

## **Agenda**

### **Village Board Meeting**

**Tuesday, October 11, 2016**

**Not before 7:30 p.m. and immediately following the Budget and Finance Committee Meeting.**

**Jackson Village Hall**

**N168W20733 Main St**

**Jackson, WI 53037**

1. Call to Order and Roll Call.
2. Pledge of Allegiance.
3. Any Village Citizen Comment on an Agenda Item (Please sign in).
4. Public Hearing:  
Conditional Use – Nelson – Three Dogs – Stonehedge Dr.
5. Public Hearing:  
Conditional Use – Piotrowski – Three Dogs – Willow Ridge Dr.
6. Consent Agenda:
  - Approval of Minutes for the Village Board Meetings of September 13, 2016 and September 29, 2016.
  - Licenses.  
Operator Licenses:  
The Village Mart: Delilah Schieble  
East Side Mart: Brandi Rasmussen, Kevin Hartwig  
Main Street Mart: Toriano McAfee  
Walgreens: Kathleen Brown, Dana Kelsey  
Latest Edition: Danielle Cyrak
7. Budget & Finance Committee.
  - Pay Request #4 – Wilshire Drive Reconstruction Project.  
(Returning from September Meeting.)
  - Review of Proposal from Cedar Corporation – Space Needs Analysis.
  - Review of Stonewall Sidewalk Project Plan and Proposal.
  - Request to Purchase Replacement Duty Weapons.
8. Departmental Reports.
9. Washington County Board Report.
10. West Bend School District Liaison Report.
11. Greater Jackson Business Alliance Report.

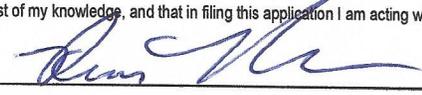
12. Mid-Moraine Legislative Committee/Mid-Moraine Municipal Report.
13. Citizens to Address the Village Board.
14. Announcement: The November 8<sup>th</sup> meeting will be held at the Community Center due to the general election.
15. Convene into closed session pursuant to Wis. Stats. § 19.85(1)(e) Deliberating or negotiating the purchasing of public properties, investing of public funds, or conducting other specified business, whenever competitive or bargaining reasons require a closed session, and Wis. Stats. § 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved: matters relating to Jackson Properties, LLC, and the Village-Town Revenue Sharing Agreement and Cooperative Boundary Plan.  
Reconvene into Open Session.
16. Adjourn.

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
**(Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)**

Name of Applicant Russ & Kate Nelson  
 Contact Russ Nelson Address/ZIP W193N16047 Stonehedge Dr. Phone # 262-470-7339  
 E-mail Address nelsonruss@gmail.com Fax # where Agenda/Staff comments are to be faxed \_\_\_\_\_  
 Name of Owner Russ & Kate Nelson Address/ZIP W193N16047 Stonehedge Dr. Phone# \_\_\_\_\_  
 Owner Representative/Developer \_\_\_\_\_  
 Proposed Use of Site \_\_\_\_\_ Present Zoning \_\_\_\_\_

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	2) Describe what you intend to do (paragraph)		XXX
			3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	4) Owner acknowledgement of the request	1	
			5) Impact Statement		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	6) Location Map		XXX
			7) Development Plan / Site Plan		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	8) Preliminary Plat		XXX
			9) Final Plat		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	10) Certified survey Map		XXX
			11) Annexation Petition		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	12) Annexation Map	1	XXX
			13) Sketch Plan		XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	14) Landscape Plan	4 (24x36)	XXX
			<b>Engineering Review - Infrastructure</b>		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan	4 (24x36)	XXX
			16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections	4 (24x36)	XXX
			18) Erosion Control Plan	4 (24x36)	XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials		XXX
			20) Developers Agreement		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements)		XXX
VARIANCE	\$150	1,2,3,4,6,7	22) other -		XXX
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Russ Nelson Signature  Date 9/2/16

Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development

Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a  Special Use  Conditional Use  Planned Unit Development

Permit to:

Name of Business/Applicant: Russ Nelson

For a property located at (address): W193 N16047 Stonehedge Dr.

Phone number of Business/Applicant: 262-470-7339

For (land use, activity, sign, site plan, other): Additional Dogs at residence for adoption or fostering purposes

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): No Impact on properties other than our own

Hours of Operation: N/A

Comprehensive/Master Plan Compatibility: N/A

Building Materials (type, color): N/A

Setbacks from rights-of-way and property lines: N/A

Screening/Buffering: N/A

Landscape Plan (sizes, species, location): N/A

Signing (dimensions, colors, lighting, location): N/A

Lighting (wattage, style, pole location and height, coverage): N/A

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), sidewalk/pedestrian way width and material): N/A

Storm-water Management: N/A

Erosion Control: N/A

Fire Hydrant Location(s): N/A

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: N/A

Hazardous Material Storage: N/A

Alarm Systems: N/A

Site Features/Constraints: N/A

Parking (no. of spaces, handicapped parking, and dimensions): N/A

Tree and shrub preservation: N/A

Setbacks/height limitations: N/A

Wastewater Usage Projected: \_\_\_\_\_ gal/year      Water Usage Projected: \_\_\_\_\_ gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):

## TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_

Over the Counter \_\_\_\_\_ Date \_\_\_\_\_

  
\_\_\_\_\_

\_\_\_\_\_  
John Walther, Administrator

Russ Nelson \_\_\_\_\_, Owner  
Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
  - A. Annual water consumption estimate (100% occupancy and build-out)
  - B. Annual sewage generation estimate (100% occupancy and build-out)
  - C. Vehicle trip generation (trips per day per unit x number of units)
  - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
  - E. Proposed sign(s) (advertising business, industry, dwelling unit)
  - F. General hours of operation
  - G. Anticipated user profiles (for residential developments)
  - H. Proposed dates of construction and completion
  - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades & runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**

To Whom in May Concern:

My name is Russ Nelson and I (in conjunction with my wife, Kate Nelson) are applying for a conditional use permit to have more than 2 dogs in our home. We currently have no children. We are applying, however, not to adopt another. (Although, it is a possibility in the future.) We are applying to provide loving foster homes to dogs in our area. We work with JR's Pups N Stuff out of the West Allis area, a foster based animal rescue. These dogs typically come in from southern kill shelters, deplorable situations, and custody returns due to unforeseen circumstances. The dogs we have fostered have been tied out and used for excessive breeding, been exposed to heartworm, had little human contact, and sometimes lived in deplorable situations with little to no food and basically swimming in their own feces. As avid animal lovers with the time and home space to do so, we want to continue to do this legally.

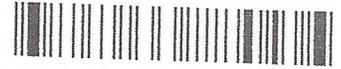
That is where you all come in. We respectfully request this permit to continue to bring dogs into our home for love, support, and just a safe place. We plan to have no more than 5 dogs in the house with the exception of a mother and her pups that need to be weaned. This number will likely go down as our family grows or as this committee desires. Additionally, we are open to home visits as necessary to ensure that we are not indeed hoarders and truthfully providing these animals with a safe place.

We appreciate the consideration and look forward to hearing from you.

Thanks,

Russ and Kate Nelson

1403956



RECORDED  
April 29, 2016 3:05 PM  
SHARON A MARTIN  
REGISTER OF DEEDS  
WASHINGTON COUNTY, WI  
Recording Fee Paid: \$30.00  
Exemption: 77.25(2)

**SPECIAL  
WARRANTY  
DEED**

Document Number

**Return to:**  
Kate Jackson  
Russ Nelson  
W193 N16047 Stonehedge Drive  
Jackson, WI 53037

**Drafted by:**  
Robert M. Piette

V3-0205-069  
Parcel Identification Number

Fannie Mae a/k/a Federal National Mortgage Association, P.O. Box 650043, Dallas, TX 75265-0043, hereinafter GRANTOR and Kate Jackson and Russ Nelson, hereinafter GRANTEES:

WITNESSETH, that GRANTOR for a valuable consideration conveys to Grantees and to their successors and assigns, but without recourse, representation or warranty, except as expressed herein, all of its right, title and interest in and to that certain tract or parcel of land described as follows, to wit:

Lot 6 of Block 6 in CEDAR RUN, part of the Southwest 1/4 of the Southeast 1/4 and part of the Northwest 1/4 of the Southeast 1/4, all in Section 20, Town 10 North, Range 20 East, Village of Jackson, Washington County, Wisconsin.

EXEMPT FROM TRANSFER FEE 77.25(2).

RE: W193 N16047 Stonehedge Drive, Jackson, WI

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining; and the reversion or reversions, remainder or remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim or demands whatsoever, of the said GRANTOR, either in law or equity, in and to the above-bargained premises, with the said hereditaments and appurtenances: TO HAVE AND TO HOLD the premises as before described, with the appurtenances, unto the said Grantees, their successors and assigns.

2





Google

**APPLICATION FOR DOG LICENSE**

VILLAGE OF JACKSON Dog License No. 2079 Date 9/2/2016  
Leave blank

Name-Owner/Keeper  
Of Dog Nelson Russ Phone 262-470-7339  
Last First

Address W193N16047 Stonehedge Dr

Name of Dog Bear Color Black/white Breed Pointer Mix

RABIES TAG NO. 150431  Male \$15.00  Female \$15.00  
EXP. DATE 6/2/2019  Neutered \$10.00  Spayed \$10.00

Veterinary Name Tender Touch Veterinary Care

OWNER SIGNATURE: [Signature]

BY THE UNDERSIGNED, THE REQUIRED FEE OF \$ \_\_\_\_\_ HAS BEEN RECEIVED FOR THIS 20\_\_ DOG  
LICENSE ISSUED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ ( ) \$10.00 LATE FEE PAID.

LICENSING OFFICIAL \_\_\_\_\_

**RETURN TO LICENSING OFFICIAL**

Please fill out, and sign if applicable.

