid _____ Amount Paid \$ _____ Receipt # _____

Storm-water Management: _____

Erosion Control: _____

Fire Hydrant Location(s): _____

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: _____

Hazardous Material Storage: _____

Alarm Systems: _____

Site Features/Constraints: _____

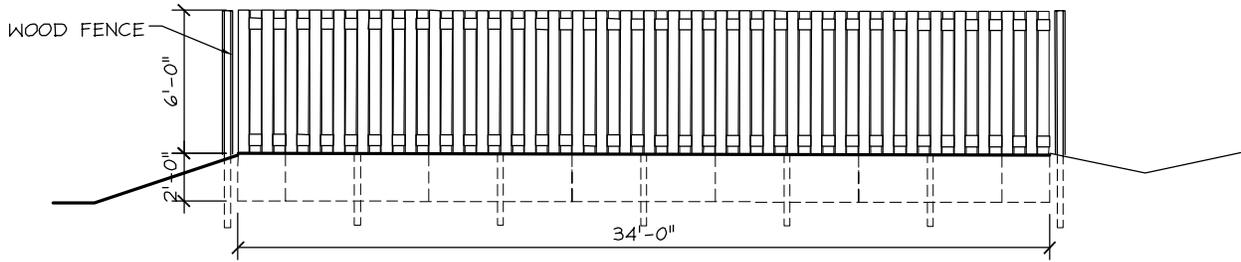
Parking (no. of spaces, handicapped parking, and dimensions): _____

Tree and shrub preservation: _____

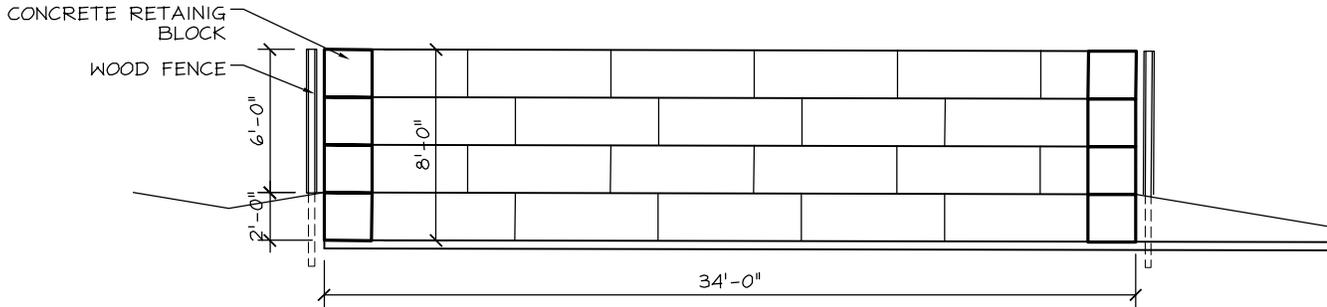
Setbacks/height limitations: _____

Wastewater Usage Projected: _____ gal/year Water Usage Projected: _____ gal/year

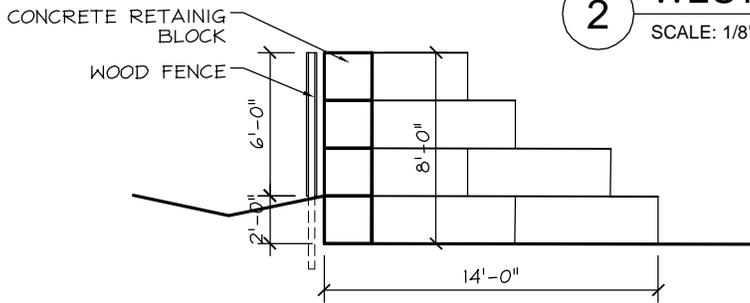
Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):



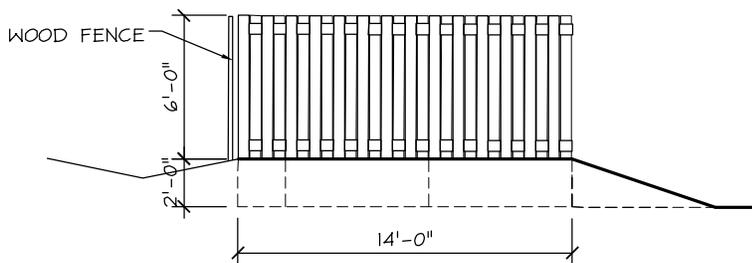
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SECTION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

DESIGN
N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037
PHONE 262.677.9933
FAX 262.677.9934
info@design2construct.com
CONSTRUCT
DEVELOPMENT CORPORATION

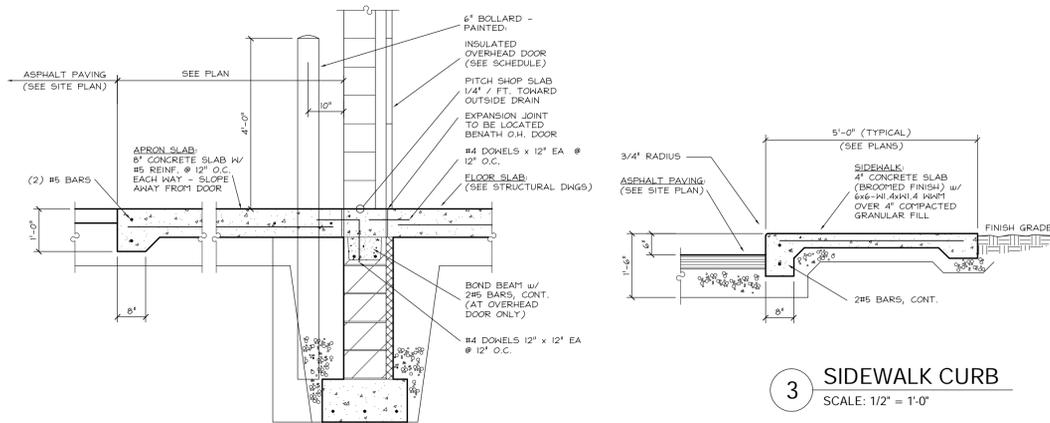
BUILDING DESIGN FOR:
LUMBER SALES
DELANEY CT
JACKSON, WI 53037

FILE NAME	
DRAWN BY	BCE
REVISION DATE	10.07.2016
JOB NO.	15 00170

REVISION NO.	X
REVISES SHEET	A1.0
CR-1	

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE		ROOTS
				MATURE	AT PLANTING	
D1	2	BETULA Papyrifera	BIRCH, PAPER	40'	3 BRANCH CLUMP	B & B
E1	4	JUNIPERUS SCOPULORUM	JUNIPER, ROCKY MOUNTAIN - WELCH	6-15'	2-1/2' CAL.	B & B
S1	10	SPIRAEA BIMALDA	SPIRAEA, GOLDMOUND	2-3'	12-18" HIGH	POT
S2	9	EUONYMUS, ALATUS COMPACTA	BURNING BUSH, COMPACT	3-5'	12-18" HIGH	POT



4 CONCRETE APRON
SCALE: 1/2" = 1'-0"

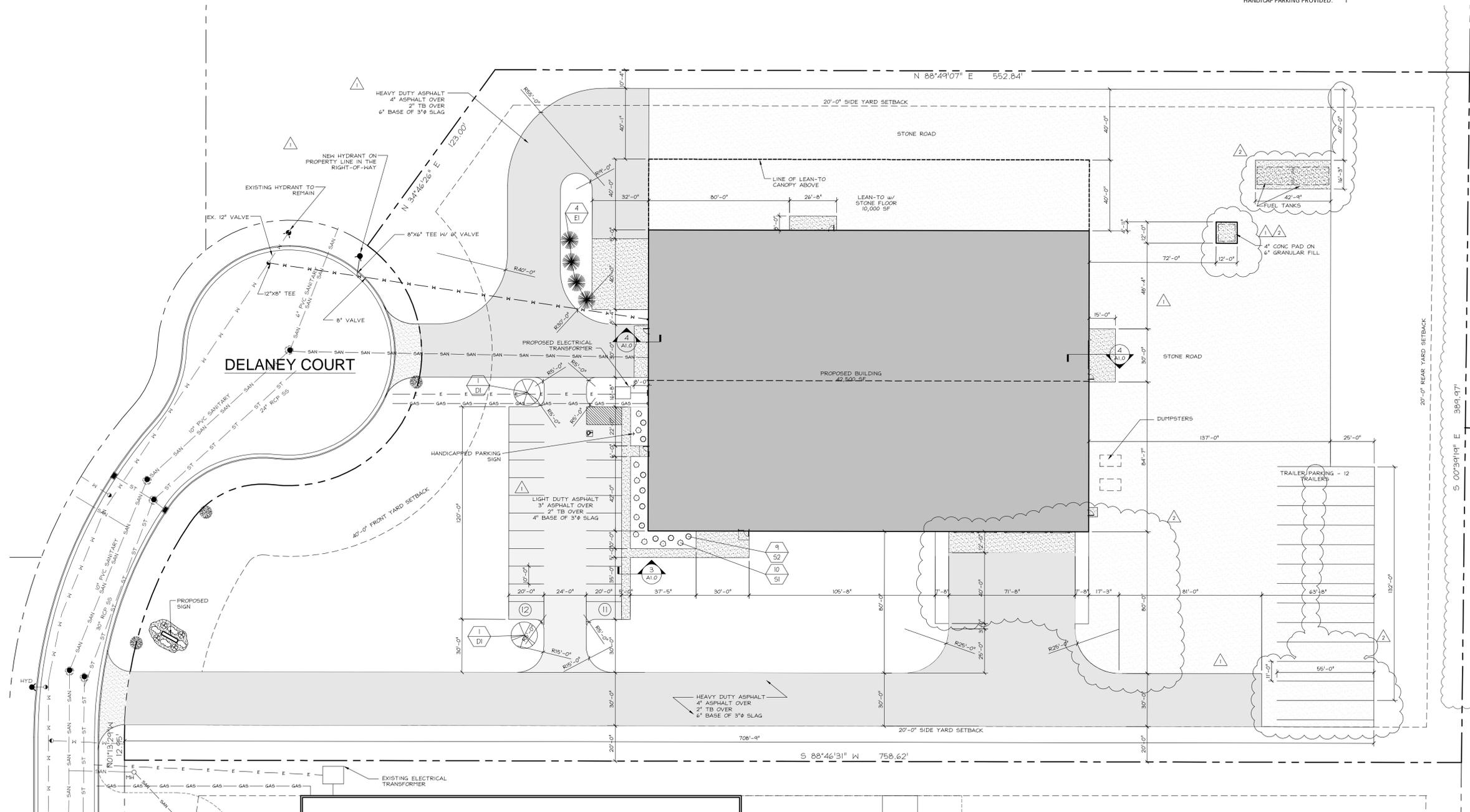
3 SIDEWALK CURB
SCALE: 1/2" = 1'-0"



2 LOCATION PLAN
NOT TO SCALE

SITE DATA:

SITE AREA:	256,003 S.F.	
AREA OF PROPOSED BUILDING:	5.88 ACRES	
AREA OF PROPOSED LEAN TO:	42,500 S.F.	
TOTAL BUILDING FOOTPRINT:	10,000 S.F.	
	52,500 S.F.	
CONCRETE AREA:	6,953 S.F.	
HEAVY DUTY PAVING:	28,030 S.F.	
LIGHT DUTY PAVING:	8,929 S.F.	
STONE DRIVE AREA:	53,944 S.F.	
TOTAL HARD SURFACE AREA:	97,856 S.F.	38.22% OF SITE
TOTAL GREENSPACE AREA:	158,147 S.F.	61.78% OF SITE
ALLOWABLE BUILDING HEIGHT:	50'-0"	
BUILDING HEIGHT:	27'-6"	
	REQUIRED	ACTUAL
FRONT YARD SETBACK:	40'-0"	128.58' W
SIDE YARD SETBACK:	20'-0"	130' S 50' N
REAR YARD SETBACK:	20'-0"	215' E
PARKING STALL REQUIREMENTS:		
TOTAL PARKING PROVIDED:	23	
HANDICAP PARKING REQUIRED:	1	
HANDICAP PARKING PROVIDED:	1	



1 SITE PLAN
SCALE: 1" = 30'-0"

DESIGN
2
CONSTRUCT
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:

LUMBER SALES
*
DELANEY COURT
VILLAGE OF JACKSON, WISCONSIN 53037

SHEET TITLE

SITE PLAN

REVISIONS

6/4/16	
8/16/16	

PROJECT DATA

DATE	08.16.2016
JOB NO.	15-00170
SET USE	STATE REVIEW
FILE NAME	C1-A1.0
DRAWN BY	BCE, BW
SHEET NO.	

A1.0

DRAFT MINUTES
Village Board Meeting
Tuesday, October 11, 2016, at 7:30 p.m.
Jackson Village Hall
N168W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call.

President Michael Schwab called the meeting to order at 7:30 p.m.

Members Present: Trustees Kruepke, Kufahl, Emmrich, Kurtz, Lippold, and Olson.

Staff present: John Walther, Fire Chief Swaney, Jim Micech, Kelly Valentino, and Police Chief Dolnick.

2. Pledge of Allegiance.

President Schwab led the assembly in the Pledge of Allegiance.

3. Any Village Citizen Comment on an Agenda Item.

None.

4. Public Hearing: Conditional Use – Nelson – Three Dogs – Stonehedge Dr.

Pres. Schwab opened the Public Hearing. There were no comments. The Nelsons were in attendance. Pres. Schwab closed the Public Hearing. The Plan Commission recommended approval of the Nelsons Three Dogs on Stonehedge Dr. per staff comments.

Motion by Tr. Kufahl, second by Tr. Lippold to approve the Conditional Use for Three Dogs for the Nelsons on Stonehedge Dr. per staff comments.

Vote: 7 ayes, 0 nays. Motion carried.

5. Public Hearing: Conditional Use – Piotrowski – Three Dogs – Willow Ridge Dr.

Pres. Schwab opened the Public Hearing. There were no comments. Mr. Piotrowski was in attendance. Pres. Schwab closed the Public Hearing. The Plan Commission recommended approval of the Piotrowski Three Dogs on Willow Ridge Dr. per staff comments.

Pres. Schwab closed the Public Hearing.

Motion by Tr. Kufahl, second by Tr. Emmrich to approve the Conditional Use for Three Dogs for the Piotrowski on Willow Ridge Dr. per staff comments.

Vote: 7 ayes, 0 nays. Motion carried.

6. Consent Agenda:

- Approval of Minutes for the Village Board Meetings of September 13, 2016 and September 29, 2016.
- Licenses.

Operator Licenses:

The Village Mart: Delilah Schieble

East Side Mart: Brandi Rasmussen, Kevin Hartwig

Main Street Mart: Toriano McAfee

Walgreens: Kathleen Brown, Dana Kelsey

Latest Edition: Danielle Cyrak

Motion by Pres. Schwab, second by Tr. Olson to approve the Consent Agenda items of the Village Board Minutes of September 13, 2016 and September 29, 2016, and the Operators' Licenses.

Vote: 6 ayes, 0 nays, 1 abstain (Tr. Kruepke). Motion carried.

7. Budget & Finance Committee.

Pay Request #4 – Wilshire Drive Reconstruction Project.

(Returning from September Meeting.)

The contractor has done minor landscaping and intends to come back in the spring. The amount is \$16,288.90. Tr. Kufahl reported that it was reported to him that the Village did a lot of fill with topsoil because the contractor would not come back to fill the topsoil.

Motion by Tr. Kufahl, second by Pres. Schwab to refer the item to the November meeting.

Vote: 7 ayes, 0 nays. Motion carried.

Review of Proposal from Cedar Corporation – Space Needs Analysis.

The Budget & Finance Committee and the Board of Public Works recommended approval of the Space Needs Analysis Proposal from Cedar Corporation in an amount not to exceed \$44,650. Motion by Pres. Schwab, second by Tr. Kruepke to approve the Space Needs Analysis Proposal from Cedar Corporation in an amount not to exceed \$44,650. Tr. Olson commented that the board needs to seriously need to look at going forward. Cedar Corp. does have access to the first set of plans. Tr. Olson also commented to consider Ehlers updating the future financial plan.

Vote: 7 ayes, 0 nays. Motion carried.

Review of Stonewall Sidewalk Project Plan and Proposal.

The Budget & Finance Committee and the Board of Public Works recommended approval of the Stonewall Sidewalk Project Plan in an amount not to exceed \$146,867. Motion by Tr. Kufahl, second by Tr. Lippold to approve the Stonewall Sidewalk Project Plan in an amount not to exceed \$146,867.

Vote: 7 ayes, 0 nays. Motion carried.

Request to Purchase Replacement Duty Weapons.

The Budget & Finance Committee recommended approval of the request to purchase replacement duty weapons of thirteen Sig Sauer pistols and holsters for \$3,793. The funds will come from the sale of the expedition. The current models are jamming. They do have a good trade in value. Motion by Tr. Kufahl, second by Tr. Emmrich to approve the purchase of the Sig Sauer Pistols and holsters in an amount not to exceed \$3,793.

Vote: 7 ayes, 0 nays. Motion carried.

8. Departmental Reports.

Kelly Valentino reported that the Glo Run will be on Saturday. There are 147 participants signed up. The race starts at 6:30 p.m. Renee is cooking chili. There will be a band afterward.

Deanna reported that there is an election coming up on November 8, 2016. The Public Test with training will be on October 31, 2016. Tr. Kufahl inquired if the community center could be used for future elections.

Future budget meeting dates were discussed and a budget hearing date of November 29th.

9. Washington County Board Report.

None.

10. West Bend School District Liaison Report.

Tr. Kruepke commented to extend an invitation to the new superintendent.

11. Greater Jackson Business Alliance Report.

Brian Heckendorf commented that the next general membership meeting is next Wednesday and the Chief of Police will discuss identity theft. The meeting in December will be in the evening.

12. Mid-Moraine Legislative Committee/Mid-Moraine Municipal Report.

Administrator Walther reported that the Mid-Moraine Legislative Committee will meet tomorrow night at the Village Hall. The Mid-Moraine Municipal Dinner will be on October 26th in Hartford. Pres. Schwab commented that on May 27, 2017, the Village will host the Mid-Moraine Dinner.

13. Citizens to Address the Village Board.

The Fire Department open house will be on Wednesday from 6-8 p.m.

14. Announcement: The November 8th meeting will be held at the Community Center due to the general election.

15. Convene into closed session pursuant to Wis. Stats. § 19.85(1)(e) Deliberating or negotiating the purchasing of public properties, investing of public funds, or conducting other specified business, whenever competitive or bargaining reasons require a closed session, and Wis. Stats. § 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved: matters relating to Jackson Properties, LLC, and the Village-Town Revenue Sharing Agreement and Cooperative Boundary Plan.

Reconvene into Open Session.

Motion by Pres. Schwab second by Tr. Kufahl to convene into closed session at 8:07 p.m. and to include the Village Board, John Walther, and Deanna Boldrey.

Vote: 7 ayes, 0 nays. Motion carried.

The board convened into open session at 8:43 p.m.

16. Adjourn.

Motion by Tr. Kufahl, second by Tr. Emmrich to adjourn.

Vote: 7 ayes, 0 nays. Motion carried. Meeting was adjourned at 8:45 p.m.

Respectfully submitted by Deanna L. Boldrey, Clerk/Treasurer

DRAFT MINUTES

Village Board Meeting

Tuesday, October 18, 2016, at 8:35 p.m.

Jackson Village Hall

N168W20733 Main Street

Jackson, WI 53037

1. Call to Order and Roll Call.

President Michael Schwab called the meeting to order at 8:35 p.m.

Members Present: Trustees Lippold, Olson, Kruepke, Kufahl, Kurtz, and Emmrich.

Staff present: John Walther, Brian Kober

2. Resolution Authorizing the Issuance of \$1,000,000 State Trust Fund Loan.

Motion by Tr. Olson, second by Tr. Lippold, to approve the Resolution Authorizing the Issuance of \$1,000,000 State Trust Fund Loan. The loan is for the purchase of property with an existing building for the use of Village offices such as Engineering, Public Works, & Utility Offices with storage and parking. Borrowing to include the purchase of related equipment and building improvements. The resolution below was read into the record of the meeting.

By the provisions of Sec. 24.66 of the Wisconsin Statutes, all municipalities may borrow money for such purposes in the manner prescribed, and,

By the provisions of Chapter 24 of the Wisconsin Statutes, the Board of Commissioners of Public Lands of Wisconsin is authorized to make loans from the State Trust Funds to municipalities for such purposes. (Municipality as defined by Sec. 24.60(2) of the Wisconsin Statutes means a town, village, city, county, public inland lake protection and rehabilitation district, town sanitary district created under Sec. 60.71 or 60.72, metropolitan sewerage district created under Sec. 200.05 or 200.23, joint sewerage system created under Sec. 281.43(4), school district or technical college district.)

THEREFORE, BE IT RESOLVED, that the Village of Jackson, in the County(ies) of Washington, Wisconsin, borrow from the Trust Funds of the State of Wisconsin the sum of One Million And 00/100 Dollars (\$1,000,000.00) for the purpose of financing the purchase and renovation of an existing building for Village offices including ancillary projects and equipment and for no other purpose.

The loan is to be payable within 10 years from the 15th day of March preceding the date the loan is made. The loan will be repaid in annual installments with interest at the rate of 3.00 percent per annum from the date of making the loan to the 15th day of March next and thereafter annually as provided by law.

RESOLVED FURTHER, that there shall be raised and there is levied upon all taxable property, within the Village of Jackson, in the County(ies) of Washington, Wisconsin, a direct annual tax for the purpose of paying interest and principal on the loan as they become due.

RESOLVED FURTHER, that no money obtained by the Village of Jackson by such loan from the state be applied or paid out for any purpose except financing the purchase and renovation of an existing building for Village offices including ancillary projects and equipment without the consent of the Board of Commissioners of Public Lands.

RESOLVED FURTHER, that in case the Board of Commissioners of Public Lands of Wisconsin agrees to make the loan, that the president and clerk of the Village of Jackson, in the County(ies) of Washington, Wisconsin, are authorized and empowered, in the name of the Village to execute and deliver to the Commission, certificates of indebtedness in such form as required by the Commission, for any sum of money that may be loaned to the Village pursuant to this resolution. The president and clerk of the

Village will perform all necessary actions to fully carry out the provisions of Chapter 24 Wisconsin Statutes, and these resolutions.

RESOLVED FURTHER, that this preamble and these resolutions and the aye and no vote by which they were adopted, be recorded, and that the clerk of this Village forward this certified record, along with the application for the loan, to the Board of Commissioners of Public Lands of Wisconsin.

Roll Call Vote: 6 ayes, 1 nay (Tr. Emmrich). Motion carried.

3. Adjourn.

Motion by Tr. Lippold, second by Tr. Emmrich to adjourn at 8:49 p.m.

Vote: 7 ayes, 0 nays. Motion carried.

Respectfully submitted by Deanna L. Boldrey, Clerk/Treasurer

DRAFT MINUTES
Joint Village - Town Special Board Meeting
Wednesday, October 19, 2016, at 7:00 p.m.
Jackson Village Hall
N168W20733 Main Street
Jackson, WI 53037

1. Call to Order and Roll Call.

President Michael Schwab called the meeting to order at 7:00 p.m.

Members Present: Trustees Lippold, Olson, Kruepke, Kufahl, Emmrich, and Kurtz.

Town Board Present: Chairman Heidtke, Supervisors Hartwig, Kufahl, Bishop, and Huettl.

- 2.** The Village Board intends to convene into closed session pursuant to Wis. Stats. § 19.85(1)(e) for the purpose of deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, because competitive and bargaining reasons require a closed session. The closed session is also pursuant to Wis. Stats. § 66.0307(4m). The subject matter of the closed session concerns the JTRAA lawsuit regarding the Revenue Sharing Agreement and Cooperative Boundary Plan between the Village of Jackson and the Town of Jackson. No action is contemplated and the meeting will adjourn immediately following the closed session.

Motion by Pres. Schwab, second by Tr. Kufahl, to convene into closed session at 7:00 p.m. and to include the Village Board and Town Board.

Roll Call Vote: 7 ayes, 0 nays. Motion carried.

The Board Reconvened into Open Session at 8:14 p.m.

3. Adjourn.

Motion by Tr. Olson, second by Tr. Lippold to adjourn at 8:14 p.m.

Vote: 7 ayes, 0 nays. Motion carried.

Respectfully submitted by Deanna L. Boldrey, Clerk/Treasurer

NAME

POLICE CHIEF
RECOMMENDATION

Operator's License Application:

Shannon Macheel
Angela Meeks

Village Mart & Main Street Mart
Jackson Pub

Approval
Approval



93 South Pioneer Road, Suite 300 • Fond du Lac, WI 54935 • (920) 924-5720

September 7, 2016

Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

Attention: Brian Kober, P.E.
Director of Public Works

Subject: Project I.D. 151021
Wilshire Drive
Utility Construction Project
Estimate #4

Dear Mr. Kober:

Enclosed you will find Pay Estimate #4 for the Wilshire Drive project in the Village of Jackson. The total amount, due to the contractor, has not been reduced by five percent (5%) for retainage due to the fact that the work is beyond 50% completion. This is per Article 6.02.A.1 Progress Payments; Retainage, of Contract Document 00500, Agreement. All previously retained money shall be paid to the contractor minus \$5,000. This is per Article 6.02.A.2 Progress Payments; Retainage, of Contract Document 00500, Agreement. The remainder of retained money will be paid upon final acceptance of all contract work. This is per Article 6.03.A Final Payment, of Contract Document 00500, Agreement.

Work completed, Estimate # 4	= \$5,904.81
Retainage Due, Estimate #4	= \$10,384.09
Retainage Remaining, Estimate #4	= \$5,000
Amount due to Contractor, Estimate #4	= \$16,288.90

If you have any questions or comments, please contact me at (920) 924-5720 or cell (414) 397-8100.

Sincerely,

Kevin Schmidt
Gremmer & Associates, Inc.

Gremmer and Associates, Inc.

93 S. Pioneer Road, Suite 300
Fond du Lac, WI 54935
(920) 924-5720
fax (920)924-5725

Buteyn-Peterson - Prime Contractor

Village of Jackson - Wilshire Drive

Item No.	Description	Units	TOTAL	Unit Price	Bid Total	Previous Estimates		Estimate #4		Cumulative Totals		% Complete
						Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	
100.01	Removing Concrete	SY	1885	\$3.47	\$6,540.95	1,903.90	\$6,606.53		\$0.00	1,903.90	\$6,606.53	101%
100.02	Removing Curb & Gutter	LF	2595	\$2.75	\$7,136.25	2,618.00	\$7,199.50		\$0.00	2,618.00	\$7,199.50	101%
100.03	Excavation Common	CY	2535	\$13.00	\$32,955.00	2,596.50	\$33,754.50		\$0.00	2,596.50	\$33,754.50	102%
100.04	Base Aggregate Dense 3/4-Inch	TON	830	\$17.43	\$14,466.90	819.04	\$14,275.87		\$0.00	819.04	\$14,275.87	99%
100.05	Base Aggregate Dense 1 1/4-Inch	TON	3400	\$10.60	\$36,040.00	3,197.03	\$33,888.52	90.26	\$956.76	3,287.29	\$34,845.27	97%
100.06	Breaker Run	TON	100	\$9.23	\$923.00	104.68	\$966.20		\$0.00	104.68	\$966.20	105%
100.07	Concrete Driveway 7-Inch	SY	1310	\$43.00	\$56,330.00	1,267.00	\$54,481.00		\$0.00	1,267.00	\$54,481.00	97%
100.08	HMA Pavement, Type E-0.3	TON	1520	\$49.20	\$74,784.00	1,318.39	\$64,864.79		\$0.00	1,318.39	\$64,864.79	87%
100.09	Asphaltic Surface Driveway	TON	10	\$84.50	\$845.00	19.00	\$1,605.50		\$0.00	19.00	\$1,605.50	190%
100.10	Concrete Curb & Gutter 30-Inch Type D	LF	2600	\$11.30	\$29,380.00	2,654.00	\$29,990.20		\$0.00	2,654.00	\$29,990.20	102%
100.11	Concrete Sidewalk 4-Inch	SF	10300	\$3.51	\$36,153.00	10,477.00	\$36,774.27		\$0.00	10,477.00	\$36,774.27	102%
100.12	Lawn Restoration	SY	4150	\$5.25	\$21,787.50	3,066.90	\$16,101.23	16.20	\$85.05	3,083.10	\$16,186.28	74%
100.13	Erosion Control	LS	1	\$2,300.00	\$2,300.00	1.00	\$2,300.00		\$0.00	1.00	\$2,300.00	100%
100.14	Traffic Control	LS	1	\$1,800.00	\$1,800.00	0.90	\$1,620.00	0.10	\$180.00	1.00	\$1,800.00	100%
100.15	Sawing Asphalt	LF	365	\$2.00	\$730.00	326.50	\$653.00		\$0.00	326.50	\$653.00	89%
100.16	Sawing Concrete	LF	480	\$3.00	\$1,440.00	381.00	\$1,143.00		\$0.00	381.00	\$1,143.00	79%
200.01	Removing Manholes	EACH	5	\$350.00	\$1,750.00	5.00	\$1,750.00		\$0.00	5.00	\$1,750.00	100%
200.02	Removing Inlets	EACH	8	\$200.00	\$1,600.00	8.00	\$1,600.00		\$0.00	8.00	\$1,600.00	100%
200.03	Removing Storm Sewer	LF	1150	\$5.00	\$5,750.00	1,105.00	\$5,525.00		\$0.00	1,105.00	\$5,525.00	96%
200.04	Storm Sewer Pipe PVC SDR-35 4-Inch	LF	1671	\$18.00	\$30,078.00	1,693.00	\$30,474.00		\$0.00	1,693.00	\$30,474.00	101%
200.05	Storm Sewer Pipe Reinforced Concrete 12-Inch	LF	167	\$60.00	\$10,020.00	167.00	\$10,020.00		\$0.00	167.00	\$10,020.00	100%
200.06	Storm Sewer Pipe Reinforced Concrete 15-Inch	LF	812	\$54.50	\$44,254.00	803.50	\$43,790.75		\$0.00	803.50	\$43,790.75	99%
200.07	Storm Sewer Pipe Reinforced Concrete 18-Inch	LF	54	\$70.50	\$3,807.00	54.00	\$3,807.00		\$0.00	54.00	\$3,807.00	100%
200.08	Storm Sewer Pipe Reinforced Concrete 24-Inch	LF	434	\$66.50	\$28,861.00	486.00	\$32,319.00		\$0.00	486.00	\$32,319.00	112%
200.09	Catch Basins 2.5x3-FT w/ Casting	EACH	7	\$1,157.00	\$8,099.00	7.00	\$8,099.00		\$0.00	7.00	\$8,099.00	100%
200.10	Manholes 4-FT Diameter w/ Casting	EACH	6	\$823.00	\$4,938.00	6.00	\$4,938.00		\$0.00	6.00	\$4,938.00	100%
200.11	Manholes 5-FT Diameter w/ Casting	EACH	3	\$1,220.00	\$3,660.00	3.00	\$3,660.00		\$0.00	3.00	\$3,660.00	100%
200.12	Manholes 6-FT Diameter Doghouse w/ Casting "	EACH	1	\$1,789.00	\$1,789.00	1.00	\$1,789.00		\$0.00	1.00	\$1,789.00	100%
200.13	Inlets 2.5x3-FT w/ Casting	EACH	3	\$1,058.00	\$3,174.00	3.00	\$3,174.00		\$0.00	3.00	\$3,174.00	100%
200.14	Concrete Collar	EACH	3	\$500.00	\$1,500.00		\$0.00		\$0.00	0.00	\$0.00	0%
300.01	Removing Sanitary Sewer Manholes	EACH	1	\$1,388.30	\$1,388.30	1.00	\$1,388.30		\$0.00	1.00	\$1,388.30	100%
300.02	Abandoning Sanitary Sewer	LS	1	\$500.00	\$500.00	1.00	\$500.00		\$0.00	1.00	\$500.00	100%
300.03	Adjusting Sanitary Manhole	EACH	7	\$669.00	\$4,683.00		\$0.00	7.00	\$4,683.00	7.00	\$4,683.00	100%
300.04	Connect to Existing Sanitary Sewer	EACH	2	\$500.00	\$1,000.00	2.00	\$1,000.00		\$0.00	2.00	\$1,000.00	100%
300.05	Sanitary Sewer PVC SDR-35 6-Inch	LF	165	\$93.00	\$15,345.00	159.50	\$14,833.50		\$0.00	159.50	\$14,833.50	97%
300.06	Sanitary Sewer PVC SDR-35 8-Inch	LF	400	\$93.87	\$37,548.00	397.00	\$37,266.39		\$0.00	397.00	\$37,266.39	99%
300.07	Sanitary Sewer Manhole w/ Casting	EACH	2	\$3,920.00	\$7,840.00	2.00	\$7,840.00		\$0.00	2.00	\$7,840.00	100%
400.01	Removing Hydrant	EACH	3	\$1,014.00	\$3,042.00	3.00	\$3,042.00		\$0.00	3.00	\$3,042.00	100%
400.02	Abandoning Water Main	LS	1	\$600.00	\$600.00	1.00	\$600.00		\$0.00	1.00	\$600.00	100%
400.03	Water Main Pipe HDPE 1 1/4-Inch	LF	855	\$74.00	\$63,270.00	893.50	\$66,119.00		\$0.00	893.50	\$66,119.00	105%
400.04	Water Main Pipe PVC C-900 6-Inch	LF	35	\$72.00	\$2,520.00	32.50	\$2,340.00		\$0.00	32.50	\$2,340.00	93%
400.05	Water Main Pipe PVC C-900 8-Inch	LF	1420	\$73.33	\$104,128.60	1,429.50	\$104,825.24		\$0.00	1,429.50	\$104,825.24	101%
400.06	Gate Valve 6-Inch	EACH	3	\$1,800.00	\$5,400.00	3.00	\$5,400.00		\$0.00	3.00	\$5,400.00	100%
400.07	Gate Valve 8-Inch	EACH	5	\$2,240.00	\$11,200.00	5.00	\$11,200.00		\$0.00	5.00	\$11,200.00	100%
400.08	Reducer 8-Inch x 6-Inch	EACH	2	\$924.00	\$1,848.00	2.00	\$1,848.00		\$0.00	2.00	\$1,848.00	100%
400.09	Anchor Tee 8-Inch x 6-Inch	EACH	3	\$1,071.00	\$3,213.00	4.00	\$4,284.00		\$0.00	4.00	\$4,284.00	133%
400.10	Cross 8-Inch x 8-Inch	EACH	1	\$1,329.00	\$1,329.00	1.00	\$1,329.00		\$0.00	1.00	\$1,329.00	100%
400.11	Bend 11.25 Degree 8-Inch	EACH	8	\$950.00	\$7,600.00	8.00	\$7,600.00		\$0.00	8.00	\$7,600.00	100%
400.12	Bend 22.5 Degree 8-Inch	EACH	2	\$961.00	\$1,922.00	4.00	\$3,844.00		\$0.00	4.00	\$3,844.00	200%
400.13	Bend 45 Degree 8-Inch	EACH	6	\$965.00	\$5,790.00	5.00	\$4,825.00		\$0.00	5.00	\$4,825.00	83%
400.14	Connect to Existing Water Main	EACH	4	\$929.00	\$3,716.00	4.00	\$3,716.00		\$0.00	4.00	\$3,716.00	100%
400.15	Hydrant	EACH	3	\$4,076.00	\$12,228.00	3.00	\$12,228.00		\$0.00	3.00	\$12,228.00	100%
400.16	Temporary 6 Cap w/ 2" Blowoff "	EACH	1	\$2,221.00	\$2,221.00	1.00	\$2,221.00		\$0.00	1.00	\$2,221.00	100%
400.17	Polystyrene Insulation 4-Inch	SF	96	\$9.00	\$864.00	96.00	\$864.00		\$0.00	96.00	\$864.00	100%
SUBTOTAL						\$772,087.50	\$756,283.27		\$5,904.81	\$762,188.08	99%	



93 South Pioneer Road, Suite 300 • Fond du Lac, WI 54935 • (920) 924-5720

Work completed, previous estimates	\$756,283.27
Work completed, this estimate	\$5,904.81
Total work completed	\$762,188.08
Retainage, this estimate	\$5,000.00
Total Retainage, previous estimates	\$15,384.09
Total Retainage, final	\$5,000.00
Amount due to contractor, this estimate	\$16,288.90



INFINITY
 Software Solutions, Inc
 "SOLUTIONS - Not JUST Software"

405 S Farwell, #20 • Eau Claire WI 54701
Phone: (715) 491-0783
Email: mark@infinitejoy.com
Web: www.PermitBase.com

October 31, 2016

To: Jim Micech & the Village of Jackson, WI

From: Infinity Software Solutions, makers of PermitBase Building Inspector Software

Subject: Quote on upgrade and extension of Village of Jackson PermitBase software

The Village of Jackson is currently operating with version 3 of our software, instead of the latest version, PermitBase 4 (PB-4). The newest version adds enhanced contractor license tracking, by date and type, the ability to email reports, enhanced permit entry to enable creation and printing of the Wisconsin Building Permit Application, and additional permit and property attributes.

We have also created an additional software extension that we call PermitBase Net (PB-Net) which allows your staff to access several PermitBase features from an Internet-connected web browser in the field. Specifically, the inspector can, from the browser, log in and view the list of open permits, view the Permit/Inspection Log, enter Inspection Notes and enter Code Violations.

Jackson can upgrade to PermitBase 4 for \$250.00. All support for installation and training on the new version will be free of charge for at least 6 months from the purchase. It is Infinity Software Solutions' policy to provide no-charge support for any software bugs indefinitely, though we reserve the right to charge additional fees for support in migration to different computers or operating systems.

Jackson may also purchase PermitBase Net for an additional \$250.00. Adding PB-Net is contingent on the previous upgrade to PB-4. *Remote* installation of and training with both the upgrade to PB-4 and PB-Net are included in the quotes, but *on-site* installation and upgrade can be done by Infinity for an extra \$400.00. We advise that the upgrades both be done by Jackson-affiliated computer support personnel, under our supervision.

A quote for further extensions to the PB-Net software was requested by Jim Micech which would allow the remote user to print the Village of Jackson-specific Inspection Report (called Municipal Inspection Report), and the Wisconsin Inspection Report, and the ability to email the reports to the owner or contractors connected with an individual Permit. The addition of these reports and features will require creation and maintenance of 3 new tables and modifications to 6 existing tables.

The cost of the PB-Net enhancement will be \$1280.00, all charges included.

The upgrade to version PB-4 and the optional installation of PB-Net can be accomplished within 2 weeks, if we are notified by the end of the first week of November. The PB-Net enhancement, if approved, will be done and installed in no more than 2 months from the date of approval.

Sincerely,

Mark Helpsmeet

Mark Helpsmeet
 Infinity Software Solutions
permitbase.com

SOFTWARE:
 PERMIT BASE 4 UPGRADE + \$250-
 PERMIT BASE NET + \$250-
 PB-NET ENHANCEMENT + \$1280-
 UPGRADE

 \$1,780-

JACKSON FIRE DEPARTMENT

PO BOX 72140
CEDARBURG, WI 53012

Toll Free (800)829-5703 Ext. 109

(262)375-9610 Ext. 109

PATIENT NAME:

PATIENT NUMBER:

INSURANCE:

CALL NUMBER:

DATE OF CALL:

TIME OF CALL:

CALLER:

FROM:

TO:

REASON(S)

FOR
TRANSPORT

P3

B

OTHER INSURANCE

DESCRIPTION OF CHARGE	QUANTITY	UNIT PRICE	AMOUNT
NON TRANSPORT A0998	1.0	200.00	200.00
			Total Charges <u>200.00</u>

DESCRIPTION OF PAYMENT	RECEIPT	PAYMENT DATE	AMOUNT
			Total Credits <u>0.00</u>
			\$200.00

MasterCard / VISA accepted with 3% fee added. Call 1-877-896-9610

PLEASE PAY THIS AMOUNT →

3 Rivers Billing, Inc

This Collection Agency Is Licensed By The Division Of Banking, PO Box 7876, Madison, WI 53707

DETACH ALONG PERFORATION ABOVE AND RETURN STUB WITH YOUR PAYMENT

PATIENT NAME:

CALL NUMBER:

AMOUNT DUE \$ 200.00

PATIENT NUMBER:

BILLING DATE:

16-0148

AMOUNT \$
ENCLOSED _____

9597

Since there's been no response concerning your outstanding invoice, the account will be turned over to collections if payment is not made in the next 10 days. Collection fees may be added.

PAY TO THE ORDER OF:

JACKSON FIRE DEPARTMENT PO BOX 72140 CEDARBURG, WI 53012-2709

Treasurer

From: Jackson Fire Department Fire Chief <chief1201@jacksonwired.com>
Sent: Friday, November 04, 2016 1:24 PM
To: Deanna Boldrey
Subject: Computers, software, mounting brackets
Attachments: image trend quote.pdf; TTK GTAC Quote_001.pdf; TTK Surface pro Quote_001.pdf; Sierra wireless airlink Quote_001.pdf; Antenna Quote_001.pdf

Note:

I would like the Village board approval for purchasing Image Trend Software of \$18,750

I would like the Village board approval for us to purchase 4 computers and hardware for the mounting, not to exceed \$16,000.