Due to the disposition checked below, a 20\_\_ dog license is not required by listed owner, for  
the dog described below, because: ( ) Died or Killed ( ) Sold or given to:

Name \_\_\_\_\_ Phone \_\_\_\_\_  
Last First

Address \_\_\_\_\_

Name of Dog \_\_\_\_\_ Color \_\_\_\_\_ Breed \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

Penalties, fees and court costs may be imposed by Governing Agencies for violation of dog  
licensing laws. Current rabies information must be submitted before a dog license can be  
issued. A \$10 late fee shall be collected (when applicable) from owners of dogs not licensed  
by April 1<sup>st</sup> of each year. Make checks payable to the Village of Jackson and mail to: Village  
of Jackson, P.O. Box 637, Jackson, WI 53037

**APPLICATION FOR DOG LICENSE**

VILLAGE OF JACKSON Dog License No. 7917 Date 9/2/2016  
Leave blank

Name-Owner/Keeper  
Of Dog Nelson Russ Phone 262-470-7339  
Last First

Address W193 N16043 Stonehedge Dr.

Name of Dog Aria Color tan Breed Black Mouth Cur mix

RABIES TAG NO. 16260  Male \$15.00  Female \$15.00

EXP. DATE 6/6/2017  Neutered \$10.00  Spayed \$10.00

Veterinary Name Tender Touch Veterinary Care

OWNER SIGNATURE:

BY THE UNDERSIGNED, THE REQUIRED FEE OF \$ 10 HAS BEEN RECEIVED FOR THIS 16 DOG  
LICENSE ISSUED ON THE 2 DAY OF Sept, 2016 ( ) \$10.00 LATE FEE PAID.

LICENSING OFFICIAL  CK# 64

**RETURN TO LICENSING OFFICIAL**

Please fill out, and sign if applicable.

Due to the disposition checked below, a 20\_\_ dog license is not required by listed owner, for the dog described below, because: ( ) Died or Killed ( ) Sold or given to:

Name \_\_\_\_\_ Phone \_\_\_\_\_  
Last First

Address \_\_\_\_\_

Name of Dog \_\_\_\_\_ Color \_\_\_\_\_ Breed \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

Penalties, fees and court costs may be imposed by Governing Agencies for violation of dog licensing laws. Current rabies information must be submitted before a dog license can be issued. A \$10 late fee shall be collected (when applicable) from owners of dogs not licensed by April 1<sup>st</sup> of each year. Make checks payable to the Village of Jackson and mail to: Village of Jackson, P.O. Box 637, Jackson, WI 53037

# Tender Touch Veterinary Care

## Patient Chart

1010 Corporate Dr.  
Slinger, WI 53086  
262-297-1774

Printed: 09-02-16 at 2:29p

### CLIENT INFORMATION

**Name** Kate Nelson (2720)  
**Address** W193N16047 Stonehedge Dr.  
Jackson, WI 53037  
**Spouse** Russ Nelson  
**Balance** 0.00

### PATIENT INFORMATION

**Name** Bear (4235)  
**Sex** Male, Neutered  
**Birthday** 02-26-15  
**ID**  
**Color** Tri Color  
**Reminded** 08-29-16  
**Species** Canine  
**Breed** Border Collie Mix  
**Age** 18m  
**Rabies** 16256  
**Weight** 55.40 lbs  
**Codes**

### Reminders for: Bear

		Last done
06-02-19	Canine Rabies Vaccination	06-02-16
06-02-19	Canine DA2LPP	06-02-16
08-23-17	Canine Bordetella Injection	08-23-16
06-02-17	Leptospirosis Vaccination	
06-02-17	Lyme Disease Vaccination	06-02-16
06-02-17	Annual Physical Examination	
06-02-17	blood for being on fluoxetine	
01-03-17	Heartworm, antigen canine ante	01-04-16
09-11-16	Fecal Examination, Centrifuged	

### MEDICAL HISTORY

Date	By	Code	Description	Qty (Variance)
08-23-16 ID:	SF Serial: A406840B	BORDI EXAMV	Canine Bordetella Injection Expires: 5/31/17 Type: CAE Mfg: PFIZE Admin: Scap Exam with vaccinations	
08-18-16	SF	NEXL	Nexgard Large 24-60 pounds (33.00)	2
07-18-16	SF	NEXL	Nexgard Large 24-60 pounds (16.50)	
06-03-16	SF	FNOTE\$	By: BD, ANP 15 - Chem 15 + CBC	
06-02-16 ID:	SF Serial: 42208	BORDETE ANP15 417	DECLINED: Canine Bordetella Vaccination ANP 15 - Chem 15 + CBC Lyme Disease Vaccination Annual Expires: 6/18/17 Type: REC Mfg: MERIA Admin: Scap	
ID: 16256	Serial: 18284	408	Canine Rabies Vaccination-3 year, #16256 Expires: 2-14-17 Type: KIL Mfg: MERIA Admin: Rhip	
ID:	Serial: 140713	406A EXAMV PROZAC	Canine DH2LPP Exam with vaccinations fluoxetine 20 mg Expires: 4-11-17 Type: ML Mfg: PFIZE Admin: Scap	100