I also would like to add in a contingency of an additional \$3000, should we not be able to install ourselves. We currently have 2 personal that will donate their time for installation but if for some reason they cannot the contingency plan is in place.

Note: data plan was put into the 2017 budget. The computers will be put in 2 ambulances, inspection truck, and 4th will be used for training, presentations, command, and a spare for the ambulances.

Aaron A. Swaney

FIRE CHIEF, BS

Village of Jackson Fire Department

Office: 262.677.3811 EXT 100

chief1201@jacksonwired.com

Ship To:
 Aaron Sweeny
 Jackson Fire Department
 W204N16722 Jackson Dr
 Jackson, WI 53037
 262.677.3811 ext 100
 Chief1201@jacksonwired.com

Bill To:
 Same as Ship To



Salesperson	Quote Number	Date
Kyle Eisenzimmer	KE-1130	October 31, 2016

Description	Qty	Unit Price	Total
Software			
ImageTrend Elite Rescue Setup and Project Management	1	\$4,500.00	\$4,500.00
ImageTrend Elite Rescue Annual SaaS Fee	700	\$3.50	\$2,450.00
ImageTrend Elite Rescue Annual Support	1	Included	
ImageTrend Elite Rescue Annual Hosting	1	Included	
Rescue Bridge Setup and Project Management	1	Included	
Fire Modules Included:			
<i>NFIRS 5.0 Reporting</i>		<i>Inspections</i>	
<i>Activities</i>		<i>Inventory</i>	
<i>Checklist</i>		<i>Locations</i>	
<i>Fire Shifts</i>		<i>Occupants</i>	
<i>Hydrants</i>		<i>QA/QI</i>	
EMS/Fire Mobile Products			
ImageTrend Elite Field Site License	1	Included	
ImageTrend Elite Field Site License Annual Support	1	Included	
ImageTrend Elite Mobile Fire Inspections Site License	1	Included	
ImageTrend Elite Mobile Fire Inspections Annual Support	1	Included	
MyFax Integration	1	\$2,500.00	\$2,500.00
MyFax Integration Annual Support	1	\$400.00	\$400.00
<i>Richard Solomon Sr. Sales Representative, Major Accounts j2 Global®</i>			
<i>richard.solomon@j2.com www.j2.com</i>			
<i>Toll free: 888.733.0000 NEW ext.7642</i>			
Training			
Webinar Training Sessions (2 hour session M-F during ImageTrend's Standard Business Hours)	4	\$250.00	\$1,000.00
TOTAL Year 1			\$10,850.00
*Fees after Year 1			\$2,850.00
Optional Items			
<i>Client may elect to purchase any of the following items by checking the associated box. These items will be added to your total cost.</i>			
<input type="checkbox"/> Scheduler Setup Fee	1	\$750.00	\$750.00
Scheduler Annual Support	1	\$400.00	\$400.00
<input type="checkbox"/> Training Sessions - Onsite (Full Day M-F)	1	\$1,000.00	\$1,000.00
Travel per Trainer for Onsite Training	1	\$750.00	\$750.00
<input type="checkbox"/> CAD Integration	1	\$5,000.00	\$5,000.00
Vendor:		<i>EMS & Fire</i>	
CAD Annual Support and Hosting	1	\$1,750.00	\$1,750.00
		<i>Pro-Pheonix</i>	

Terms of Agreement

Upon acceptance and signature of Quote, 50% of the One-Time Fees will be invoiced. The remaining 50% of One-Time Fees will be invoiced independently upon completion. The Recurring Annual Fees will begin at system go-live. Payment terms of Net 30 days.

- The recurring annual fees will be billed annually in advance.
- This Quote and pricing is based on an estimated 700 incidents per year as provided by Client.
- This proposal is valid for 90 days.

DISCLAIMER: This quote creates no legal obligations. This letter is intended to confirm the parties' current understanding of the terms, but it is not intended to create any legal obligations with respect to any of the terms. Neither party should rely on this quote and no legal or equitable remedy will arise from any such reliance. Instead, the parties must reach a final agreement. A final agreement will be a condition precedent to any binding obligations. **A fully executed Contract Agreement will be required to be completed before an order is processed.**

Agreed to and accepted by:
 ImageTrend, Inc.

Jackson Fire Department

 Initials

 Dated

If you have any questions regarding this proposal, contact:
 Kyle Eisenzimmer at 952-469-6184 or keisenzimmer@imagnetrend.com
 David Zaiman at 952-469-6206 or dzaiman@imagnetrend.com
contracts@imagnetrend.com

Thank you for your business!

Sierra Wireless AirLink® GX450

\$ 800.00

Rugged, reliable 4G mobile communications

The AirLink® GX450 is a rugged, secure mobile gateway designed to deliver mission-critical communications for in-vehicle applications. With LTE coverage on major global networks, the GX450 extends broadband connectivity to a wide range of devices and applications. It extends the enterprise network and management to the fleet, ensuring reliable, secure broadband data access for mobile users in the field.



The GX450 Solution

AirLink GX450® – Rugged, mobile 4G gateway



AIRLINK GX450 FEATURES

- State of the art 4G LTE coverage spanning 11 LTE frequency bands
- Provides in-vehicle network connectivity via Ethernet, Serial, WiFi and USB
- Supports automatic switching to Wi-Fi networks at station/depot
- Rugged vehicle design exceeds MIL-STD-810G specifications for shock and vibration
- Integrated events engine to track vehicle status and workforce safety
- Reliable GPS report store and forward to multiple redundant servers
- Up to 5 VPN tunnels to support secure communications over cellular networks
- Remote configuration, software update, and monitoring with AirVantage Management Service
- Integrated by industry leading solution partners in M2M Solution Exchange
- Industry leading warranty, including free software maintenance and accelerated hardware replacement



WI-FI MODEL



I/O MODEL



ETHERNET MODEL



BASE MODEL

AIRLINK GX450 BENEFITS

- Supports present and future high-speed LTE networks
- Proven reliability, over 1 million AirLink devices deployed
- Secure communications from vehicle to enterprise
- Advanced situational monitoring for the mobile workforce
- Powerful remote management solution



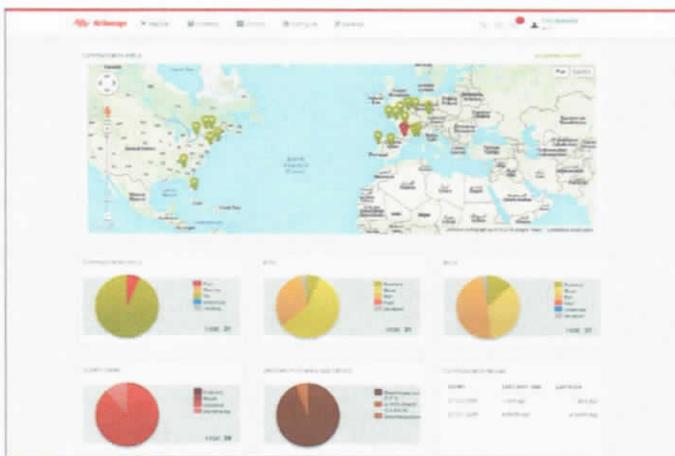
AirLink®

Sierra Wireless AirLink[®] GX450

MANAGEABILITY: MANAGE, MONITOR AND ADMINISTER YOUR FLEET REMOTELY

Managing a fleet of mobile gateways is a demanding task. You need to maintain multiple device configurations, update device software, and remotely diagnose reported issues. Fortunately, AirVantage Management Service (AVMS) is the industry's leading¹ device management solution. This highly advanced application supports over-the-air device registration, configuration and software updates. Dashboards display up-to-date views of the entire fleet, and custom reports can be set-up to monitor critical events and prevent downtime.

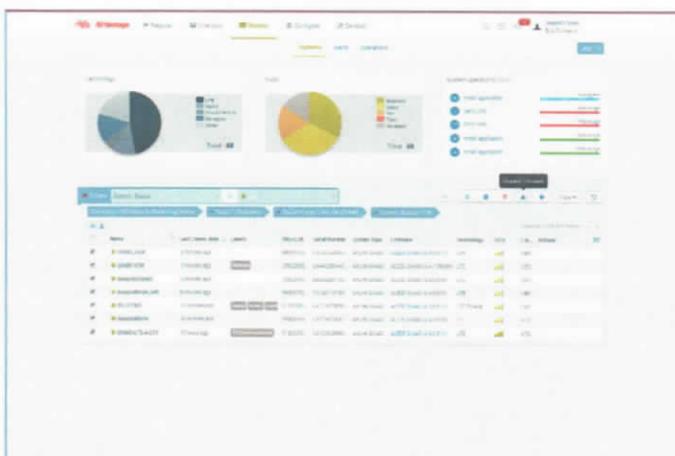
DASHBOARD



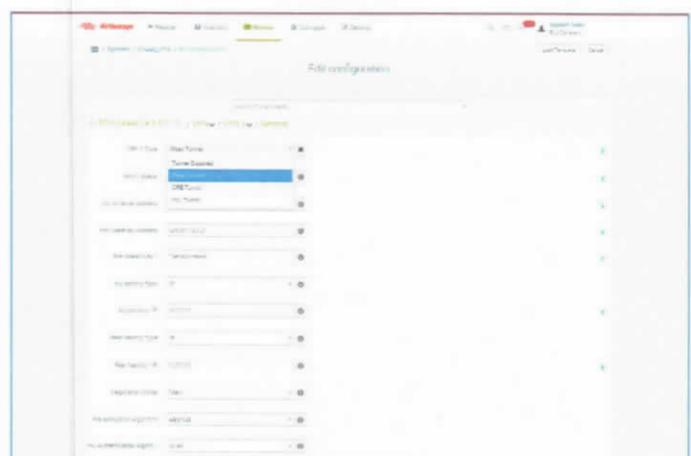
MONITOR CONNECTIVITY



SOFTWARE UPGRADES/UPDATES



SECURITY CONFIGURATION



¹ ABI Research

Sierra Wireless AirLink[®] GX450

VEHICLE AREA NETWORKING: CONSOLIDATE CONNECTIONS

The GX450 is available in four configurations to provide vehicle-area connectivity tailored for each application environment. The base model provides connectivity for wired Ethernet, Serial and USB devices in the vehicle; an Ethernet option provides additional Ethernet ports. With the Wi-Fi option, the GX450 also includes an 802.11 b/g/n mobile access point for wireless devices and a Wi-Fi client for depot/station communications. An I/O option provides 4 digital input/outputs and 4 analog inputs to monitor external system events and sensor inputs. Consolidating all devices according to your requirements at the vehicle reduces the number of modems, antennas and subscriptions otherwise needed.

MODEL	HARDWARE INTERFACES
GX450 base	1 Ethernet, 1 RS-232 serial, 1 digital I/O, 1 USB, 2 cellular & 1 GPS antenna connectors
Wi-Fi option	Adds 802.11 b/g/n Wi-Fi hotspot with simultaneous client mode for cellular offloading
I/O option	Adds 4 digital I/O, 4 analog input, and a second RS-232 Serial port
Ethernet option	Adds 2 more Ethernet ports for a total of 3

RUGGED DESIGN FOR DEMANDING VEHICLE APPLICATIONS

The GX450 is designed from the ground up to withstand the harsh environmental conditions of vehicle use. The die cast aluminum housing is sealed to meet IP64 levels of resistance to dust and water ingress. The product is tested to meet and exceed the MIL-STD-810G specification for shock, vibration, temperature and humidity. Immunity to harsh electrical transients is covered to meet international vehicle use standards.

SECURE MOBILE COMMUNICATIONS

The GX450 is loaded with features to secure your critical data. With up to 5 concurrent VPN sessions, you can ensure secure communications to multiple back-end systems. Remote authentication management allows you to use enterprise grade systems to manage access to devices in the field. Finally, port filtering and trusted IP protect the devices connected to your GX450 from unwanted access.

REPORT AND ALERT: DON'T JUST COMMUNICATE

As a fleet manager, you need more than just communications. You need to monitor the safety of your mobile workforce and the state of your vehicles. For example, you need to know if a worker has set off a man-down alert or if a police car has engaged the lights and siren. For this, you need the AirLink integrated events engine. This powerful tool allows you to develop custom event triggers and create tailored reports that communicate what's happening in the vehicle to third party server platforms - all without any programming. Best of all, through the Sierra Wireless M2M Solution Exchange, you have access to a catalogue of world class solution partners that have already integrated this functionality into their AVL and mobile workforce solutions.

AirLink[®] GX450

Technical Specifications

FEATURE	SPECIFICATION
Cellular WAN	North American Model (Sierra Wireless MC7354) - Carrier Approvals: Verizon, AT&T, Sprint, Bell, Telus, Rogers - Supported Frequency Bands <ul style="list-style-type: none"> • LTE: 1900(B2), AWS(B4), 850(B5), 700(B13), 700(B17), 1900(B25) • WCDMA: 2100(B1), 1900(B2), AWS(B4), 850(B5), 900(B8) • EV-DO/CDMA: 800(BC0), 1900(BC1), 1700(BC10) • GSM/GPRS/EDGE: Quad-band - Industry Approvals: FCC, IC, PTCRB International Model (Sierra Wireless MC7304) - Supported Frequency Bands <ul style="list-style-type: none"> • LTE: 2100(B1), 1800(B3), 2600(B7), 900(B8), 800(B20) • WCDMA: 2100(B1), 1900(B2), 850(B5), 900(B8) • GSM/GPRS/EDGE: Quad-band - Industry Approvals: CE, RCM, GCF, R&TTE
Host Interfaces	- 10/100 Base-T RJ45 Ethernet port (Ethernet option includes 3 ports) - RS-232 Serial Port on DB-9 Connector (I/O option includes additional Serial Port) - USB 2.0 Micro-B Connector - 3 SMA antenna connectors (Primary, Secondary/Diversity, GPS) - Active GPS antenna support
Input/Output	Configurable I/O pin on power connector <ul style="list-style-type: none"> • Digital Input ON Voltage: 3.3 to 30 VDC • Digital Input OFF Voltage: 0 to 1.2 VDC • Digital Output > 200mA @ 30VDC I/O Model Only <ul style="list-style-type: none"> • 5 configurable digital I/O • 4 configurable analog input (input voltage 0 to 30 VDC)
LAN (Ethernet/USB)	DNS, DNS Proxy DHCP Server IP Passthrough VLAN Host Interface Watchdog PPPoE
Serial	TCP/UDP PAD Mode Modbus (ASCII, RTU, Variable) PPP Reverse Telnet Garmin FMI
WiFi	On WiFi Model Only <ul style="list-style-type: none"> • IEEE 802.11 b/g/n • Adjustable output power (Max:15dBm) • Access point for up to 8 clients • Simultaneous access point/client mode • WEP, WPA-PSK, WPA2-PSK Security
Network and Routing	Network Address Translation (NAT) Port Forwarding Host Port Routing NEMO/DMNR VRRP Reliable Static Route Dynamic DNS
VPN	IPsec, GRE, and SSL VPN Client Up to 5 concurrent tunnels Split Tunnel Dead Peer Detection (DPD) Multiple Subnets

FEATURE	SPECIFICATION
Security	Remote Authentication (LDAP, RADIUS and TACACS+) DMZ Inbound and Outbound Port filtering Inbound and Outbound Trusted IP MAC Address Filtering PCI DSS V3.0 compatible
Satellite Navigation (GNSS)	12 Channel GPS and GLONASS Receiver Acquisition Time: 1s Hot Start Accuracy: <2m (50%), <5m (90%) Tracking Sensitivity: -145dBm Reports: NMEA 0183 V3.0, TAIP, RAP, XORA Multiple Redundant Servers Reliable Store and Forward
Events Engine	Custom event triggers and reports Configurable interface, no programming Event Types: Digital Input, Network Parameters, Data Usage, Timer, Power, Device Temperature Report Types: RAP, SMS, Email, SNMP Trap, TCP (Binary, XML, CSV) Event Actions: Drive Relay Output
AirVantage Management Service	Secure cloud-based device management application Remote provisioning and airtime activation Device configuration and template management Configurable monitoring and alerting Fleet wide firmware upgrade delivery
Management Interfaces	Web Based User Interface Device Configuration Templates Over-the-air software and radio module firmware updates AT Command Line Interface (Telnet/SSH/Serial) SMS Commands SNMP
Application Framework	ALEOS Application Framework (AAF) LUA Scripting Language Eclipse-based IDE Integrated with AirVantage
Power	Analog Ignition Sense and Power Management Input Voltage: 9 to 36 VDC Low Power mode triggered on low voltage, timer delay (ignition sense), or periodic timer
Environmental	Operating Temperature: -30°C to +70°C / -22°F to +158°F Storage Temperature: -40°C to +85°C / -40°F to +185°F Humidity: 90% RH @ 60°C Military Spec MIL-STD-810G conformance to shock, vibration, thermal shock, and humidity IP64 rated ingress protection
Industry Certifications	Safety: IECCE Certification Bodies Scheme (CB Scheme) UL 60950 Vehicle Usage: E-Mark (2009/19/EC), ISO/637-2 Hazardous Environments: Class 1 Div 2 Environmental: RoHS, REACH, WEEE
Support and Warranty	3 year standard warranty Optional additional 2 year warranty extension Unrestricted device software upgrades 1-day Accelerated Hardware Replacement available through participating resellers

About Sierra Wireless

Sierra Wireless is the global leader in machine-to-machine (M2M) devices and cloud services, delivering intelligent wireless solutions that simplify the connected world. Our solutions are **simple**, **scalable**, and **secure**, and enable customers to get their connected products and services to market faster.

For further company and product information, please visit www.sierrawireless.com.



TKK Electronics
 117 W. Walker Street, #24
 Milwaukee WI 53204
 888-968-6844

ESTIMATE

Bill To
Village of Jackson Fire Department
 W204 N16722 Jackson Drive
 Jackson, WI 53037

Estimate# 31867
Estimate Date 11/03/16
Sales Person Stacey Naumczik

Item	Description	Qty	Rate	Amount
F110-TSDIGILDD	GETAC - F Series, Intel Core i5-5200U Processor 2.2 GHz, 11.6" + Webcam, Microsoft Windows 7 Professional x64 with default RAM 4GB, 128GB SSD, Sunlight Readable (LCD + Dual mode Touchscreen and Digitizer), Multi Language + US Power, Camera, Wifi + BT + GPS + Gobi + Passthrough, without any extra option, HD Webcam, 8MP Rear Camera, No DVD Avail, Low Temp -21°C, TPM 1.2, IP65, 3 Year Bumper to Bumper Warranty	1	2,530.00	2,530.00
Havis	Docking Station with Triple Pass-through Antenna for Getac F110 Tablet with Power Supply	1	577.00	577.00
Havis	1997-2017 Ford E-Series Van Standard Passenger Mount Package	1	260.00	260.00
Havis	Adapter bracket attaches to a C-HDM-304	1	21.00	21.00
Havis	Universal Monitor Mount Assembly	1	72.00	72.00
Havis	Havis Rugged Keyboard and Keyboard Mount (Patent Pending) System	1	415.00	415.00

For questions and/or to place your order, please contact your Sales Rep toll free at: 1-888-968-6844

Stacey - ext. 402 / Juan - ext. 403 / Mike - ext. 407 / Mimi - ext. 410

Due Upon Receipt - Check or Credit Card. - This Quote is valid for 30 days and is subject to availability, unless otherwise noted above.

Sub Total 3,875.00

Total \$3,875.00

x 4
 \$15,500

Terms & Conditions

Due to the restrictions set by the USA distributors & MFG, Panasonic Toughbooks Computers, GETAC Computers & Accessories may NOT be returned under any circumstances. Warranties for all non-Panasonic products must be handled through the mfg of the item. Returns will not be accepted. — By agreeing to purchase items from TKK Electronics you are agreeing to all of our standard terms and conditions. You can request a copy of these terms and conditions via US Mail or email. The terms can also be viewed on our website.

GETAC F110

Specifications



Getac

ruggedsales@getac.com
www.getac.com
949.681.2900

Getac, Inc.
400 Exchange, Ste 100
Irvine, CA 92602

Ruggedness	MIL-STD 810G and IP65 certified MIL-STD 461F ready ² Optional ANSI/ISA 12.12.01 Vibration & drop resistant
Operating System	Windows® 10 Professional Windows 7 Professional
CPU	Intel Core i7-6600U vPro™ 2.6GHz processor with Turbo Boost Technology up to 3.4GHz; 4MB Intel Smart Cache Intel Core i7-6500U 2.5GHz processor with Turbo Boost Technology up to 3.1GHz 4MB Intel Smart Cache Intel Core i5-6300U vPro 2.4GHz processor with Turbo Boost Technology up to 3.0GHz 3MB Intel Smart Cache Intel Core i5-6200U 2.3GHz processor with Turbo Boost Technology up to 2.8GHz 3MB Intel Smart Cache
Memory	4GB DDR4 expandable to 16GB ³
Storage	Solid State 128GB / 256GB / 512GB ⁴
VGA Controller	Intel HD Graphics 520
Display	11.6" HD (1366x768) 800 NITs LumiBond® 2.0 sunlight readable display with multi-touch technology Optional digitizer
Expansion Slot Options⁴	Optional 1D/2D imager barcode reader; or RS232 Port; or 10/100/1000 base-T Ethernet; or MicroSD slot; or USB 2.0 port

Security	Intel vPro™ Technology (per CPU options) TPM 2.0 Cable lock slot NIST BIOS compliant Optional 13.56MHz RFID/NFC Optional fingerprint reader Optional smart card reader Optional Absolute™ DDS software
Communications	Intel Dual Band Wireless-AC 8260, 802.11ac Bluetooth (v4.2 class 1) Optional dedicated GPS Optional 4G LTE mobile broadband; XLTE Ready ¹ Optional 10/100/1000 base-T Ethernet (occupies expansion slot) Optional 4G LTE multi-carrier mobile broadband; XLTE Ready
Keyboard	Six tablet buttons: Power, Windows, Programmable, Camera Capture/ Barcode Reader Trigger, Volume Up & Volume Down
Webcam	Optional FHD webcam x 1 Optional 8MP auto focus camera
Power	AC Adapter (65W, 100-240VAC, 50/60Hz) Hot swappable Dual Li-Ion battery (2160mAh) x 2 (up to 12 hours of battery life) ⁵
Dimensions and Weight	12.4" x 8.15" x 0.96" (314 x 207 x 24.5mm) 3.08lbs (1.39kg) ¹¹
Temperature	Operating Temp: -5.8° F to 140° F / -21°C to 60°C Storage Temp: -40°F to 160°F / -40°C to 71°C Humidity: 95% RH, non-condensing
I/O Interfaces	DC in x 1 USB 3.0 x 1 Docking port x 1 Headphone out/Mic-in Combo x 1 HDMI x 1 Optional RF antenna pass-through for GPS, WLAN and WWAN
Warranty	3 Year bumper-to-bumper warranty standard ⁶

Specification subject to change without notice.

¹ Data plan required. Cellular data is available in the US on Verizon Wireless and AT&T networks. LTE is available in select markets. Check with your carrier for details. 4G LTE configuration must be ordered at time of purchase.

² Requires MIL-STD 461F 90W AC Adapter sold separately.

³ Computers configured with a 32-bit operating system can address up to 3GB of system memory. Only computers configured with a 64-bit operating system can address 4 GB or more of system memory.

⁴ Expansion slot factory installed and limited to one option. Subject to minimum purchase requirements.

⁵ Battery life testing conducted under BatteryMark 4.0.1. Battery performance will vary based on software applications, wireless settings, power management settings, LCD brightness, customized modules and environmental conditions. As with all batteries, maximum capacity decreases with time and use and may eventually need to be replaced by a Getac service provider. Battery life and charge cycles vary by use and settings.

⁶ For storage, 1GB = 1 billion bytes; actual formatted capacity less.

¹¹ Weight varies by configuration and manufacturing process.

⁷ 3 year bumper-to-bumper limited warranty standard. For warranty terms and conditions visit www.getac.com

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V2M05Y16



TKK Electronics
 117 W. Walker Street, #24
 Milwaukee WI 53204
 888-968-6844

ESTIMATE

Bill To
Village of Jackson Fire Department
 W204 N16722 Jackson Drive
 Jackson, WI 53037

Estimate# 31868
Estimate Date 11/03/16
Sales Person Stacey Naumczik

Item	Description	Qty	Rate	Amount
Microsoft	Microsoft Surface Pro 4 Tablet - no keyboard - Core i5 6300U / 2.4 GHz - Win 10 Pro 64-bit - 8 GB RAM - 512 GB SSD - 12.3" touchscreen 2736 x 1824 - HD Graphics 520 - Wi-Fi - silver - kbd: English - North America - commercial	4	1,730.46	6,921.84
Havis	Havis Universal Tablet Mount (for approx. 9-11" tablets)	4	200.00	800.00
Havis	1997-2017 Ford E-Series Van Standard Passenger Mount Package	4	260.00	1,040.00
Havis	Adapter bracket attaches to a C-HDM-304	4	21.00	84.00
Havis	Universal Monitor Mount Assembly	4	72.00	288.00
Havis	Havis Rugged Keyboard and Keyboard Mount (Patent Pending) System	4	415.00	1,660.00
Microsoft	Microsoft Surface Pro 4 Type Cover Keyboard - English - North American layout - black - commercial	4	105.30	421.20
Havis	Havis adapter kit to install Surface Pro 3 or Surface Pro 4 (with or without UAG Rugged Case) to UT-201	4	50.00	200.00
Accessories	For Rear Mount - Havis Universal Tablet Mount (for approx. 9-11" tablets)	4	200.00	800.00
Accessories	For Rear Mount - Havis adapter kit to install Surface Pro 3 or Surface Pro 4 (with or without UAG Rugged Case) to UT-201	4	50.00	200.00
Accessories	For Rear Mount - Universal Adapter Plate	4	45.00	180.00

For questions and/or to place your order, please contact your Sales Rep toll free at: 1-888-968-6844

Stacey - ext. 402 / Juan - ext. 403 / Mike - ext. 407 / Mimi - ext. 410

Due Upon Receipt - Check or Credit Card. - This Quote is valid for 30 days and is subject to availability, unless otherwise noted above.

Sub Total 12,595.04

Total \$12,595.04

Sierra wireless airtel + 800.00
GK 450 + Antenna 315.00

13,710.04

Terms & Conditions

Due to the restrictions set by the USA distributors & MFG, Panasonic Toughbooks Computers, GETAC Computers & Accessories may NOT be returned under any circumstances. Warranties for all non-Panasonic products must be handled through the mfg of the item. Returns will not be accepted. — By agreeing to purchase items from TKK Electronics you are agreeing to all of our standard terms and conditions. You can request a copy of these terms and conditions via US Mail or email. The terms can also be viewed on our website.

November 17, 2015

W141579.00

Mr. Brian Kober, Director of Public Works
Village of Jackson
N168 W20733 Main Street
P.O. Box 637
Jackson, Wisconsin 53037

**Application for Payment No. 3
Georgetown Drive Improvements
Village of Jackson, Wisconsin**

Dear Brian:

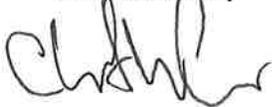
Enclosed for your use in payment to Advance Construction Co., in the amount of \$147,684.66 is Application for Payment No. 3.

Following your review and approval, please complete the application for payment form within the areas reserved for the Owner and process payment to the Contractor accordingly.

Should you have any questions, please feel free to contact me at our Milwaukee Regional office.

Sincerely,

GAI Consultants, Inc.



Chris J. Walter, P.E.
Assistant Design Manager

Enc.: Application for Payment No. 2

cc: Paul Kultger, Advance Construction Co.

Contractor's Application For Payment No.

3(three)

Application Period: 9/23 thru 11/17/2015		Application Date: 11/17/2015	
To (Owner): Village of Jackson	From (Contractor): Advance Construction, Inc.	Via (Engineer):	GAI
Project: Georgetown Drive	Contract: Georgetown Drive Reconstruction		
Owner's Contract No.:	Contractor's Project No.:	Engineer's Project No.:	W141579.00

Application for Payment
Change Order Summary

Approved Change Orders		
Numbers	Additions	Deductions
TOTALS	\$0.00	\$0.00
NET CHANGE BY CHANGE ORDERS		

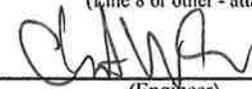
1. ORIGINAL CONTRACT PRICE	\$	619,153.10
2. Net change by Change Orders	\$	
3. CURRENT CONTRACT PRICE (Line 1± 2)	\$	619,153.10
4. TOTAL COMPLETED AND STORED TO DATE (Column G on Progress Estimate)	\$	599,828.29
5. RETAINAGE:		
a. 5 % x 309,576.55 Work Completed	\$	15,478.83
b. % x Stored Material	\$	0.00
c. Total Retainage (Line 5a + 5b)	\$	15,478.83
6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line5c)	\$	584,349.46
7. LESS PREVIOUS PAYMENTS (line 6 from prior Application)	\$	436,664.80
8. AMOUNT DUE THIS APPLICATION	\$	147,684.66
9. BALANCE TO FINISH, PLUS RETAINAGE (Column G on Progress Estimate + Line 5 above)	\$	34,803.64

Contractor's Certification

The undersigned Contractors certifies that: (1) all previous progress payments received from Owner on account of Work done under the contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear off all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest or encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

By:  Date: 11-18-2015

Payment of: \$ 147,684.66
(Line 8 or other - attach explanation of the other amount)

is recommended by:  11/17/15
(Engineer) (Date)

Payment of: \$ _____
(Line 8 or other - attach explanation of other amount)

is approved by: _____
(Owner) (Date)

Approved by: _____
Funding Agency (if applicable) (Date)

Progress Estimate

Contractor's Application

For (contract):							Application Number:				
Village of Jackson - Georgetown Drive Reconstruction							3(three)				
Application Period							Application Date:				
September 23, 2015 - November 17, 2015							11/17/2015				
A				B	C	D	E	F			
Bid Item No.	Item Description	Bid Quantity		Unit Price	Bid Value	Estimated Quantity Installed	Value	Materials Presently Stored (not in C)	Total Completed and Stored to date (D + E)	% (F + B)	Balance to Finish (B - F)
Section A - Sanitary Sewer											
1	8" sanitary sewer relay	725.00	lf	114.00	82,650.00	762.30	86,902.20		86,902.20	105%	-4,252.20
2	48" diameter sanitary manhole	38.00	vf	250.00	9,500.00	37.62	9,405.00		9,405.00	99%	95.00
3	6" sanitary sewer lateral	143.00	lf	85.00	12,155.00	42.00	3,570.00		3,570.00	29%	8,585.00
Section B - Water main											
4	8" water main relay	748.00	lf	89.25	66,759.00	755.50	67,428.38		67,428.38	101%	-669.38
5	8" gate valve	3.00	ea	1,591.00	4,773.00	3.00	4,773.00		4,773.00	100%	0.00
6	6" water main relay	14.00	lf	89.25	1,249.50	19.50	1,740.38		1,740.38	139%	-490.88
7	6" gate valve	1.00	ea	1,016.00	1,016.00	1.00	1,016.00		1,016.00	100%	0.00
8	Hydrant assembly	3.00	ea	6,290.00	18,870.00	3.00	18,870.00		18,870.00	100%	0.00
9	1 1/4" water ervice	136.00	lf	36.00	4,896.00	81.50	2,934.00		2,934.00	60%	1,962.00
10	1 1/4" water service fittings	4.00	ea	522.50	2,090.00	2.00	1,045.00		1,045.00	50%	1,045.00
Section C - Storm Sewer											
11	36" HDPE Storm Sewer	117.00	lf	117.00	13,689.00	95.00	11,115.00		11,115.00	81%	2,574.00
12	30" HDPE Storm Sewer	300.00	lf	104.00	31,200.00	294.50	30,628.00		30,628.00	98%	572.00
13	15" HDPE Storm Sewer	10.00	lf	64.50	645.00	10.00	645.00		645.00	100%	0.00
14	12" HDPE Storm Sewer	224.00	lf	52.50	11,760.00	230.50	12,101.25		12,101.25	103%	-341.25
15	19x30 CL HE-V RCP storm sewer	646.00	lf	120.00	77,520.00	680.00	81,600.00		81,600.00	105%	-4,080.00
16	19x30 CL HE-V RCP - 15 degree mitered pipe	2.00	ea	2,300.00	4,600.00	2.00	4,600.00		4,600.00	100%	0.00
17	6" pvc storm sewer lateral	314.00	lf	34.00	10,676.00	273.00	9,282.00		9,282.00	87%	1,394.00
18	60" storm manhole(2units)	14.20	vf	540.00	7,668.00	9.93	5,362.20		5,362.20	70%	2,305.80
19	72" storm manhole(1unit)	4.50	vf	707.40	3,183.30	8.62	6,097.79		6,097.79	192%	-2,914.49

Contractor's Application For Payment No.

3(three)

Application Period: 9/23 thru 11/17/2015		Application Date: 11/17/2015	
To (Owner): Village of Jackson	From (Contractor): Advance Construction, Inc.	Via (Engineer):	GAI
Project: Georgetown Drive	Contract: Georgetown Drive Reconstruction		
Owner's Contract No.:	Contractor's Project No.:	Engineer's Project No.:	W141579.00

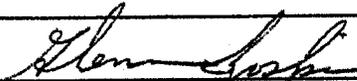
**Application for Payment
Change Order Summary**

Approved Change Orders		
Numbers	Additions	Deductions
TOTALS	\$0.00	\$0.00
NET CHANGE BY CHANGE ORDERS		

1. ORIGINAL CONTRACT PRICE	\$ 619,153.10
2. Net change by Change Orders	\$
3. CURRENT CONTRACT PRICE (Line 1± 2)	\$ 619,153.10
4. TOTAL COMPLETED AND STORED TO DATE (Column G on Progress Estimate)	\$ 599,828.29
5. RETAINAGE:	
a. % x 0.00 Work Completed	\$ 0.00
b. % x Stored Material	\$ 0.00
c. Total Retainage (Line 5a + 5b)	\$ 0.00
6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line5c)	\$ 599,828.29
7. LESS PREVIOUS PAYMENTS (line 6 from prior Application)	\$ 584,199.46
8. AMOUNT DUE THIS APPLICATION	\$ 15,628.83
9. BALANCE TO FINISH, PLUS RETAINAGE (Column G on Progress Estimate + Line 5 above)	\$ 0.00

Contractor's Certification

The undersigned Contractors certifies that: (1) all previous progress payments received from Owner on account of Work done under the contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear off all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest or encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

By:  Date: 8-30-2016

Payment of: \$ _____
(Line 8 or other - attach explanation of the other amount)

is recommended by: _____ (Engineer) _____ (Date)

Payment of: \$ _____
(Line 8 or other - attach explanation of other amount)

is approved by: _____ (Owner) _____ (Date)

Approved by: _____ Funding Agency (if applicable) _____ (Date)

Progress Estimate

Contractor's Application

For (contract):							Application Number:				
Village of Jackson - Georgetown Drive Reconstruction							4(final)				
Application Period							Application Date:				
November 18, 2015 - August 26, 2016							8/26/2016				
A				B	C	D	E	F			
Item		Bid Quantity		Unit Price	Bid Value	Estimated Quantity Installed	Value	Materials Presently Stored (not in C)	Total Completed and Stored to date (D + E)	% (F + B)	Balance to Finish (B - F)
Bid Item No.	Description										
Section A - Sanitary Sewer											
1	8" sanitary sewer relay	725.00	lf	114.00	82,650.00	762.30	86,902.20		86,902.20	105%	-4,252.20
2	48" diameter sanitary manhole	38.00	vf	250.00	9,500.00	37.62	9,405.00		9,405.00	99%	95.00
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Section B - Water main											
4	8" water main relay	748.00	lf	89.25	66,759.00	755.50	67,428.38		67,428.38	101%	-669.38
5	8" gate valve	3.00	ea	1,591.00	4,773.00	3.00	4,773.00		4,773.00	100%	0.00
6	6" water main relay	14.00	lf	89.25	1,249.50	19.50	1,740.38		1,740.38	139%	-490.88
7	6" gate valve	1.00	ea	1,016.00	1,016.00	1.00	1,016.00		1,016.00	100%	0.00
8	Hydrant assembly	3.00	ea	6,290.00	18,870.00	3.00	18,870.00		18,870.00	100%	0.00
9	1 1/4" water service	136.00	lf	36.00	4,896.00	81.50	2,934.00		2,934.00	60%	1,962.00
10	1 1/4" water service fittings	4.00	ea	522.50	2,090.00	2.00	1,045.00		1,045.00	50%	1,045.00
Section C - Storm Sewer											
11	36" HDPE Storm Sewer	117.00	lf	117.00	13,689.00	95.00	11,115.00		11,115.00	81%	2,574.00
12	30" HDPE Storm Sewer	300.00	lf	104.00	31,200.00	294.50	30,628.00		30,628.00	98%	572.00
13	15" HDPE Storm Sewer	10.00	lf	64.50	645.00	10.00	645.00		645.00	100%	0.00
14	12" HDPE Storm Sewer	224.00	lf	52.50	11,760.00	230.50	12,101.25		12,101.25	103%	-341.25
15	19x30 CL HE-V RCP storm sewer	646.00	lf	120.00	77,520.00	680.00	81,600.00		81,600.00	105%	-4,080.00
16	19x30 CL HE-V RCP - 15 degree mitered pipe	2.00	ea	2,300.00	4,600.00	2.00	4,600.00		4,600.00	100%	0.00
17	6" pvc storm sewer lateral	314.00	lf	34.00	10,676.00	273.00	9,282.00		9,282.00	87%	1,394.00
18	60" storm manhole(2units)	14.20	vf	540.00	7,668.00	9.93	5,362.20		5,362.20	70%	2,305.80
19	72" storm manhole(1unit)	4.50	vf	707.40	3,183.30	8.62	6,097.79		6,097.79	192%	-2,914.49

Prime Contractor Affidavit of Compliance With Prevailing Wage Rate Determination

Authorization for this form is provided under Sections 66.0903(9)(c), 66.0904(7)(c) and 103.49(4r)(c) Wisconsin Statutes.
 The use of this form is mandatory. The penalty for failing to complete this form is prescribed in Section 103.005(12), Wisconsin Statutes.
 Personal information you provide may be used for secondary purposes [Privacy Law, s. 15.04(1)(m), Wisconsin Statutes].

This form must **ONLY** be filed with the Awarding Agency indicated below.

State Of <u>Wisconsin</u>))SS County Of <u>Washington</u>)	Project Name <u>Georgetown Drive</u>	
	DWD Determination Number <u>201501557</u>	Project Number (if applicable) <u>W141577</u>
	Date Determination Issued <u>5/5/15</u>	Date of Contract
	Awarding Agency <u>Village of Jackson</u>	
	Date Work Completed	

After being duly sworn, the person whose name and signature appears below hereby states under penalty of perjury that

- I am the duly authorized officer of the corporation, partnership, sole proprietorship or business indicated below and have recently completed all of the work required under the terms and conditions of a contract with the above-named awarding agency and make this affidavit in accordance with the requirements set forth in Section 66.0903(9)(c), 66.0904(7)(c) or 103.49(4r)(c), Wisconsin Statutes and Chapter DWD 290 of the Wisconsin Administrative Code in order to obtain FINAL PAYMENT from such awarding agency.
- I have fully complied with all the wage and hour requirements applicable to this project, including all of the requirements set forth in the prevailing wage rate determination indicated above which was issued for such project by the Department of Workforce Development on the date indicated above.
- I have received the required affidavit of compliance from each of my agents and subcontractors that performed work on this project and have listed each of their names and addresses on page 2 of this affidavit.
- I have full and accurate records that clearly indicate the name and trade or occupation of every worker(s) that I employed on this project, including an accurate record of the hours worked and actual wages paid to such worker(s).
- I will retain the records and affidavit(s) described above and make them available for inspection for a period of at least three (3) years from the completion date indicated above at the address indicated below and shall not remove such records or affidavit(s) without prior notification to the awarding agency indicated above.

Name of Corporation, Partnership, Sole Proprietorship, Business, State Agency or Local Governmental Unit <u>Advance Construction Inc.</u>				
Street Address <u>2841 Woodlark Ave</u>	City <u>Green Bay</u>	State <u>WI</u>	Zip Code <u>54303</u>	Telephone Number <u>(920) 434-3978</u>
Print Name of Authorized Officer <u>Glen Joshi</u>			Date Signed <u>8/31/16</u>	
Signature of Authorized Officer 				

List of Agents and Subcontractors

Name <i>Payne & Dolan, Inc.</i>			Name		
Street Address <i>1173 W 2120 Northwest Pass</i>			Street Address		
City <i>Jackson</i>	State <i>MS</i>	Zip Code <i>39337</i>	City	State	Zip Code
Telephone Number <i>(202) 677-5920</i>			Telephone Number		
Name <i>JP Concrete Inc.</i>			Name		
Street Address <i>8407 County Road M</i>			Street Address		
City <i>Fredonia</i>	State <i>MS</i>	Zip Code <i>39201</i>	City	State	Zip Code
Telephone Number <i>(202) 692-9273</i>			Telephone Number		
Name			Name		
Street Address			Street Address		
City	State	Zip Code	City	State	Zip Code
Telephone Number			Telephone Number		
Name			Name		
Street Address			Street Address		
City	State	Zip Code	City	State	Zip Code
Telephone Number			Telephone Number		
Name			Name		
Street Address			Street Address		
City	State	Zip Code	City	State	Zip Code
Telephone Number			Telephone Number		
Name			Name		
Street Address			Street Address		
City	State	Zip Code	City	State	Zip Code
Telephone Number			Telephone Number		

If you have any questions call (608) 266-6861

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FINAL WAIVER OF LIEN

November 16, 2015

For Value received, we hereby waive all rights and claims for lien on building about to be erected, being erected, erected, altered or repaired and to the appurtenances there unto belonging for Village of Jackson, owner, by Advance Construction, Inc. contractor, being situate in Washington County, State of Wisconsin, described Georgetown Drive Reconstruction all labor performed and for all material furnished


Cedar Lake Sand & Gravel Inc.