Date	By	Code	Description	Qty (Variance)
05-18-16	SF	220	Examination/Consultation, Rabies	
05-16-16	SF	220	Examination/Consultation, Rabies	
05-09-16	SF	220	Examination/Consultation, Rabies	
04-16-16	SF	NEXL	Nexgard Large 24-60 pounds (49.50)	3
03-11-16	SF	PROZAC	fluoxetine 20 mg	100
01-05-16	SF	FNOTE\$	By: BD, ANP 15 - Chem 15 + CBC	
01-04-16	SF	ANP15 HWT	ANP 15 - Chem 15 + CBC Heartworm Test- to lab	
<b>ID:</b>	<b>Serial:</b>	EXAM	<b>Expires:</b> Exam/ office call	<b>Type:</b> <b>Mfg:</b> <b>Admin:</b>
12-16-15	SF	NEXL	Nexgard Large 24-60 pounds	2
11-16-15	SF	NEXL HG+LG	Nexgard Large 24-60 pounds Heartgard plus K9 51-100 lbs	12
10-09-15	SF	U/A	Urinalysis- here	
10-05-15	SF	438	LEPTOspirois Vaccination- 4 serovars	
<b>ID:</b>	<b>Serial: A516093B</b>	418B	<b>Expires:</b> 8-2-16 2nd Lyme Vaccination	<b>Type:</b> ML <b>Mfg:</b> PFIZ <b>Admin:</b> Scap
<b>ID:</b>	<b>Serial: 42207</b>	EXAMV HG+M NEXL	<b>Expires:</b> 04/28/17 Exam with vaccinations Heartgard Plus 26-50 pounds Nexgard Large 24-60 pounds	<b>Type:</b> REC <b>Mfg:</b> MERIA <b>Admin:</b> Scap
09-12-15	SF	BORDETE	Canine Bordetella Vaccination nasal	
<b>ID:</b>	<b>Serial: 04080098B</b>	418	<b>Expires:</b> 24/02/17 First- Lyme Disease Vaccination	<b>Type:</b> REC <b>Mfg:</b> NOBIV <b>Admin:</b> Nasa
<b>ID:</b>	<b>Serial:</b>	438	<b>Expires:</b> LEPTOspirois Vaccination- 4 serovars	<b>Type:</b> <b>Mfg:</b> <b>Admin:</b>
<b>ID:</b>	<b>Serial: A516093B</b>	436	<b>Expires:</b> 8-2-16 Canine Rabies- First, 1 year, #150431	<b>Type:</b> ML <b>Mfg:</b> PFIZ <b>Admin:</b> Scap
<b>ID: 150431</b>	<b>Serial: 18265</b>	EXAMV HG+M COUP NEXL	<b>Expires:</b> 9/26/16 Exam with vaccinations Heartgard Plus 26-50 pounds Coupon-free nexgard Nexgard Large 24-60 pounds	<b>Type:</b> KIL <b>Mfg:</b> MERIA <b>Admin:</b> Rhip

# Tender Touch Veterinary Care

## Patient Chart

1010 Corporate Dr.  
Slinger, WI 53086  
262-297-1774

Printed: 09-02-16 at 4:12p

### CLIENT INFORMATION

**Name** Kate Nelson (2720)  
**Address** W193N16047 Stonehedge Dr.  
Jackson, WI 53037  
**Spouse** Russ Nelson

### PATIENT INFORMATION

**Name** Aria (4447)  
**Sex** Female, Spayed  
**Species** Canine  
**Birthday** 02-12-16  
**Breed** Shepherd, German Mix  
**ID**  
**Age** 6m  
**Color** Brown and Tan  
**Rabies** 16260  
**Reminded** 05-31-16  
**Weight** 39.00 lbs  
**Codes**

### Reminders for: Aria

		Last done
06-14-17	Annual Physical Examination	
06-06-17	Canine Rabies Vaccination	
06-06-17	Canine DA2LPP	
05-23-17	Lyme Disease Vaccination	
05-03-17	Fecal Examination, Centrifuged	05-03-16
05-03-17	Canine Bordetella Vaccination	05-03-16
11-03-16	Heartworm, antigen canine ante	