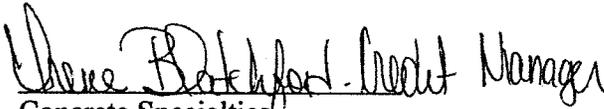
11-18-15
Date

RECEIVED NOV 23 2015

FINAL WAIVER OF LIEN

November 16, 2015

For Value received, we hereby waive all rights and claims for lien on building about to be erected, being erected, erected, altered or repaired and to the appurtenances there unto belonging for Village of Jackson, owner, by Advance Construction, Inc. contractor, being situate in Washington County, State of Wisconsin, described Georgetown Drive Reconstruction all labor performed and for all material furnished

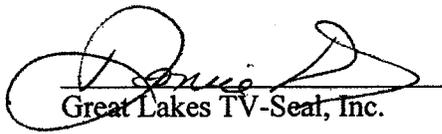

Concrete Specialties

11-19-15
Date

FINAL WAIVER OF LIEN

November 16, 2015

For Value received, we hereby waive all rights and claims for lien on building about to be erected, being erected, erected, altered or repaired and to the appurtenances there unto belonging for Village of Jackson, owner, by Advance Construction, Inc. contractor, being situate in Washington County, State of Wisconsin, described Georgetown Drive Reconstruction all labor performed and for all material furnished


Great Lakes TV-Seal, Inc.

11/18/15
Date

RECEIVED NOV 28 2015

FINAL WAIVER OF LIEN

November 16, 2015

For Value received, we hereby waive all rights and claims for lien on building about to be erected, being erected, erected, altered or repaired and to the appurtenances there unto belonging for Village of Jackson, owner, by Advance Construction, Inc. contractor, being situate in Washington County, State of Wisconsin, described Georgetown Drive Reconstruction all labor performed and for all material furnished


HD Supply Waterworks, LTD

11-20-15
Date

RECEIVED NOV 23 2015

FINAL WAIVER OF LIEN

November 16, 2015

For Value received, we hereby waive all rights and claims for lien on building about to be erected, being erected, erected, altered or repaired and to the appurtenances there unto belonging for Village of Jackson, owner, by Advance Construction, Inc. contractor, being situate in Washington County, State of Wisconsin, described Georgetown Drive Reconstruction all labor performed and for all material furnished


West Bend Sand & Stone, Inc.

11/18/15
Date

RECEIVED NOV 23 2015

FINAL WAIVER OF LIEN

November 16, 2015

For Value received, we hereby waive all rights and claims for lien on building about to be erected, being erected, erected, altered or repaired and to the appurtenances there unto belonging for Village of Jackson, owner, by Advance Construction, Inc. contractor, being situate in Washington County, State of Wisconsin, described Georgetown Drive Reconstruction all labor performed and for all material furnished



West Bend Builders Supply, Inc.

11/18/15
Date

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant Mark E. and Lynn A. Peters
 Contact Mark Peters Address/ZIP 3309 Pleasant Valley Rd, West Bend, WI 53095 Phone # 262-305-2400
 E-mail Address peters_mark@att.net Fax # where Agenda/Staff comments are to be faxed _____
 Name of Owner Mark E. and Lynn A. Peters Living Trust Address/ZIP Same Phone# Same
 Owner Representative/Developer _____
 Proposed Use of Site Remain in ag Present Zoning Town Of Polk=A-1

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u>	<u>TYPE OF INFORMATION DESCRIBED</u> (See page 5)	<u>PAPER COPIES</u>	<u>CD</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	2) Describe what you intend to do (paragraph)		XXX
			3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	4) Owner acknowledgement of the request	1	
			5) Impact Statement		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	6) Location Map		XXX
			7) Development Plan / Site Plan		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	8) Preliminary Plat		XXX
			9) Final Plat		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	10) Certified survey Map		XXX
			11) Annexation Petition		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	12) Annexation Map	1	XXX
			13) Sketch Plan		XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	14) Landscape Plan	4 (24x36)	XXX
			<u>Engineering Review - Infrastructure</u>		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan	4 (24x36)	XXX
			16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections	4 (24x36)	XXX
			18) Erosion Control Plan	4 (24x36)	XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials		XXX
			20) Developers Agreement		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements)		XXX
			22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Mark E Peters Signature  Date 10-07-2016

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a **Special Use** **Conditional Use** **Planned Unit Development**

Permit to:

Name of Business/Applicant: _____

For a property located at (address): _____

Phone number of Business/Applicant: _____

For (land use, activity, sign, site plan, other): _____

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): _____

Hours of Operation: _____

Comprehensive/Master Plan Compatibility: _____

Building Materials (type, color): _____

Setbacks from rights-of-way and property lines: _____

Screening/Buffering: _____

Landscape Plan (sizes, species, location): _____

Signing (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s),
(sidewalk/pedestrian way width and material): _____

Storm-water Management: _____

Erosion Control: _____

Fire Hydrant Location(s): _____

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: _____

Hazardous Material Storage: _____

Alarm Systems: _____

Site Features/Constraints: _____

Parking (no. of spaces, handicapped parking, and dimensions): _____

Tree and shrub preservation: _____

Setbacks/height limitations: _____

Wastewater Usage Projected: _____ gal/year Water Usage Projected: _____ gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

John Walther, Administrator

_____, Owner

Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

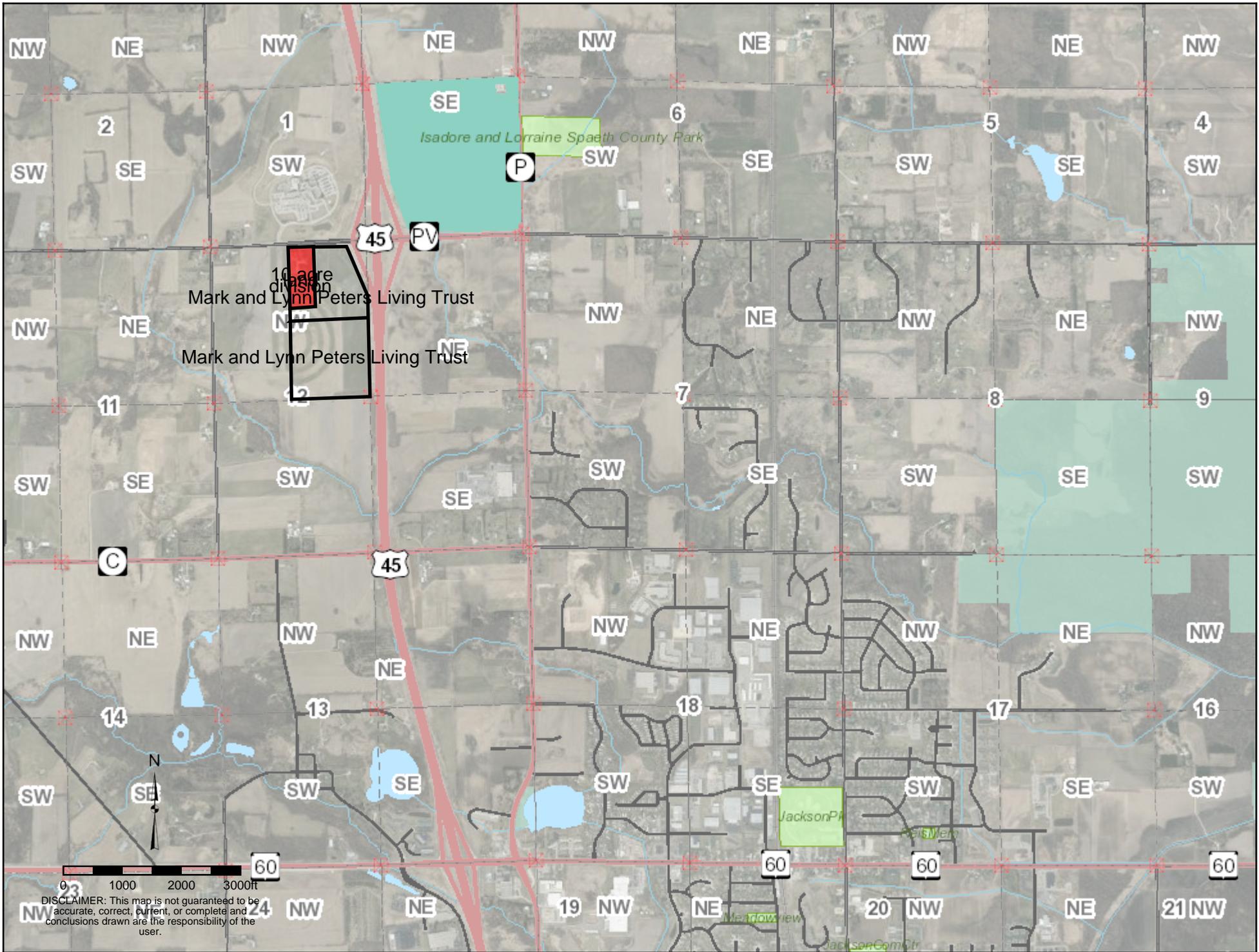
1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
 - A. Annual water consumption estimate (100% occupancy and build-out)
 - B. Annual sewage generation estimate (100% occupancy and build-out)
 - C. Vehicle trip generation (trips per day per unit x number of units)
 - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

10-07-2016

We are asking for extra-territorial approval to divide off a 10.1 acre parcel including the house and all of the farm buildings from a 34.32 acre parcel in section 12 in the Town of Polk. We will also need the ability to maintain the operation of our commercial dairy operation on this parcel now and on the transfer to our son Brian. The plan is to sell the farm personal property and 10+ acres to our son Brian in the near future and remaining land at a later date. All remaining land will be kept in the trust and continued to be farmed.

Thanks for your consideration,
Mark E. Peters



Certified Survey Map

Part of the NE 1/4 of the NW 1/4 of Section 12, Town 10 North, Range 19 East, Town of Polk, Washington County, Wisconsin,

(Conc. Monument w/brass cap ind.)
NW CORNER
Sec. 12-10-19
1318.28
N 498,345.32
E 2,478,345.25
(State Plane Coordinates)

OWNER(s):
Mark E. & Lynn A. Peters
Living Trust
3121 Pleasant Valley Road
West Bend, WI. 53095
(262) 305-2400

SURVEYOR:
Eric M. Schmitz
Eric Schmitz Corporation
2334 Stonebridge Circle
Unit A
West Bend, WI. 53095
(262) 338-6994

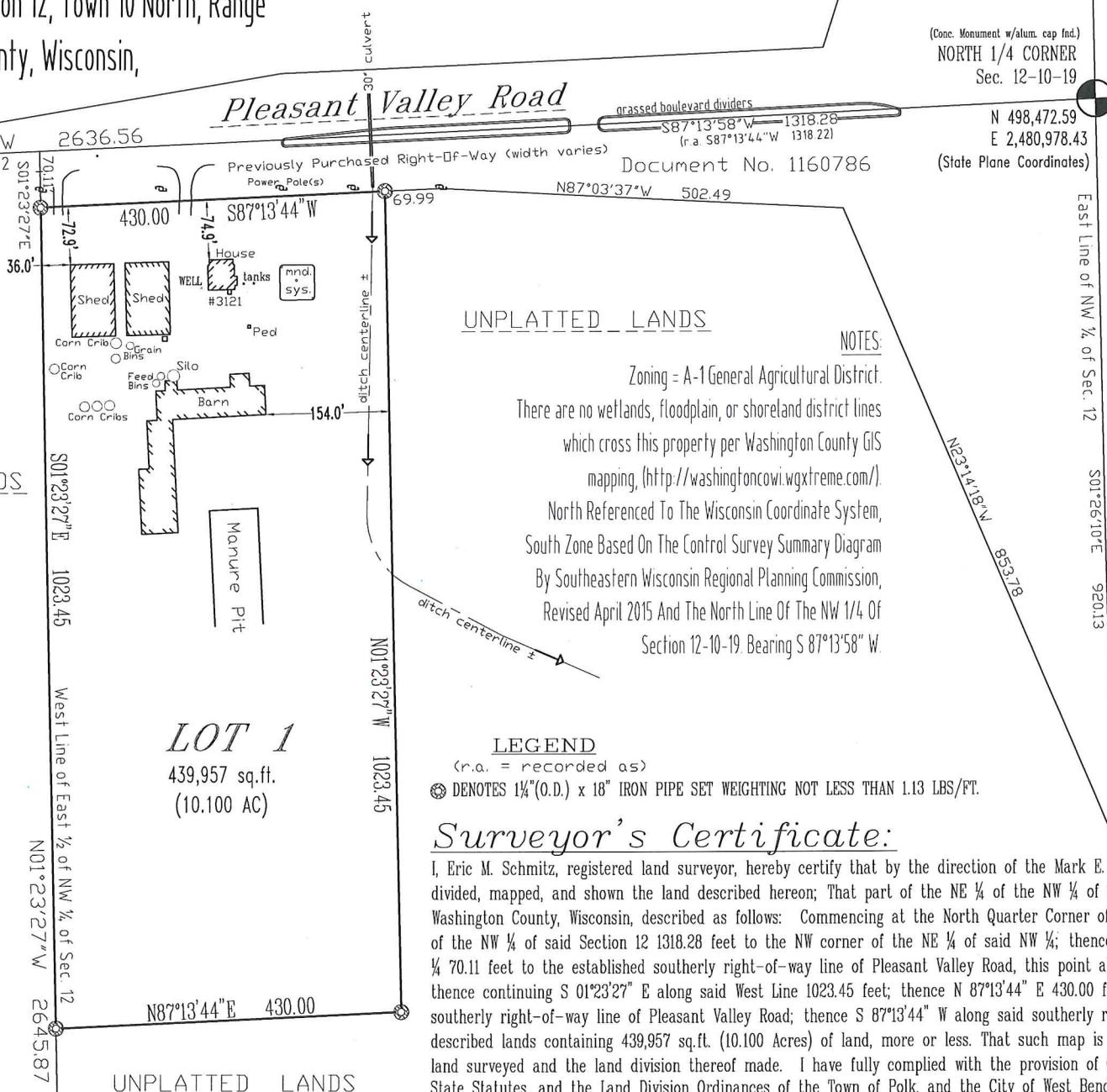


Eric M. Schmitz
Eric M. Schmitz (S-1660) DATE 10-3-2016
9-23-2016

St. Joseph's Community Hospital

(Conc. Monument w/alum. cap ind.)
NORTH 1/4 CORNER
Sec. 12-10-19
N 498,472.59
E 2,480,978.43
(State Plane Coordinates)

Pleasant Valley Road



UNPLATTED LANDS

NOTES:
Zoning = A-1 General Agricultural District.
There are no wetlands, floodplain, or shoreland district lines which cross this property per Washington County GIS mapping, (<http://washingtoncovi.wgxtreme.com/>).
North Referenced To The Wisconsin Coordinate System, South Zone Based On The Control Survey Summary Diagram By Southeastern Wisconsin Regional Planning Commission, Revised April 2015 And The North Line Of The NW 1/4 Of Section 12-10-19. Bearing S 87°13'58" W.

LEGEND

(r.a. = recorded as)
⊗ DENOTES 1 1/4" (O.D.) x 18" IRON PIPE SET WEIGHTING NOT LESS THAN 1.13 LBS/FT.

Surveyor's Certificate:

I, Eric M. Schmitz, registered land surveyor, hereby certify that by the direction of the Mark E. Peters and Lynn A. Peters Living Trust, I have surveyed, divided, mapped, and shown the land described hereon; That part of the NE 1/4 of the NW 1/4 of Section 12, Town 10 North, Range 19 East, Town of Polk, Washington County, Wisconsin, described as follows: Commencing at the North Quarter Corner of said Section 12; thence S 87°13'58" W along the North Line of the NW 1/4 of said Section 12 1318.28 feet to the NW corner of the NE 1/4 of said NW 1/4; thence S 01°23'27" E along the West Line of the East 1/2 of said NW 1/4 70.11 feet to the established southerly right-of-way line of Pleasant Valley Road, this point also being the point of beginning of lands herein described; thence continuing S 01°23'27" E along said West Line 1023.45 feet; thence N 87°13'44" E 430.00 feet; thence N 01°23'27" W 1023.45 feet to the established southerly right-of-way line of Pleasant Valley Road; thence S 87°13'44" W along said southerly right-of-way line 430.00 feet to the point of beginning. Said described lands containing 439,957 sq.ft. (10.100 Acres) of land, more or less. That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made. I have fully complied with the provision of Chapters 236.20, 236.21(2)(a) and 236.34 of the Wisconsin State Statutes, and the Land Division Ordinances of the Town of Polk, and the City of West Bend, in surveying, dividing and mapping said land.

Certified Survey Map

Part of the NE ¼ of the NW ¼ of Section 12, Town 10 North, Range 19 East, Town of Polk, Washington County, Wisconsin,

Owner's Certificate:

As owner(s), We hereby certify that we caused the land shown and described herein to be surveyed, divided and mapped as represented on this Certified Survey Map. We also certify that this Certified Survey Map is required to be submitted to the following for approval: Town of Polk Plan Commission, the Town of Polk Town Board, the Village of Jackson Plan Commission and the Village of Jackson Board.

WITNESS the hand and seal of said owners this _____ day of _____, 2016. In the presence of:

Mark E. Peters

Lynn A. Peters

Witness

(STATE OF WISCONSIN WASHINGTON COUNTY) s.s.

Personally came before me this _____ day of _____, 2016,
the above named owners are to me known to be the same persons
who executed the foregoing instrument and acknowledge the same.

(Notary Seal) _____, Notary Public,

_____, Wisconsin.

My commission expires _____.

TOWN OF POLK PLAN COMMISSION APPROVAL

This land division is hereby approved by the Town of Polk Plan Commission on this
_____ day of _____, 2016.

Albert Schulteis, Chairman

Tracy Groth, Zoning Secretary

VILLAGE OF JACKSON PLAN COMMISSION APPROVAL

This land division is hereby approved by the Village of Jackson Plan Commission on
this _____ day of _____, 2016.

Michael E. Schwab, Chairperson

John Walther, Zoning Administrator

TOWN OF POLK TOWN BOARD APPROVAL

This land division is hereby approved by the Town of Polk Town Board on this
_____ day of _____, 2016.

Albert Schulteis, Chairman

Diana L. Degnitz -Town Clerk

VILLAGE OF JACKSON BOARD APPROVAL

This land division is hereby approved by the Village of Jackson Board on this
_____ day of _____, 2016.

Michael E. Schwab, President

Deanna Boldrey, Village Clerk/Treasurer



Eric M. Schmitz
Eric M. Schmitz (S-1660) 9-23-2016 DATE

VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM
(Due 1st Friday of the month for that month's Planning Commission Meeting)

Name of Applicant William Holz Jr Brenda A Holz Address/ZIP N55 W15485 Northway Dr Menomona Falls WI 53051 Phone # 608-334-5409
 Contact Bill Holz E-mail Address wholz.wi.wi.com Fax # where Agenda/Staff comments are to be faxed Please email
 Name of Owner William Holz Address/ZIP N55 W15485 Northway Dr Phone# 608-334-5409
 Owner Representative/Developer William Holz
 Proposed Use of Site Residential Present Zoning Residential D

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages) 2) Describe what you intend to do (paragraph)		XXX XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') * 4) Owner acknowledgement of the request	Labels* 1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement 6) Location Map		XXX XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan 8) Preliminary Plat		XXX XXX
<u>CERTIFIED SURVEY MAP (CSM)</u>	\$150	1,2,6,10,20	9) Final Plat 10) Certified survey Map		XXX XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition 12) Annexation Map	1	XXX XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan 14) Landscape Plan	4 (24x36)	XXX XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	Engineering Review - Infrastructure 15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans 17) Street / Right of Way cross sections	4 (24x36) 4 (24x36)	XXX XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan 19) Proposed colors / materials	4 (24x36)	XXX XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement 21) Annexation Agreement (includes pre-annex agreements)		XXX XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name William Holz Signature  Date 10-6-14

Office Use: Date Received _____ Date Paid _____ Receipt # _____ Amount Paid \$ _____

VILLAGE OF JACKSON

Special Use Conditional Use Planned Unit Development Permit # _____

The Village of Jackson, hereby grants a **Special Use** **Conditional Use** **Planned Unit Development**

Permit to:

Name of Business/Applicant: _____

For a property located at (address): _____

Phone number of Business/Applicant: _____

For (land use, activity, sign, site plan, other): _____

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): _____

Hours of Operation: _____

Comprehensive/Master Plan Compatibility: _____

Building Materials (type, color): _____

Setbacks from rights-of-way and property lines: _____

Screening/Buffering: _____

Landscape Plan (sizes, species, location): _____

Signing (dimensions, colors, lighting, location): _____

Lighting (wattage, style, pole location and height, coverage): _____

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s),
(sidewalk/pedestrian way width and material): _____

TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board _____ Date _____ Over the Counter _____ Date _____

William & Brenda Holzo owner
Please print name

John Walther, Administrator

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. ***Application Form: Must be submitted on CD.***
2. Letter of Intent: What you are requesting in your own words. (Be brief)
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 - B. Annual sewage generation estimate (100% occupancy and build-out)
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 - E. Proposed sign(s) (advertising business, industry, dwelling unit)
 - F. General hours of operation
 - G. Anticipated user profiles (for residential developments)
 - H. Proposed dates of construction and completion
 - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
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20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.

William E. Holz, Jr.
N55 W15488 Northway Drive
Menomonee Falls, WI 53051
608-334-5409

October 6, 2016

Mr. Brian W. Kober, P.E.
Village of Jackson
Director of Public Works
PO Box 637
N168W20733 Mai Street
Jackson, WI 53037

RE: English Oaks Lot 33

Dear Brian:

This letter will serve as my Letter of Intent as part of the application process relating to Lot 33 in the English Oaks subdivision. My wife Brenda and I recently entered into a Contract for the purchase of this property. We have certain details and approvals that need to be completed with the Village of Jackson before we can close the purchase.

This letter accompanies the formal application and the other details you requested. With regard to the application, I wish to confirm the following:

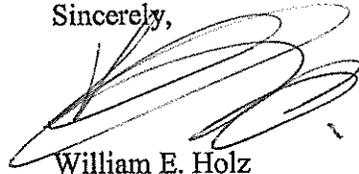
1. After the purchase, we will pay the Village of Jackson all of the fees which you listed in your e-mail to me dated September 29, 2016.
2. I have had a new Certified Survey Map prepared by a surveyor, which is being submitted with the application. Upon approval and recording, the new CSM will become the new legal description for the property.
3. The CSM will remove Lot 33 from the English Oaks Subdivision Plat, the Development Agreement and the Declaration of Protective Covenants relating to that subdivision.
4. We will have the right to build an outbuilding and a single family residence on the property after purchase.
5. We will have the right to a driveway entrance on Highland Road and to connect laterals to the municipal sewer and water service as shown adjacent to the property on the CSM.

6. We are not submitting any Development Agreement or Improvement Agreement with this application. A principal reason for the application is to remove this property from the present Development Agreement because everyone realizes that it will never be developed that way.

We are asking that the Village Board approve the above requests and the CSM by resolution.

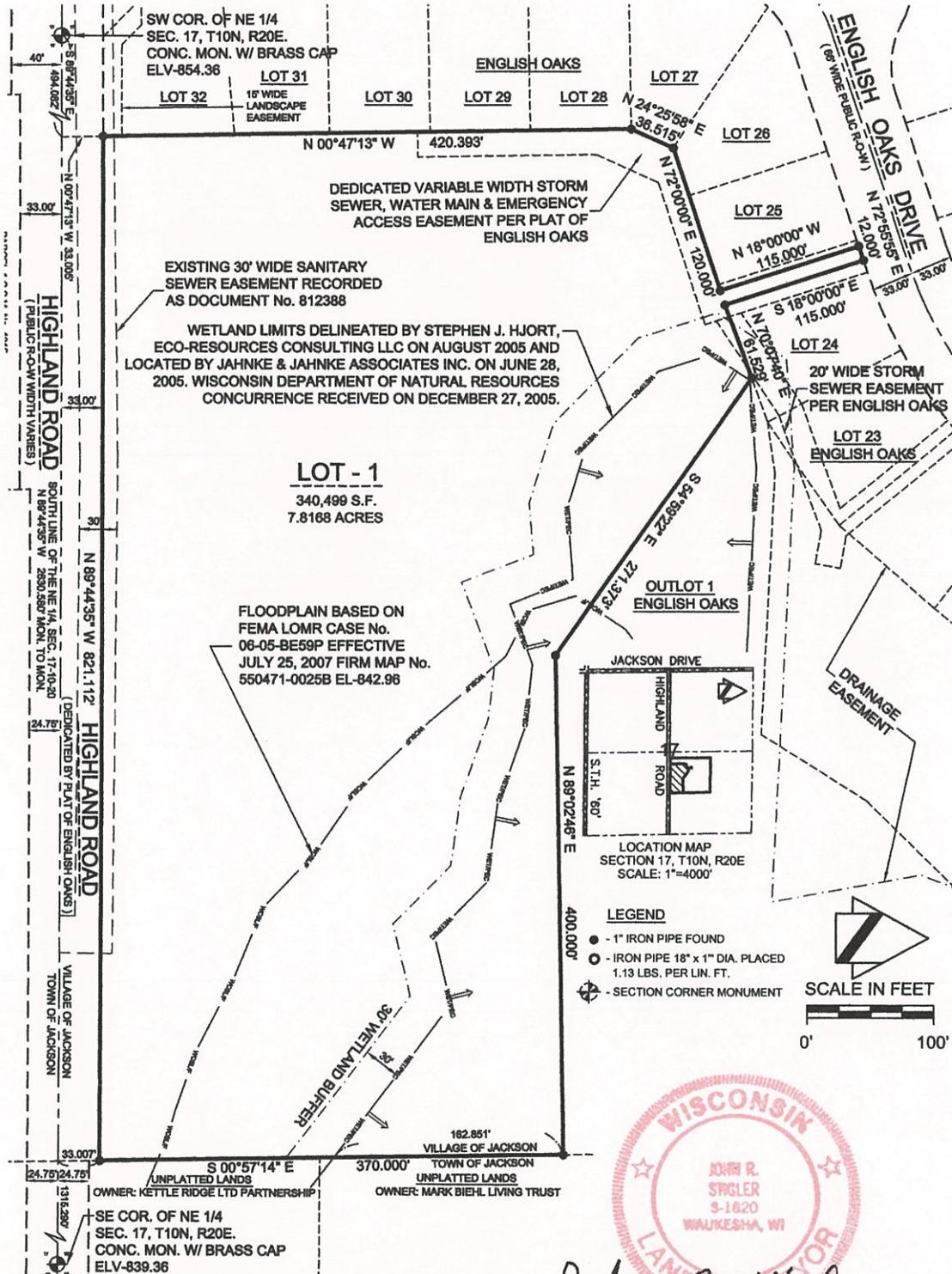
Please let me know if you need anything else with this application. Thank you for all of your help throughout our discussions.

Sincerely,

A handwritten signature in black ink, appearing to read 'William E. Holz', written over a white background.

William E. Holz

CERTIFIED SURVEY MAP NO. _____ Sheet 1 of 4
 Being a Remapping of Lot 33 of English Oaks, a recorded subdivision and
 Being part of the SW 1/4 of the NE 1/4 of Section 17, Town 10 North, Range 20 East
 VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN



REFERENCE BEARING: THE SOUTH LINE OF THE NORTHEAST 1/4 OF SEC. 17, T10N, R20E WAS USED AND HAS A BEARING OF S 89°44'35" E BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) NAD-27
 FILE NAME: S:\projects\S8536\dwg\S8536 CSM.dwg
 P.S. WASHINGTON 1025

John R. Stigler
 JOHN R. STIGLER - Wis. Reg. No. S -1820
 DATED this 5th DAY of OCTOBER, 2016
 INSTRUMENT DRAFTED BY JOHN R. STIGLER

CERTIFIED SURVEY MAP NO. _____

Sheet 2 of 4

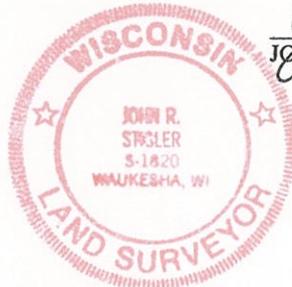
Being a Remapping of Lot 33 of English Oaks, a recorded subdivision and
Being part of the SW ¼ of the NE ¼ of Section 17, Town 10 North, Range 20 East
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, John R. Stigler, professional land surveyor, being duly sworn on oath, hereby depose and say that I have surveyed, divided and mapped the following land bounded and described as follows:

Being a remapping of Lot 33 of English Oaks a recorded subdivision and being part of the Southwest Quarter (SW ¼) of the Northeast Quarter (NE ¼) of Section 17, Town 10 North, Range 20 East, Village of Jackson, Washington County, Wisconsin bounded and described as follows: Commencing at the southeast corner of the Northeast Quarter (NE ¼) of said Section 17, being marked by a concrete monument with brass cap; thence North 89°44'35" West along the south line of the Northeast Quarter (NE ¼) 1315.290 feet; thence North 00°57'14" West 33.007 feet to the southeast corner of Lot 33, English Oaks Subdivision and the place of beginning of the lands hereinafter described; thence North 89°44'35" West along the south line of said Lot 33, 821.112 feet to the southwest corner of said Lot 33; thence North 00°47'13" West along the west line of Lot 33, 420.393 feet; thence North 24°25'58" East along the west line of abovesaid Lot 33, 36.515 feet; thence North 72°00'00" East along the north line of said Lot 33, 120.000 feet; thence North 18°00'00" West 115.000 feet to the south right-of-way line of English Oaks Drive a dedicated public right-of-way; thence North 72°55'55" East along said south right-of-way line 12.000 feet; thence South 18°00'00" East 115.000 feet; thence North 70°07'40" East along the north line of above said Lot 33, 61.529 feet; thence South 54°59'22" East along said north line 271.373 feet; thence North 89°02'46" East along said north line 400.000 feet; thence South 00°57'14" East along the east line of said Lot 33, 370.000 feet to the place of beginning. Containing a net area of 340,499 square feet or 7.8168 acres of land.

I further certify that I have made such survey, land division and map by the direction of the owners of said land; that such map is a correct representation of the exterior boundaries of the land surveyed and map thereof made; and that I fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes pertaining to Certified Survey Maps (Section 236.34) and the regulations of the Village of Jackson in surveying, dividing and mapping the same.



John R. Stigler

JOHN R. STIGLER – Wis. Reg. No. S-1820

STATE OF WISCONSIN)ss
WAUKESHA COUNTY)

The above certificate subscribed and sworn to me this 5TH day of OCTOBER, 2016.

My commission expires July 5, 2019.

Peter A. Muehl

PETER A. MUEHL – NOTARY PUBLIC



OWNERS: WILLIAM A. HOLZ JR & BRENDA A. HOLZ

Instrument drafted by John R. Stigler

P. S. Washington 1025

CERTIFIED SURVEY MAP NO. _____

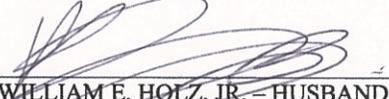
Sheet 3 of 4

Being a Remapping of Lot 33 of English Oaks, a recorded subdivision and
Being part of the SW ¼ of the NE ¼ of Section 17, Town 10 North, Range 20 East
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

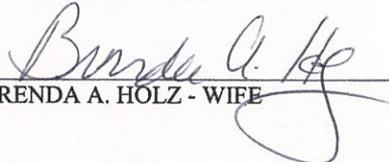
OWNER'S CERTIFICATE:

As owners, we do hereby certify that we have caused the lands described on this map to be surveyed, divided and mapped as represented on this map in accordance with the requirements of the Village of Jackson Subdivision Ordinance.

WITNESS the hand and seal of said Owner this 10 day of October, 2016.



WILLIAM E. HOLZ, JR. - HUSBAND



BRENDA A. HOLZ - WIFE

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 2016, the above named WILLIAM E. HOLZ JR. and BRENDA A. HOLZ, Husband and Wife to me known to be the persons who executed the foregoing instrument and acknowledged the same.

My commission expires _____

NOTARY PUBLIC -

CONSENT OF CORPORATE MORTGAGEE:

_____, a _____ corporation, mortgagee of the above described land, does hereby consent to the surveying, dividing, and mapping of the land described on this map and does hereby consent to the above certificate of WILLIAM E. HOLZ JR. & BRENDA A. HOLZ.

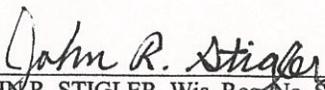
BY _____ IT'S _____

STATE OF WISCONSIN)ss
COUNTY OF WAUKESHA)

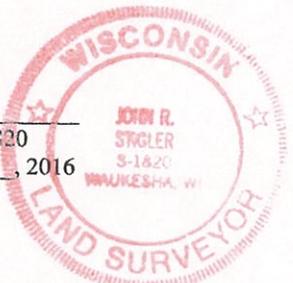
Personally came before me this _____ day of _____, 20____, the above named _____ to me known to be the person who executed the foregoing instrument and to me known to be such _____, and acknowledge that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

My commission expires _____

NOTARY PUBLIC



JOHN R. STIGLER, Wis. Reg. No. S-1820
Dated this 5th day of OCTOBER, 2016



CERTIFIED SURVEY MAP NO. _____

Sheet 4 of 4

Being a Remapping of Lot 33 of English Oaks, a recorded subdivision and
Being part of the SW ¼ of the NE ¼ of Section 17, Town 10 North, Range 20 East
VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN

VILLAGE OF JACKSON PLANNING COMMISSION APPROVAL:

This Certified Survey Map is hereby approved by the Planning Commission of the Village of Jackson on this
_____ day of _____, 2016.

MICHAEL E. SCHWAB – CHAIRMAN-PLANNING COMMISSION

Date

JOHN J. WALTHER – ADMINISTRATOR-PLANNING COMMISSION

Date

VILLAGE OF JACKSON BOARD APPROVAL:

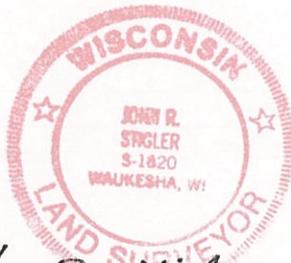
This Certified Survey Map, being a part of the SW ¼ of the NE ¼ of Section 17, T10N, R20E, in the Village of
Jackson, Washington County, Wisconsin, having been approved by the Planning Commission being the same, is
hereby accepted by the Village Board of Trustees of the Village of Jackson on this _____ day of
_____, 2016.