### MEDICAL HISTORY

Date	By	Code	Description	Qty (Variance)			
08-18-16	SF	HG+M NEXL	Heartgard Plus 26-50 pounds Nexgard Large 24-60 pounds (33.00)	2 2			
06-06-16	SF	HG+M NEXL 403	Heartgard Plus 26-50 pounds (14.30) Nexgard Large 24-60 pounds (33.00) Canine DH2LPP 15-20 Weeks	2 2			
<b>ID:</b>	<b>Serial:</b> 140713	436	<b>Expires:</b> 4-11-17 <b>Type:</b> ML Canine Rabies- First, 1 year, #16260		<b>Mfg:</b> PFIZE	<b>Admin:</b> Scap	
<b>ID:</b> 16260	<b>Serial:</b> 18284	EXAMV	<b>Expires:</b> 2-14-17 <b>Type:</b> KIL Exam with vaccinations		<b>Mfg:</b> MERIA	<b>Admin:</b> Rhip	
06-02-16	SF	HG+S NEXL	Heartgard Plus 0-25 lbs Nexgard Large 24-60 pounds (16.50)				
05-26-16	SF	PYRANT	Pyrantel Pamoate 50mg/ml 16 oz	2.25			
05-23-16	SF	HG+S 418B	Heartgard Plus 0-25 lbs 2nd Lyme Vaccination				
<b>ID:</b>	<b>Serial:</b> 42208	EXAMV	<b>Expires:</b> 6/18/17 <b>Type:</b> REC Exam with vaccinations		<b>Mfg:</b> MERIA	<b>Admin:</b> Scap	
05-03-16	SF	PYRANT	Pyrantel Pamoate 50mg/ml 16 oz	2.25			

**Patient Chart for Aria**  
 Date: 09-02-16, Time: 4:12p

Client: Kate Nelson  
 Page: 2

Date	By	Code	Description	Qty (Variance)
05-03-16	SF	COUP NEXM 418	Coupon Nexgard 10-24 pounds Medium First- Lyme Disease Vaccination	
<b>ID:</b>	<b>Serial:</b>		<b>Expires:</b>	<b>Type:</b>
<b>ID:</b>	<b>Serial: 02001106B</b>	BORDETE	Canine Bordetella Vaccination nasal <b>Expires: 12-15-18</b>	<b>Type: REC</b>
<b>ID:</b>	<b>Serial: 121529</b>	EXAMV 402	Exam with vaccinations Canine DHLPP 11-15 Weeks <b>Expires: 4-11-17</b>	<b>Type: ML</b>
		FECAL	Fecal Examination-Centrifuged	<b>Mfg: NOBIV</b> <b>Admin: Nasa</b>
				<b>Mfg: PFIZE</b> <b>Admin: Scap</b>

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
 (Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)

262 677 9001

Name of Applicant Holly Piotrowski  
 Contact 414 531 7438 C# Address/ZIP N170 W 199th Willow St. Dept. Jackson 53037 Phone # 414 531 7438 C#  
 E-mail Address hollybothp.06@hotmail.com Fax # where Agenda/Staff comments are to be faxed \_\_\_\_\_  
 Name of Owner Stacey & Holly Piotrowski Address/ZIP same as above Phone# 262 305 3289 C# Steve  
 Owner Representative/Developer \_\_\_\_\_  
 Proposed Use of Site \_\_\_\_\_ Present Zoning residential

ACTION REQUESTED	FEE	SUBMITTAL REQUIREMENTS	TYPE OF INFORMATION DESCRIBED (See page 5)	PAPER COPIES	CD
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages) 2) Describe what you intend to do (paragraph)		XXX XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500 / 200) * 4) Owner acknowledgement of the request	Labels* 1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement 6) Location Map		XXX XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan 8) Preliminary Plat		XXX XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat 10) Certified survey Map		XXX XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition 12) Annexation Map	1	XXX XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan 14) Landscape Plan	4 (24x36)	XXX XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	<u>Engineering Review - Infrastructure</u>		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan 16) Water / Sewer / Storm Sewer Plans	4 (24x36) 4 (24x36)	XXX XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections 18) Erosion Control Plan	4 (24x36) 4 (24x36)	XXX XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials 20) Developers Agreement		XXX XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements) 22) other -		XXX XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Holly B Piotrowski Signature Holly B Piotrowski Date 08-23-2016

Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

09 02 2016

I am requesting a conditional use permit to grant us permission to have a 3rd dog at our residence permanently as long as we meet all requirements.

Sincerely  
Holly Pietrowski

Kevin Blatner  
N170W19960 Willow Ridge  
Jackson WI 53007

Ann Marie Heminger  
N170W19960 Willow Ridge  
Jackson WI 53007

Beth & Mary Sue Kuehls  
N170W1997A Willow Ridge  
Jackson WI 53007

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development    Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a  Special Use  Conditional Use  Planned Unit Development

Permit to:

Name of Business/Applicant: \_\_\_\_\_

For a property located at (address): N170 W 199<sup>th</sup> W. Hwy Bridge Dr.

Phone number of Business/Applicant: H# 262 677 9776 & C# 414 531 7438

For (land use, activity, sign, site plan, other): 3rd dog to live @ home

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): \_\_\_\_\_

Hours of Operation: N/A

Comprehensive/Master Plan Compatibility: \_\_\_\_\_

Building Materials (type, color): \_\_\_\_\_

Setbacks from rights-of-way and property lines: \_\_\_\_\_

Screening/Buffering: \_\_\_\_\_

Landscape Plan (sizes, species, location): \_\_\_\_\_

Signage (dimensions, colors, lighting, location): \_\_\_\_\_

Lighting (wattage, style, pole location and height, coverage): \_\_\_\_\_

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), sidewalk/pedestrian way width and material): \_\_\_\_\_

**Storm-water Management:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Erosion Control:** \_\_\_\_\_

**Fire Hydrant Location(s):** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s:** \_\_\_\_\_  
\_\_\_\_\_

**Hazardous Material Storage:** \_\_\_\_\_

**Alarm Systems:** \_\_\_\_\_

**Site Features/Constraints:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Parking (no. of spaces, handicapped parking, and dimensions):** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Tree and shrub preservation:** \_\_\_\_\_  
\_\_\_\_\_

**Setbacks/height limitations:** \_\_\_\_\_  
\_\_\_\_\_

**Wastewater Usage Projected:** \_\_\_\_\_ gal/year      **Water Usage Projected:** \_\_\_\_\_ gal/year

**Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):**  
\_\_\_\_\_  
\_\_\_\_\_

## TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_

Over the Counter \_\_\_\_\_ Date \_\_\_\_\_

  
\_\_\_\_\_  
Holly B Piotrowski, Owner  
Please print name

\_\_\_\_\_  
John Walther, Administrator

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

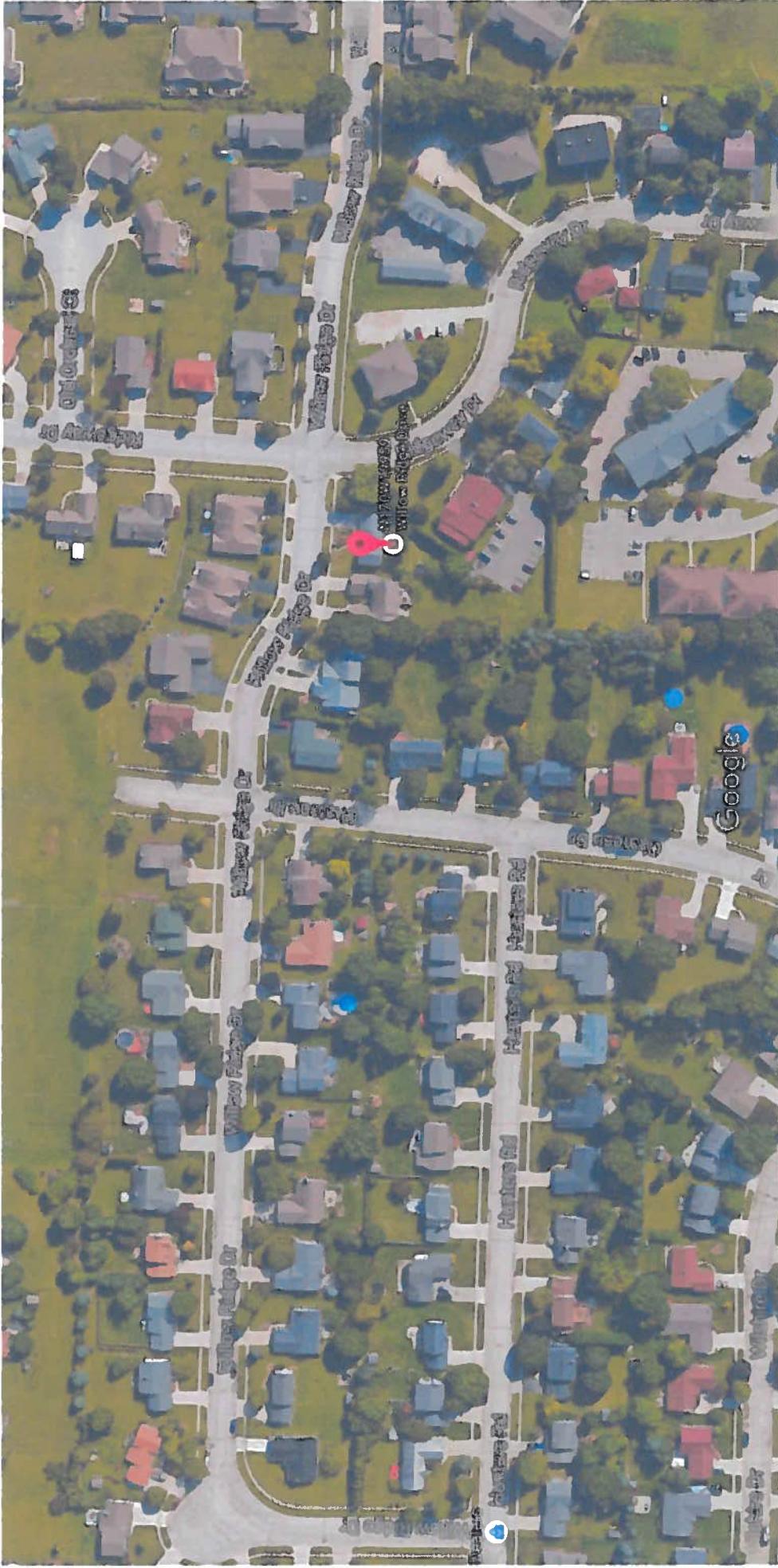
**EXPLANATION OF TYPES OF INFORMATION (From face of application form):**