MICHAEL E. SCHWAB – VILLAGE PRESIDENT

Date

JOHN J. WALTHER – VILLAGE ADMINISTRATOR

Date



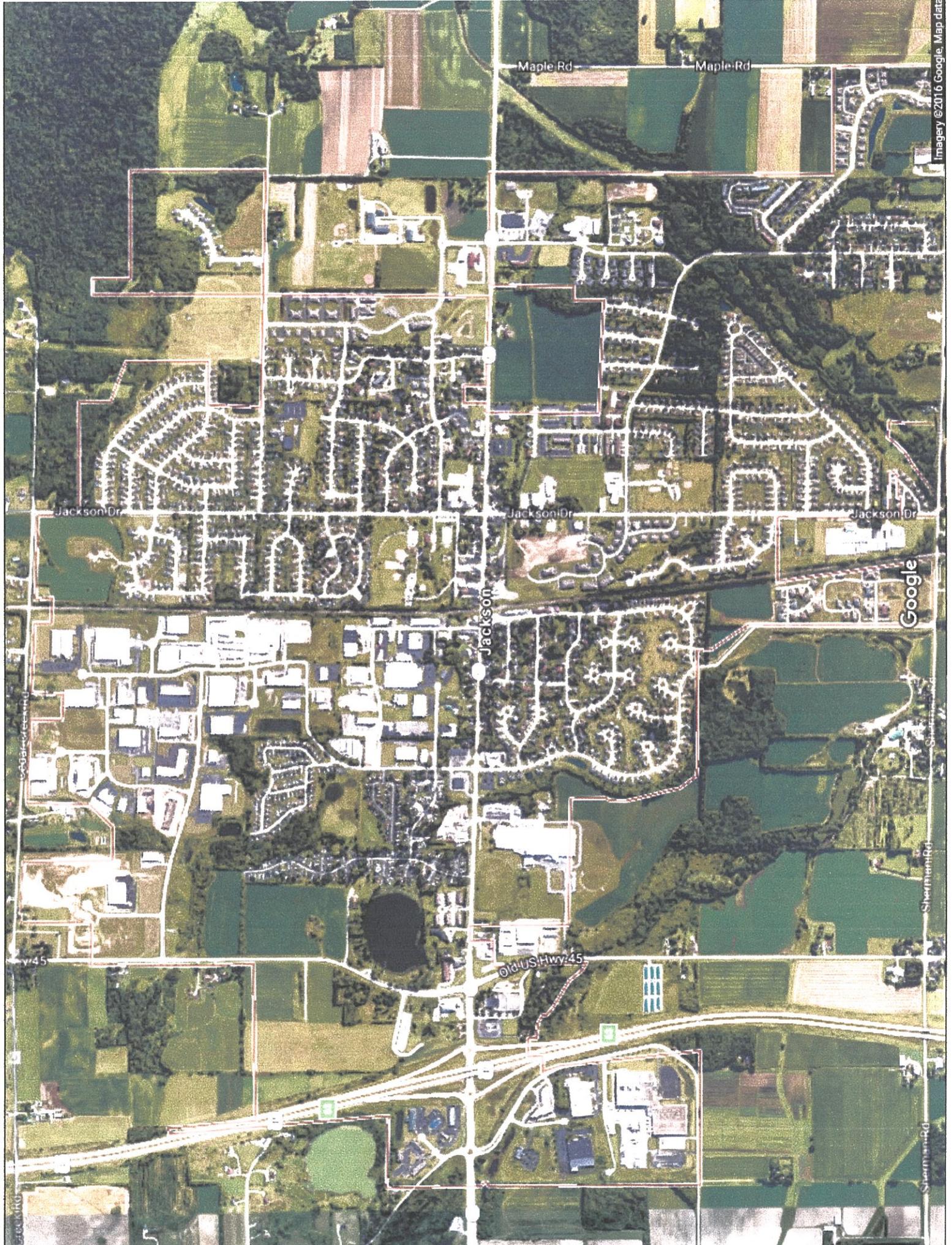
John R. Stigler

JOHN R. STIGLER, Wis. Reg. No. S-1820
Dated this 5TH day of OCTOBER, 2016

OWNERS: WILLIAM E. HOLZ JR & BRENDA A. HOLZ

Instrument drafted by John R. Stigler

P. S. Washington 1025



Maple Rd

Maple Rd

Jackson Dr

Jackson Dr

Jackson Dr

Jackson

Old US Hwy 45

y45





English Oaks Dr

English Oaks Dr

English Oaks Dr

Highland Rd

Highland Rd

Google

Highland Rd

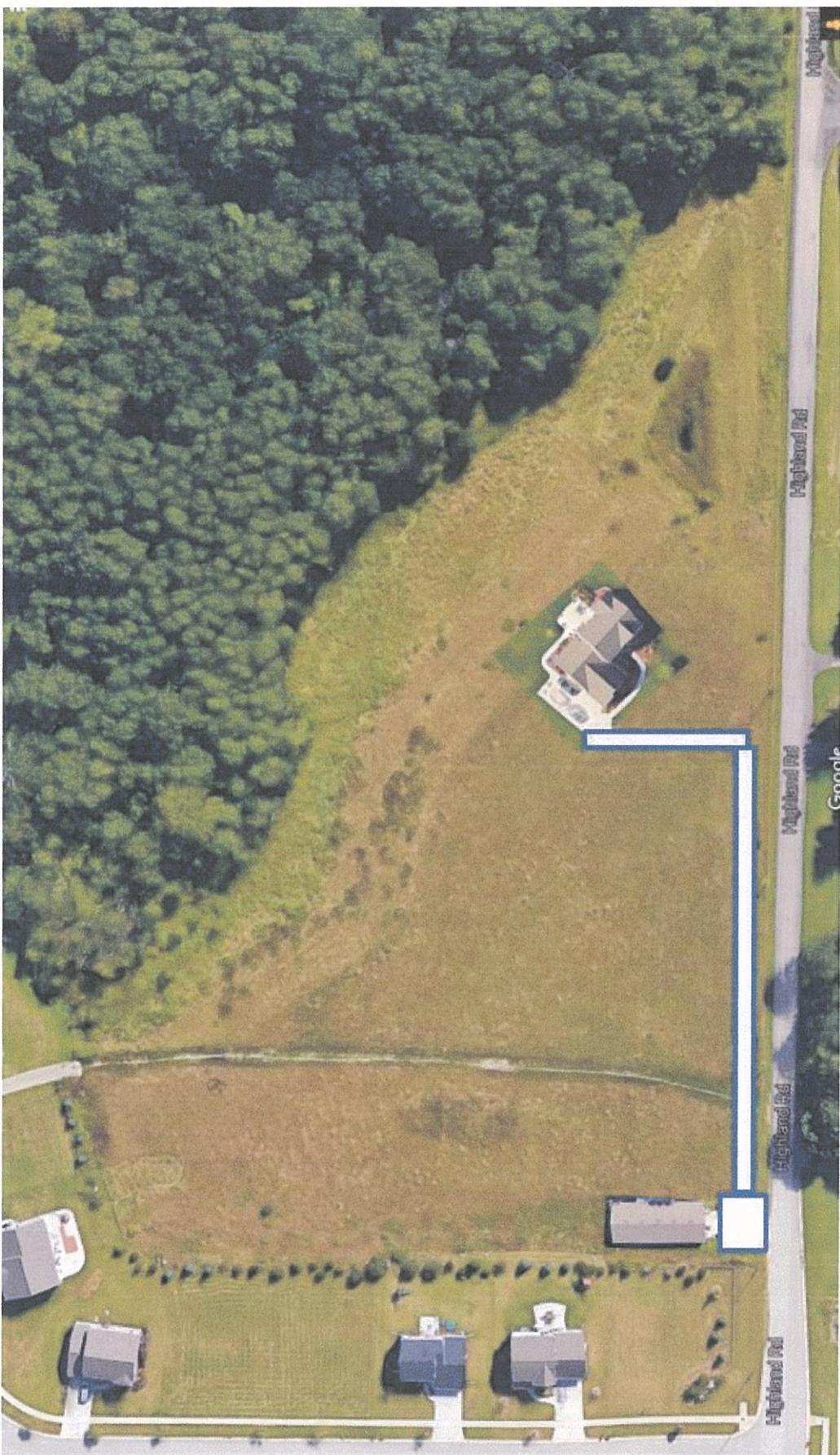


Highland Rd

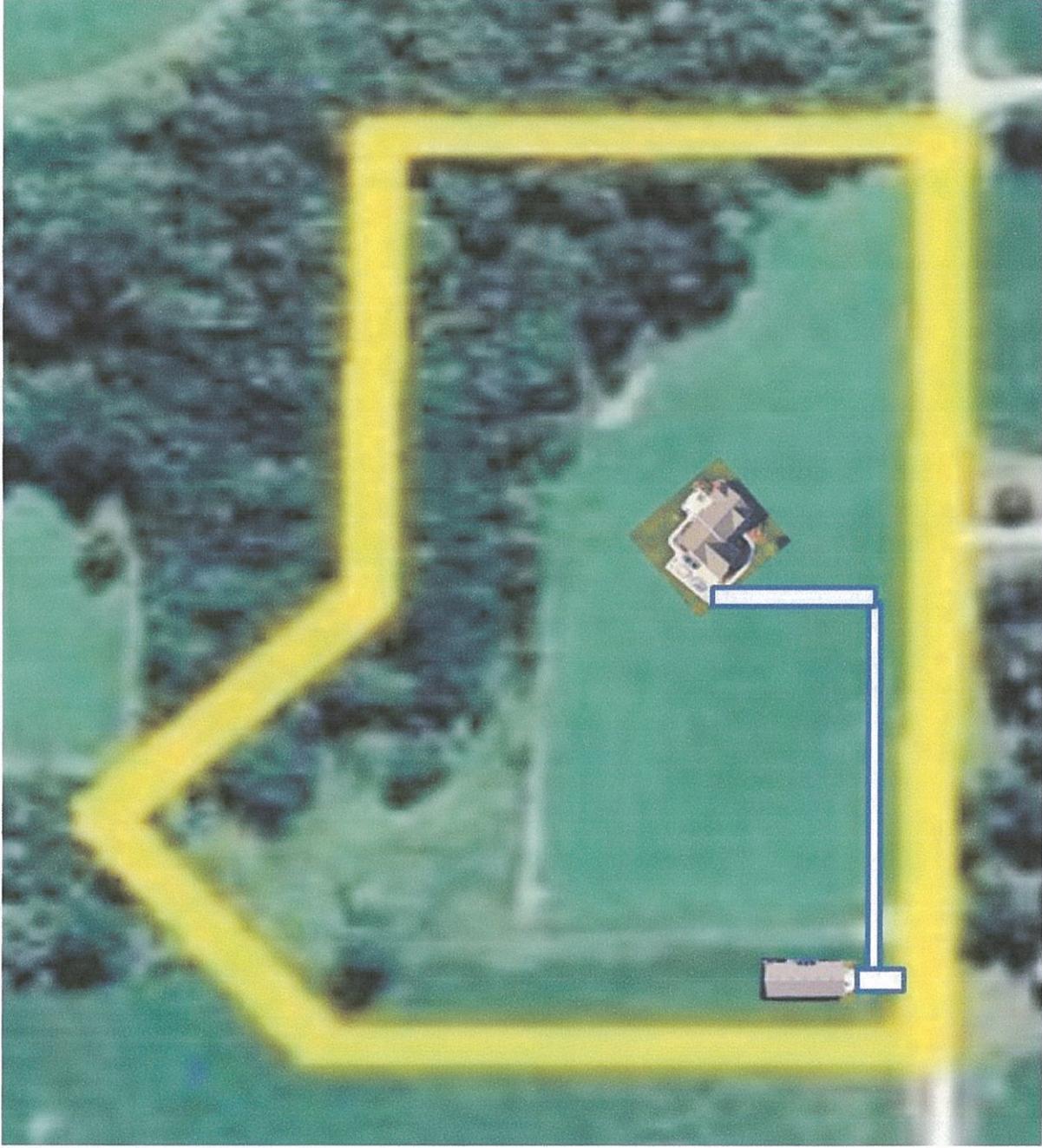
Highland Rd

Highland Rd

Google

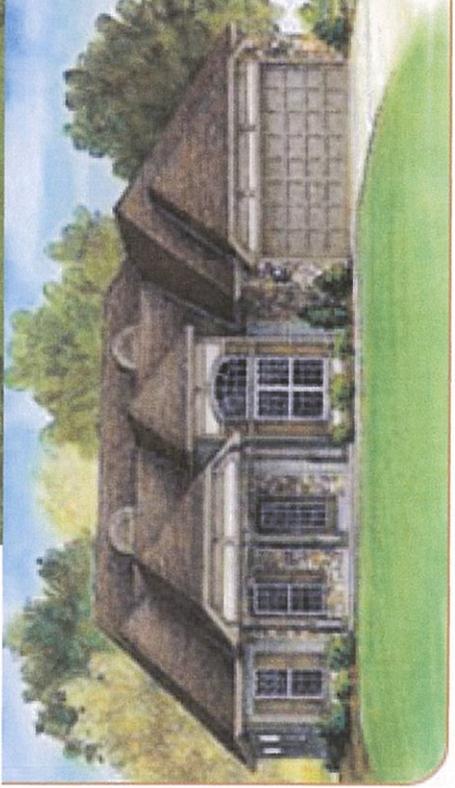


Note: The size of the outbuilding, home, approaches, and driveways are not to scale. Their locations are approximate and subject setback requirements.. The house style / footprint is not accurate and is for illustration purposes only.



Note: The size of the outbuilding, home, approaches, and driveways are not to scale. Their locations are approximate and subject setback requirements.. The house style / footprint is not accurate and is for illustration purposes only.

Home style to be determined. Home will be equal to or greater quality to homes in the area



Village of Jackson
Storm Water Ponds

Total Land Area of Jackson Approximately 1951 acres

Developments	Number of Ponds	Pond Number	Year Constructed	Location	Owner	Year of Report	Name of Pond in Report	Drainage Area (ac)	SLAMM Standard Land Use or SWMP Land Use	Percent TSS Reduction	Notes	
TIF #2	3	1	2002	Industrial Drive	Green Valley Pond	2002	sediment forebay	49 - combined with 2	SLAMM	53.4%		
		2	2002	Industrial Drive	Green Valley Pond	2002	main cell	49 - combined with 1	SLAMM	53.4%		
		3		Industrial Drive		1997	n/a	55.15	SLAMM	79.8%		
TIF #3	4	4		Apple Lane	Park-n-Ride Lot Pond	2012	n/a	1.81	SLAMM	75.2%		
		5		Tillie Lake Court	Comfort Inn and Suites	1997	Area 2B	11.6	SLAMM	88.3%		
		6		Cedar Parkway	Medicinal Clinic	1995	n/a	45.47	SLAMM	74.5%		
		7		Cedar Parkway	Sysco Pond	1995	n/a	34.59	SLAMM	60.7%		
TIF #4	2	8		Northwest Passage	Regional Pond	1998	n/a	129.4 - combined with 9	SLAMM	57.8%		
		9		Northwest Passage	Regional Pond	1999	n/a	129.4 - combined with 8	SLAMM	57.8%		
Total	9	Village Owned Ponds										
Jackson Crossings	2	10		N168 W22010 Main St	Private Owner	2005	RG1	0.506	SWMP	56.9%		
		11		N168 W22010 Main St	Private Owner	2005	P1	0.618	SWMP	40.2%		
Kerry Ingredients	1	12	2013	N168 W21455 Main St	Private Owner	2013	Proposed Pond	28.134	SWMP	85.0%		
Glen Brooke Subdivision	4	13	1994	Glen Brooke Dr	Homeowners Association	1997	n/a	11.4	SLAMM	69.8%		
		14	1994	Glen Brooke Dr	Homeowners Association	1997	n/a	45.89	SLAMM	66.3%		
		15	1998	Glen Brooke Dr	Homeowners Association	1997	n/a	14.61	SLAMM	69.9%		
		16	1997	Glen Brooke Dr	Homeowners Association	1997	n/a	32.86	SLAMM	59.7%		
Sherman Meadows	1	17	2004	Glen Brooke Dr & Sherman Rd	Condo Association	2004	n/a	33.4	SLAMM	66.7%		
Cranberry Creek Subdivision	3	18	2006	Marshland Drive	Homeowners Association	2006	2	1.4	SLAMM	84.8%		
		19	2006	Marshland Drive	Homeowners Association	2006	1B	1	SLAMM	58.4%		
		20	2006	Marshland Drive	Homeowners Association	2006	1A	5	SLAMM	91.0%		
Cranberry Condo Development	2	21	2005	Jackson Dr	Condo Association	2005	P1	16.37	SLAMM	75.6%		
		22	2006	Black Berry Circle	Private Owner	2005	P2	14.79	SLAMM	72.4%		
Jackson Community Center	1	23	2009	N165 W20330 Hickory Lane	Village of Jackson	2008	n/a	3.3	SLAMM	88.9%		
Hickory Park	3	24	1998	Asphalt Bottom	Village of Jackson	1997	n/a	1.17	SLAMM	6.0%	dry detention pond for quantity control	
		25	1998	Hickory Lane Park	Village of Jackson	1997	n/a	8.05	SLAMM	0.0%	dry detention pond for quantity control	
		26	1998	Hickory Lane Park	Village of Jackson	1997	n/a	1.3	SLAMM	0.0%	dry detention pond for quantity control	
Rivers Bluff Subdivision	3	27	2000	White Oak Circle	Condo Association	1997	n/a	11.78	SLAMM	72.5%		
		28	1998	Riverview Dr & Jackson Dr	Condo Association	1997	Retention Pond	9.5	SLAMM	67.7%		
		29	1997	Riverview Dr & Pine Dr	Homeowners Association	1997	Southeast Pond	28.1	SLAMM	14.6%		
Fox Creek Condo Development	1	30	2001	Jackson Dr	Condo Association	2000	n/a	4.55	SLAMM	4.8%		
Dallmann Village Subdivision	1	31	1999	Songbird Circle	Homeowners Association	1999	Pond 1	18.8	SLAMM	71.8%		
Sherman Creek	2	32	2003	Oakland Drive	Condo Association	2002	Pond 1	16.51	SLAMM	82.2%		
		33	2003	Oakland Drive	Condo Association	2002	Pond 2	5.53	SLAMM	80.5%		
Legacy at Cedar Creek	1	34	2008	Eagle Drive	Private Owner	2005	1P	3.2	SWMP	27.3%		
East Side Mart	1	35	2009	N168 W19490 Main Street	Private Owner	2007	n/a	5.86	SLAMM	77.3%		
Stonewall Development	5	36	2004	Stonewall Drive	Condo Association	2004	South Pond	5.8	SLAMM	82.8%		
		37	2004	Georgetown Drive	Condo Association	2004	S Swale Pond	1.64	SLAMM	0.0%	dry detention pond for quantity control	
		38	2004	Stonewall Drive	Condo Association	2004	Southwest Pond	8.73	SLAMM	86.6%		
		39	2004	Stonewall Dr & Willow Ridge	Condo Association	2004	Middle Basin Pond	5.47	SLAMM	77.4%		
		40	2004	Stonewall Dr & Highland Rd	Condo Association	2004	North Pond	13.13	SLAMM	70.1%		
English Oaks Subdivision	2	41	2007	Highland Road	Private Owner	2007	Pond 2 (South)	2.84	SWMP	64.9%		
		42	2007	English Oaks Drive	Homeowners Association	2007	Pond 1 (West)	11.07	SWMP	77.5%		
Highland Creek Farms Subdivision	4	43	1997	Raymond Rd & Highland Rd	Homeowners Association	1996	n/a	63.95	SLAMM	47.5%		
		44	1999	Creekside Drive	Homeowners Association	1999	Pond 3	6.59	SWMP	40.4%		
		45	1999	Creekside Drive	Homeowners Association	1999	Pond 2	9.16	SWMP	60.0%		
		46	1999	Creekside Drive	Homeowners Association	1999	Pond 1	26.89	SWMP	54.2%		
Laurel Springs Subdivision	1	47	2007	Crestview Drive	Homeowners Association	2006	Pond 1	25.1	SLAMM	0.3%	dry detention pond for quantity control	
Total	38	Privately Owned Ponds										

POND 43

LAND USE

Data Source	Aerial & Contours
Total Delineated Area	63.95

SLAMM Standard LAND USE	Residential - Medium Density
Area	63.95

OUTLET INFORMATION

Data Source	2015 Survey	SWMP 1-20-1996	SLAMM Datum
WS Elev	862.54		4.69
Outlet 1			
Diameter	36	2'x3'	
invert	862.2	864.5	4.35
Number	1	2	
broad crested weir			
weir length (ft)	20	20	
weir width (ft)	12	5	
Crest Elevation	868.88	867.5	11.03

STAGE STORAGE INFORMATION

Data Source survey, contours and plan

Stage	Area (ft2)	SLAMM Datum (ft)	Area (ac)
857.85	0	0.00	0.000
858	4275	0.15	0.098
863	9304	5.15	0.214
864	32368	6.15	0.743
866	36975	8.15	0.849
868	42350	10.15	0.972
870	50743	12.15	1.165

Top of Berm Elev 870.00

NOTES & ASSUMPTIONS

Pond appears to have been modified to accommodate future development since 1996 SWMP. Lowest elevation of pond based on average of 4 lowest shots on bottom bottom from survey completed summer, 2015. Top of berm elevation based on contours and confirmed by survey. 2015 survey identified 2 broad crested weirs. Weir included is located north of outlet on east side of pond and has lower elevation than weir located at outlet at southeast corner of pond.

POND 44

LAND USE

Data Source	SWMP
Total Area - SWMP	6.59

SLAMM LAND USE	Residential				
Contributing SWMP Areas	Area 3				
SLAMM Source Areas	Residential	Roads	Sidewalk	Grass	Water
Area (ac)	4.3	0.99	0.34	0.72	0.24
Notes		32' street width			

OUTLET INFORMATION

Data Source	2015 Survey	SWMP 5-7-1999	SLAMM Datum
WS Elev	854.91	855	1.83
Orifice 1			
Diameter	12	8	
invert	855.1	855	2.02
Number	1	1	
Orifice 2			
Diameter	-	8	
invert	-	857.5	
Number	-	1	
broad crested weir			
weir length (ft)	21	25	
weir width (ft)	15	5	
Crest Elevation	858.16	859.33	5.08

STAGE STORAGE INFORMATION

Data Source

survey, contours and plan

Stage	Area (ft2)	SLAMM Datum (ft)		Area (ac)
853.08	0	0.00		0.000
854	4880	0.92		0.112
855	8208	1.92		0.188
856	9520	2.92		0.219
858	12582	4.92		0.289
860	16621	6.92		0.382

Top of Berm Elev

860.33

NOTES & ASSUMPTIONS

Residential Source Area assumes 20% roof, 5% driveway and 75% lawn. Lowest elevation of pond based on average of 2 lowest shots on bottom bottom from survey completed summer, 2015. Top of berm elevation based on SWMP and confirmed by contours and survey. 2015 survey identified outlet is a pipe, not a compound outlet.

POND 45

LAND USE

Data Source	SWMP
Total Area - SWMP	9.16

SLAMM LAND USE	Residential				
Contributing SWMP Areas	Area 2				
SLAMM Source Areas	Residential	Road	Sidewalk	Grass	Water
Area (ac)	6.39	1.1	0.4	0.97	0.3
Notes		32' street width			

OUTLET INFORMATION

Data Source	2015 Survey	SWMP 5-7-1999	SLAMM Datum
WS Elev	847.14	847	7.88
Outlet 1			
Diameter	18	8	
invert	847	847	7.74
Number	1	1	
Outlet 2			
Diameter	-	10	
invert	-	849.5	
Number	-	1	
broad crested weir			
weir length (ft)	16	20	
weir width (ft)	13	5	
Crest Elevation	850.91	852.5	11.65

Flared end section completed detached

STAGE STORAGE INFORMATION

Data Source survey, contours and plan

Stage	Area (ft2)	SLAMM Datum (ft)	Area (ac)
839.26	0	0.00	0.000
840	1771	0.74	0.041
845	5422	5.74	0.124
846	8769	6.74	0.201
848	12099	8.74	0.278
850	18198	10.74	0.418
852	22396	12.74	0.514

Top of Berm Elev 852.47

NOTES & ASSUMPTIONS

Residential Source Area assumes 20% roof, 5% driveway and 75% lawn. Lowest elevation of pond based on average of 2 lowest shots on bottom bottom from survey completed summer, 2015. Top of berm elevation based on highest elevation on berm adjacent to broad crested weir. 2015 survey identified outlet is pipe not a compound outlet.

LAND USE

Data Source	SWMP
Total Area - SWMP	26.89

SLAMM LAND USE	Residential				
Contributing SWMP Areas	Area 1				
SLAMM Source Areas	Residential	Road	Sidewalk	Grass	Water
Area (ac)	17.75	5.01	1.4	2.27	0.46
Notes		32' street width			

OUTLET INFORMATION

Data Source	2015 Survey	SWMP 5-7-1999	SLAMM Datum
WS Elev	847.62	847	4.98
Orifice 1			
Diameter	36	8	
invert	846.6	847	3.96
Number	1	1	
Orifice 2			
Diameter	-	10	
invert	-	847	
Number	-	1	
Orifice 3			
Diameter	-	12	
invert	-	850.75	
Number	-	2	
broad crested weir			
weir length (ft)	51	60	
weir width (ft)	8	10	
Crest Elevation	850.14	852.95	7.50

STAGE STORAGE INFORMATION

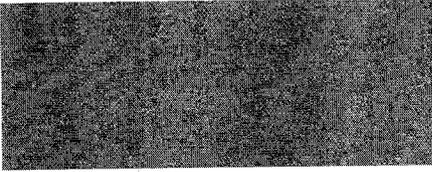
Data Source survey, contours and plan

Stage	Area (ft2)	SLAMM Datum (ft)	Area (ac)
842.64	0	0.00	0.000
843	8734	0.36	0.201
845	13434	2.36	0.308
846	18954	3.36	0.435
848	22658	5.36	0.520
850	29229	7.36	0.671
853	42000	10.36	0.964

Top of Berm Elev 853.25

NOTES & ASSUMPTIONS

Residential Source Area assumes 20% roof, 5% driveway and 75% lawn. Lowest elevation of pond based on lowest shot on bottom bottom from survey completed summer, 2015. Top of berm elevation based on average of 3 highest elevation shots on the top of berm on the east side of the pond. 2015 survey identified outlet is pipe not a compound outlet.



**WPDES Stormwater Compliance
Report
Village of Jackson
Jackson, WI**

August 29, 2016

Prepared for
Village of Jackson
N168 W20833 Main St
Jackson, WI 53037

Prepared by

GRÄEF

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Project No.: 2015-0090

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EXECUTIVE SUMMARY

The Village of Jackson was notified to apply for coverage under the Wisconsin Pollution Discharge Elimination System (WPDES) Municipal Separate Storm Sewer System (MS4) permit on October 27, 2014. The Village notice of intent to apply for coverage was received on January 29, 2015.