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1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
  - A. Annual water consumption estimate (100% occupancy and build-out)
  - B. Annual sewage generation estimate (100% occupancy and build-out)
  - C. Vehicle trip generation (trips per day per unit x number of units)
  - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
  - E. Proposed sign(s) (advertising business, industry, dwelling unit)
  - F. General hours of operation
  - G. Anticipated user profiles (for residential developments)
  - H. Proposed dates of construction and completion
  - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**

# Google Maps N170W19959 Willow Ridge Dr



Imagery ©2016 Google, Map data ©2016 Google 100 ft

9/2/2016

N170W19869 Willow Ridge Dr - Google Maps



**Home**

**N170W19959 Willow Ridge Dr  
Jackson, WI 53037**



**VILLAGE OF JACKSON**

N168W20733 MAIN ST.  
P O BOX 637  
JACKSON, WI 53037-0147

**Receipt Nbr:** 179497  
**Date:** 9/02/2016

**RECEIVED FROM** PIOTROWSKI

**\$150.00**

<u>Type of Payment</u>	<u>Description</u>	<u>Amount</u>
Accounting	PLANNING / ZONING FEES	150.00
	CONDITIONAL USE / PIOTROWSKI	
<b>Grand Total</b>		<b>150.00</b>

**Receipt Memo:** CONDITIONAL USE / CK #9156

**DRAFT MINUTES**  
**Village Board Meeting**  
**Tuesday, September 13, 2016, at 7:30 p.m.**  
**Jackson Village Hall**  
**N168W20733 Main Street**  
**Jackson, WI 53037**

**1. Call to Order and Roll Call.**

President Michael Schwab called the meeting to order at 7:30 p.m.

Members Present: Trustees Kruepke, Kufahl, Emmrich, and Kurtz.

Member Excused: Trustees Lippold and Olson

Staff present: John Walther, Brian Kober, Fire Chief Swaney, Jim Micech, Kelly Valentino.

**2. Pledge of Allegiance.**

President Schwab led the assembly in the Pledge of Allegiance.

Motion by Pres. Schwab, second by Tr. Kufahl to move item number 10 up on the agenda to follow item number 4. Vote: 5 ayes, 0 nays. Motion carried.

**3. Any Village Citizen Comment on an Agenda Item.**

President Schwab stated the rules for Public Comment and to keep comments to approximately two minutes.

Clifford Zych of Kami Lane commented on his concern of the Twin Bridges area not informed of the Sherman Road project proposed and the infrastructures of the project.

Dirk Wildt commented that he is a developer in the area. He was concerned of the high-end condos and would like more information on the Sherman Road Project.

Joe Merkel commented with the size of the buildings and description of the building.

Jane Kadow of Twin Bridges spoke against the Sherman Road Concept Plan.

**4. Public Hearing: Resolution #16-19 Authorizing the Levy of Special Assessments against Benefited Property Associated with the Wilshire Drive Reconstruction Project**

Pres. Schwab opened the Public Hearing with the same rules to keep comment to approximately two minutes.

Scott Kurtz of Wilshire Drive commented that he did not benefit from the project as he suffered property damage. His driveway sunk over one inch when the encroachment was pulled out. This should have been temporarily back filled. His slab cracked and tipped. The finish on the concrete is terrible. The tree did not push the slab up.

Mike Hansen commented that he lives on Chateau Drive and this is the worst concrete job he has seen. He is happy with the road and questioned the amount for the sidewalk.

Darrell Wobig questioned how the final price was arrived at.

Brandon Barnett commented on his sump pump and settling in the winter. The grass planted between road and sidewalk is very weedy. He also questioned when the street light will be installed.

John Wahlgren questioned the estimate and the difference in the preliminary amounts.

Pres. Schwab closed the Public Hearing. The Board of Public Works recommended approval of the resolution. The motion to recommend the resolution failed at the Budget and Finance Committee meeting.

Brian Kober commented that the concrete is under a one year warranty. Brian Kober questioned what part of the concrete the person saw as he thought it was a good finish on the concrete.

Tr. Emmrich questioned the lip of the concrete for the Kurtz property. There were pictures on the laptops showing the concrete prior to the project and after of the concrete.

The preliminary estimates and final numbers difference was due to the sump pump laterals that were verified during the project. The estimate of footage was different than the final due to the lengths and number of laterals varying.

Tr. Kufahl commented on the communication of the project status such as the village website, email blasts and the facebook. Brian commented that the communication is a two way street but will try different aspects of communication.

Motion by Tr. Kruepke, second by Tr. Kufahl to approve Resolution #16-19 Authorizing the Levy of Special Assessments against Benefited Property Associated with the Wilshire Drive Reconstruction Project. Vote: 4 ayes, 0 nays, 1 abstain (Tr. Kurtz). Motion carried.