This report covers the requirements for the WPDES MS4 permit and the actions the Village of Jackson has taken to meet those requirements. Documentation forms and templates are provided within the Appendices for the Annual Report Updates. The first annual report is due March 2017. That report covers activities within the Village of Jackson from January 2015 to December 2016.

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FIGURES

Figure 1 Location Map

TABLES

Table 1 Compliance Schedule for the Village of Jackson

APPENDICES

- Appendix A: WPDES MS4 Permit
- Appendix B: Public Involvement and Participation Plan
- Appendix C: Updated Village Ordinances
- Appendix D: Storm Sewer Map
- Appendix E: Illicit Discharge Detection and Elimination
- Appendix F: Stormwater Facility Long Term Management Plan
- Appendix G: Stormwater Facility Baseline Report
- Appendix H: Stormwater Pollution Prevention Plan
- Appendix I: Green Development
- Appendix J: Annual Report Template

I. Introduction

A. Background

The Village of Jackson was notified to apply for coverage under the Wisconsin Pollution Discharge Elimination System (WPDES) Municipal Separate Storm Sewer System (MS4) general permit (WI-S050181-1) on October 27, 2014. The Village notice of intent to apply for coverage was received on January 29, 2015.

This report serves as the documentation of the compliance with the WPDES MS4 permit.

B. Village Location

The Village of Jackson is located in Washington County, Wisconsin. See Figure 1 for a location map of the Village. The Village consists of approximately 1,951 acres as of 2015. The village land use consists of residential, commercial, industrial, agricultural and undeveloped land uses.

The Village of Jackson is tributary to Cedar Creek. Cedar Creek is a delisted 303(d) water as of 2010. Portions of the Village of Jackson are tributary to Jackson Creek. Jackson Creek is currently a 303(d) listed impaired water suffering a degraded habitat caused by high levels of total suspended solids. Both Cedar Creek and Jackson Creek are ultimately tributary to the Milwaukee River.

C. Permit Requirements and Implementation Schedule

The WPDES MS4 permit condition requirements include:

- public education and outreach;
- public involvement and participation;
- illicit discharge detection and elimination;
- construction site stormwater management;
- post-construction stormwater management;
- pollution prevention;
- stormwater quality management;
- storm sewer map;
- annual report;
- and cooperation.

The WPDES MS4 permit also includes the implementation requirements and a specific implementation schedule. A copy of the WPDES MS4 permit is included in Appendix A.

A summary of the critical tasks requiring action by the Village of Jackson are summarized in Table 1.

Table 1.

Compliance Schedule for the Village of Jackson

WPDES permit section number	Report section number	WPDES Permit Requirement	Description	Initial Target Date for Compliance	Status
3.1.1	I B	MS4 Discharge to Impaired Water Body	Determine if any part of the MS4 discharges to an impaired waterbody	90 days from start date (March 2016)	Included in report
3.2	II A	Public outreach and education	Increase awareness of stormwater impacts. Involvement in Sweet Water meets this requirement.	18 months from start date (May 2017)	Included in report
3.3	II B	Public Involvement and Participation	Submit public education and outreach program to WDNR. Program should notify public of MS4 activities and encourage input	18 months from start date (May 2017)	Included in report
3.4.1	II C	Illicit Discharge and Elimination Ordinance	Submit proposed illicit discharge ordinance to WDNR, anticipated ordinance adoption 01/2017	24 months from start date (December 2017)	Included in report
3.4.2	II C	Initial IDDE field screening	Complete initial field screening of designated outfalls including visual observation and field analysis	36 months from start date (December 2018)	Included in report
3.4.3	II C	Submit on-going IDDE program	Submit program to WDNR of on-going field screen procedures. Program should be implemented within 12 months of initial screening.	36 months from start date (December 2017)	Included in report
3.4.4	II C	IDDE response procedures	Develop response procedures and submit to WDNR	24 months from start date (December 2017)	Included in report

Table 1.
Compliance Schedule for the Village of Jackson

WPDES permit section number	Report section number	WPDES Permit Requirement	Description	Initial Target Date for Compliance	Status
3.5.1	II D	Construction site pollution control ordinance	Submit to WDNR construction site pollutant control ordinance, anticipated ordinance adoption 01/2017	18 months from start date (May 2017)	Included in report
3.5.2	II D	Construction site inspection and enforcement procedures	Submit to WDNR inspection and enforcement procedures. Procedures should include inspection frequency, documentation, and enforcement mechanisms.	18 months from start date (May 2017)	Included in report
3.6.1	II E	Proposed post construction stormwater ordinance	Submit to WDNR post construction site stormwater management ordinance, anticipated ordinance adoption 01/2017	18 months from start date (May 2017)	Included in report
3.6.2	II E	Proposed post construction long term maintenance procedures	Submit maintenance procedures to WDNR. Procedures should include procedures to ensure maintenance, process of obtaining local approval, managing complaints, and tracking post-construction sites.	18 months from start date (May 2017)	Included in report

Table 1.

Compliance Schedule for the Village of Jackson

WPDES permit section number	Report section number	WPDES Permit Requirement	Description	Initial Target Date for Compliance	Status
3.7	II F	Proposed Pollution Prevention Program	Submit program to WDNR. Program should include inventory of facilities, inspection and maintenance procedures, street sweeping information, catch basin cleaning information, de-icer management, nutrient management, SWPPP for municipal facilities, and education of municipal employees	24 months from start date (December 2017)	Included in report
3.8.1	II G	Evaluate flood control structures	Evaluation of all stormwater BMPs for feasibility of retrofitting to increase TSS reduction	24 months of start date (December 2017)	Included in report
3.8.2	II G	Assess compliance with 20% reduction TSS	Conduct WinSLAMM analysis to determine TSS and TP loading for system with controls and with no controls	24 months of start date (December 2017)	Included in report
3.9	II H	Storm Sewer Map	Develop a map of all information pertinent to the MS4 and submit to WDNR	24 months of start date (December 2017)	Included in report
3.10	II I	Annual report	Submit annual report to WDNR summarizing activities and expenditures of the MS4	Each calendar year by March 31 of following year	Template included, requires submittal
3.11	II K	Reapplication for Permit Coverage	Apply for reissuance of permit coverage	180 days prior to permit expiration	Needs to be completed by Village of Jackson

II. WPDES Permit Conditions

A. Public Education and Outreach

The Village of Jackson is required to adopt and implement a public education and outreach campaign. At a minimum, the public education and outreach program is required to include:

- Promoting the detection and elimination of illicit discharges;
- Educating the public on the proper management of materials that may cause stormwater pollution;
- Promoting beneficial onsite reuse of leaves and grass clippings;
- Promoting proper use of lawn and garden fertilizers and pesticides;
- Promoting the management of streambanks and shorelines by riparian owners;
- Promoting infiltration of residential stormwater runoff from rooftop downspouts, driveways, and sidewalks;
- Informing and educating those responsible for the design, installation and maintenance of construction site stormwater erosion control practices;
- Identifying businesses and activities that may pose a stormwater contamination concern and educate specific audiences on stormwater pollution prevention; and
- Promoting environmentally sensitive land development including green infrastructure and low impact development.

The Village of Jackson has partnered Southeast Wisconsin Watersheds Trust, Inc. (Sweet Water) to meet the public education and outreach requirements. Sweet Water promotes the restoration of all watersheds in the Greater Milwaukee area through print media, commercials, and social media.

B. Public Involvement and Participation

The Village of Jackson is required to develop and implement a public participation program in stormwater management. The public involvement and participation plan is intended to engage the public, to encourage public input on stormwater related issues, and to provide the residents with opportunities to make a difference in the stormwater quality of their community. The public involvement and participation plan is required to maintain compliance with and be supplemental to all applicable state and local public notice requirements. The Village of Jackson is also required to develop measurable goals for the public involvement and participation program. A list of public involvement and participation opportunities and measurable goals are included in Appendix B.

C. Illicit Discharge Detection and Elimination

The Village of Jackson is required to establish a program detect, remove, and eliminate illicit discharges from the storm sewer system. The intent of the program is to protect downstream receiving waters from contamination by preventing improper disposal of wastes. The illicit discharge detection and elimination program is required to establish Regulations, perform Initial dry weather screening, perform ongoing dry weather screening, and follow illicit discharge response proceedings:

1. Establish Regulations

The Village of Jackson is required to establish regulatory authority to prevent and eliminate illicit discharges. Recommended language to update the Village Code is located in Appendix C. The recommended language in Appendix C provides adequate authority to inspect and enforce illicit discharge regulation as required by the WPDES MS4 permit at major outfalls. The code revision is anticipated to be adopted by January 1, 2017.

2. Perform Initial Dry Weather Field Screening

A major outfall is defined by either: an equivalent pipe diameter in excess of 36 inches with a drainage area in excess of 50 acres; or storm sewer from an active industrial area with a drainage area in excess of 2 acres. Major outfalls are identified on the storm sewer system map in Appendix D. All 14 major outfalls of the storm sewer system are to be field screened for illicit discharge detection. The field screening includes a visual observation of the pipe. A field analysis should be conducted on outfalls with discharge. The field analysis includes testing pH, detergents, fluoride, ammonia and potassium if discharge is observed. A field screening form and testing procedures for illicit discharge detection and elimination are included in Appendix E.

GRAEF evaluated all of the Village of Jackson major outfalls on August 8, 2016. A copy of initial dry weather field screening is located in Appendix E. No illicit discharges were present at any of the inspected outfalls. Discharge at several outfalls was observed and tested. A few of the outfalls had minor deviations in temperature, floatables, and sheen. The deviation from expected parameters at flowing outfalls was relatively minor. Temperature deviations may be attributed to warm weather in the days prior to the inspection. The presence of minor floatables and sheen may be from permitted discharges such as residential car washing.

The illicit discharge report meets the initial screening requirements of WPDES MS4 Permit.

3. Perform Ongoing Dry Weather Field Screening

The dry weather field screenings are required to occur annually at all major outfalls identified on the storm sewer map in Appendix D. Field screening is required to include field observation and analysis of any observed discharge in accordance with procedures described in Appendix E. A geo-database has been established to document the Illicit Discharge Inspection Results.

4. Follow Illicit Discharge Response Procedures

Procedures for responding to known or suspected illicit discharges include:

- investigating portions of the Village of Jackson that may contain illicit discharges;
- responding, locating, preventing and containing spills;
- notifying the Wisconsin Department of Natural Resources (WDNR);
- detecting and eliminating cross connections and leakage from the sanitary sewers; and
- providing the WDNR with notice of time and location of dye testing.

The Village of Jackson is required to remove any illicit discharge from the system as soon as possible once located. If the removal requires more than 30 days, the Village of Jackson is required to contact the WDNR to discuss appropriate action for removal. Appendix E contains procedures for response to a known or suspected illicit discharge. A complete list of minimum requirements for illicit discharge response procedures located in section 2.3.4 of the WPDES permit.

The Village of Jackson Fire Department is responsible for response to spills. The Fire Department has procedures established that meet WPDES requirements for spill response. The Village is required to supply a copy of these procedures to WDNR.

D. Construction Site Stormwater Management

The existing Chapter 15.06 E of the Village Code requires that all land disturbing activity have approved erosion control plans in place prior to construction. Chapter 15.06 E was incorporated into the WDNR model ordinance language, while maintaining more stringent criteria already in effect. Recommended updates to the Village Code are included in Appendix C.

The recommended updates to the Village Code meet the requirement of the WPDES MS4 permit. The code revision is anticipated to be adopted by January 1, 2017.

E. Post-Construction Stormwater Management

Administrative procedures for the post-construction stormwater management program are required of the WPDES MS4 Permit. Administrative procedures are required to include procedures to process permits for local approval, management of and response to complaints, and tracking of regulated sites.

Recommended updates to the Village Code are included in Appendix C. The recommended language is based on WDNR model ordinances, while maintaining existing Village of Jackson criteria more stringent than WDNR requirements.

The recommended updates to the Village Code meet the requirement of the WPDES MS4 permit. The code revision is anticipated to be adopted by January 1, 2017.

F. Pollution Prevention

The Village of Jackson is required to develop and implement a pollution prevention plan. The pollution prevention plan is required to include an inventory of existing stormwater management facilities, management and disposal methods for common pollutants, and education of personnel implementing the program. Appendix G lists all municipally owned and privately owned stormwater ponds, and the storm sewer map in Appendix D includes the location of these facilities.

Pollution prevention activities are required to include:

- Stormwater Management Facility Inspection
- Sediment Collection and Disposal
- Winter De-Icing Evaluation
- Nutrient Management
- Stormwater Pollution Prevention Plans
- Green Development
- Educational Training
- Source Water Protection Areas
- Reporting

1. Stormwater Management Facility Inspection

Structural stormwater management facilities within the Village of Jackson are required to be inspected routinely.

An initial inspection of the 47 wet detention ponds within the Village of Jackson was performed in 2015. The initial inspection data and analysis was used to determine the baseline conditions. See Appendix G for the Stormwater Facility Baseline Report.

2. Sediment Collection and Disposal

Routine street sweeping is an important method of pollution prevention, preventing the removed solids from entering the stormwater system. The Village of Jackson currently sweeps streets annually at a minimum, with heavily traveled main roads swept more frequently. Yard waste is bagged, placed on grass behind curb, and collected to prevent sediment and yard debris from collecting on streets.

Another method of pollution prevention is sumped catch basins. Sumped catch basins reduce transport of sediment already in the storm sewer system. Catch basin sumps should be inspected or cleaned routinely to ensure their ongoing performance and TSS reduction capacity.

Sediment and debris collected from street sweeping and catch basin cleaning requires proper disposal.

Data on street sweeping and catch basin cleaning frequency and TSS removal is required to be included in the WPDES annual report.

3. Winter De-Icing Evaluation

The Village of Jackson de-icing program is compliant with WPDES permit requirements. The Village of Jackson uses road salt for de-icing. All salt is applied in rock form. The Village of Jackson may pre-salt the roads prior to large snow events. The quantity of salt is dependent on the storm intensity and the temperature after the storm. In the Annual Report the Village of Jackson is required to report on information on their de-icing activities including:

- contact information of responsible person;
- description of de-icing products;
- amount of de-icing product used per month; and
- description of the type of equipment.

Snow disposal locations are required to be evaluated if utilized within the Village of Jackson. Snow disposal locations are required to be

- located at least 1,000 feet from a groundwater well,
- away from high traffic areas,
- avoid steep or erodible slopes, and
- ideally upgradient from a stormwater detention basin

WDNR guidance on snow disposal is available at: <http://dnr.wi.gov/topic/stormwater/documents/snow.pdf>. Snow disposed of at a disposal location should be documented in the Annual Report.

4. Nutrient Management

Leaf and grass clippings represent a substantial nutrient load to receiving water bodies. Management and disposal of leaf and grass clippings is required in the pollution prevention plan.

Village of Jackson owned properties are fertilized in the spring with a granular weed and feed fertilizer using a drop spreader. Spot treatment of herbicide is applied throughout the growing season as needed using a backpack pump. Municipal properties are mowed on a weekly basis and the grass clippings are mulched and remain on site.

Residents of the Village of Jackson are encouraged to properly dispose of leaf and grass clippings. Bagged yard waste from residential properties is collected and transported to the Village of Jackson Streets Department. A landscape contractor hauls the yard waste away for composting and reuse.

5. Stormwater Pollution Prevention Plans

The Village of Jackson is required to develop a stormwater pollution prevention plan for all municipal garages, storage areas, and other municipal facilities that may be a source of stormwater pollution. Pollution prevention activities are required in the first annual report, and annually thereafter.

Good housekeeping activities and best management practices are important to eliminate and reduce stormwater contamination at municipal facilities. Employee training and awareness are required to be included in the facility stormwater pollution prevention plan. Spill prevention and response procedures are also required to be developed.

Stormwater Pollution Prevention Plans (SWPPP) for the Village of Jackson Streets Department and Utilities Department are included in Appendix H. The SWPPP for these municipal facilities meets the requirements of this section.

6. Green Development

Upcoming municipal projects are required to evaluate the opportunity to incorporate green development. Green development improves the environment and public health by reducing the effects of stormwater runoff and promoting groundwater infiltration.

Green development incorporates Green Infrastructure (GI) practices and Low Impact Development (LID) practices. Information on how GI/LID practices can be incorporated into land development projects is included in Appendix I.

7. Educational Training

Municipal employees working on the pollution prevention plan should receive training on their involvement in pollution prevention. Documentation of any training provided is required to be included in the annual report.

8. Source Water Protection Areas

The WPDES MS4 permit requires measures to reduce municipal sources of stormwater contamination within source water protection areas.

The Village of Jackson is already in compliance with this requirement through the approved well head protection plan and the well head protection ordinance; section 16.25 of the Village Code.

9. Reporting

Information regarding ongoing pollution prevention efforts are required to be included in the annual report. Required information includes:

- inspection forms,
- sediment collection and disposal information,
- deicer application information,
- information on management of leaves and grass clippings,
- catch basin cleaning,
- education provided to internal staff, and
- any reported spills and the responses.

An annual report template is provided in Appendix J.

G. Stormwater Quality Management

The Village operates 47 wet ponds designed to reduce TSS in stormwater runoff. These wet ponds cover a total drainage area of 830.38 acres, or approximately 42.6% of the total area of the Village of Jackson.

The Village of Jackson has implemented stormwater management practices that exceed the minimum 20% reduction in total suspended solids discharging to surface waters. Structural control practices that contribute to the 20% reduction in total suspended solids include BMPs owned by the Village and by private entities. The Village of Jackson has achieved 22.62% reduction in total suspended solids for the entire Village area including areas with a structural stormwater management practice and undetained areas.

The average annual phosphorus loading with no controls is 1,533 pounds and the loading with controls is 1,194 pounds, resulting in a 22.12% reduction in total phosphorus.

The Stormwater Facility Baseline Report in Appendix G includes the details of the WinSLAMM calculation used to determine TSS reduction and phosphorus loading. The Village of Jackson is compliant with the total suspended solids performance standards under NR 151.13(2) (b) 1. The on-going maintenance of all BMPs, including those owned by private entities, should be documented.

All municipally owned structural stormwater management systems were evaluated for their potential to be retrofitted to increase TSS removal. See the Stormwater Facility Baseline Report in Appendix G for additional information on how the Village of Jackson could provide additional TSS reduction.

An analysis of all 47 ponds was completed in 2015. The Stormwater Facility Baseline Report for these ponds is included in Appendix G.

A Geographic Information System (GIS) asset management database was created to assist in the on-going management of the stormwater BMPs.

All of the ponds evaluated in the 2015 baseline conditions are included within the georeferenced database. The original plans, Stormwater Management Plan excerpts, 2015 photos, and baseline conditions are linked to each pond.

All major outfalls requiring annual illicit discharge detection and elimination are also geo-referenced within the database. The GIS database allows annual IDDE screening forms to be uploaded so that a continuous record of screening forms is easily organized for each outfall.

H. Storm Sewer Map

A storm sewer map is included in Appendix D. The map shows:

- All receiving waters;
- Any wetland;
- All known MS4 outfalls;
- All MS4 major outfalls;
- Locations of any known discharge to the MS4 that has been issued a WPDES permit;
- Locations of all municipally operated structural stormwater facilities;
- The identifications of public parks, recreational areas and open lands;
- The locations of municipal garages, storage areas and public works facilities; and
- The identification of streets

The Village of Jackson has no known impact on any endangered, threatened, or archaeological resources. Endangered or threatened resources are mapped by WDNR and are required to be checked for every development project and improvement project. The WDNR procedure for endangered and threatened species is required to be followed for all Village of Jackson Projects.

A review of the register of historic places for Wisconsin was performed. No places are located within the Village of Jackson limits.

The storm sewer map meets the requirements of the WPDES MS4 permit.

I. Annual Report

The Village of Jackson is required to submit an annual report for each calendar year by March 31st of the following year. An annual report is not required after the initial year of permit coverage. The first annual report sent to the department is required to report on the first 2 years of coverage. The first annual report is due March 2018.

The annual report is required to include status of implementing permit requirements, fiscal analysis of annual expenditures, a summary of inspection and enforcement actions, and identification of any known water quality improvements or degradation. An Annual Report Template is included in Appendix J.

J. Cooperation

The Village of Jackson is cooperating with 11 other communities in the Mid-Moraine Water Quality Collective to improve water quality throughout the Milwaukee River Watershed.

K. Reapplication for Permit Coverage

The Village of Jackson is required to apply for reissuance of the WPDES permit at least 180 days prior to the permit expiration date in accordance with NR 216.09.

III. Conclusions

The Village of Jackson meets the WDNR requirements of the WPDES MS4 permit.

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