#### **10. Appeal of Vicious Dog Determination – Megan Stevens.**

Chief Dolnick gave background to the item. Chief Dolnick commented that in May, the dog Molly jumped through a screen and attacked a dog. The bite did not break the skin or cause injury. There was a citation issued for an unlicensed dog on June 8<sup>th</sup>. Then on September 1<sup>st</sup>, Molly got out again and attacked another dog, shaking the dog and causing injury. Another citation was issued for an unlicensed dog and a dog at large.

Chief Dolnick commented that he had to follow through with the vicious dog determination according to the Village Code. It is further complicated because Megan Stevens lives in a multi-family dwelling and according to the ordinance she cannot keep a vicious dog in a multi-family dwelling. Megan has licensed both dogs.

Megan Stevens commented that there was not an injury to the dog on May 20<sup>th</sup> and Megan did pay for the vet bill. On September 1<sup>st</sup> the kids let the dog out. The dog has been around other dogs and kids and has not had problems. She commented that kids do come over and play. There have not been prior issues. She has four small children. They have a kennel and muzzle and she is willing to get the dog spayed. Megan commented that the dog went into heat immediately following the May 20<sup>th</sup> incident.

Megan commented that Molly is a lab mix and Monster is a pit. Tr. Emmrich commented that he has three dogs legally and loves dogs. The dog is not bad; it is the owner. He commented concern of the dog being unprovoked and attacking a child. Megan commented that the dog has not been aggressive toward her children or other children. It is the owner's responsibility to make sure the dog does not get out.

Motion by Pres. Schwab, second by Tr. Kruepke to deny the appeal of the vicious dog determination for Megan Stevens.

Vote: 5 ayes, 0 nays. Motion carried.

Megan commented that the dog will live with her Mom in West Allis. After the dog is with her Mom, Megan will sign a notarized form and take it to the Police Department. Megan was informed that Village Hall Staff and the Police Department Secretary are notaries and can notarize her signature at no charge.

**5. Consent Agenda:**

- Approval of Minutes for the Village Board Meetings of August 9, 2016.
- Licenses.  
Operator Licenses:  
The Village Mart: Deborah Schooley, Lucretia Choice  
Latest Edition: Patricia Vogel, Suzanne Rose  
Main Street: Bryan Chuebeyang  
Jackson Pub: Carly Kemmeter

Motion by Pres. Schwab, second by Tr. Kufahl to approve the Consent Agenda items of the Village Board Minutes of August 9, 2016, and the Operators' Licenses.

Vote: 4 ayes, 0 nays, 1 abstain (Tr. Kruepke). Motion carried.

**6. Budget & Finance Committee.**

**Bids for Industrial Drive Sidewalk Project.**

The Board of Public Works and Budget and Finance recommended the Village Board Approve the T.P. Concrete bid in an amount not to exceed \$46,885.50.

Motion by Tr. Kufahl, second by Tr. Kurtz to recommend approval of the T.P. Concrete bid in an amount not to exceed \$46,885.50. Brian Kober commented that the project will start beginning of October with a completion date of mid-October.

Vote: 5 ayes, 0 nays. Motion carried.

**Resolution #16-18 Setting the Preliminary Assessment Area Industrial Drive Sidewalk Project.**

The Board of Public Works and Budget and Finance recommended the approval of Resolution 16-18 Setting the Preliminary Assessment Area Industrial Drive Sidewalk Project. Motion by Pres. Schwab, second by Tr. Kufahl to recommend approval of approval of Resolution 16-18 Setting the Preliminary Assessment Area Industrial Drive Sidewalk Project. Brian will mail information to property owners.

Vote: 5 ayes, 0 nays. Motion carried.

**Final Pay Request – Jackson Drive Reconstruction Project.**

The Board of Public Works and Budget and Finance recommended approval of the final pay request for the Jackson Drive Sidewalk Project in an amount not to exceed \$4,794.45. They did give a two year guarantee on the sidewalk. The landscaping has been completed.

Motion by Pres. Schwab, second by Tr. Kufahl to recommend approval of the final pay request for the Jackson Drive Sidewalk Project in an amount not to exceed \$4,794.45.

Vote: 5 ayes, 0 nays. Motion carried.

**Pay Request #4 – Wilshire Drive Reconstruction Project.**

The Board of Public Works recommended approval of Pay Request #4 – Wilshire Drive Reconstruction Project in an amount not to exceed \$16,288.90. The item failed for a lack of a second at Budget and Finance.

Motion by Tr. Emmrich to withhold the pay request until the issues brought up are addressed. Second by Tr. Kufahl for the purposes of discussion.

Discussion of withholding the pay request ensued. Tr. Kufahl questioned if the \$5,000 would be held if the pay request was approved. Brian Kober commented to approve and withhold until the landscaping is done. \$5,000 is being withheld.

Pres. Schwab commented concern that \$5,000 is not enough retainage.

Pres. Schwab called the question to withhold / deny the pay request.

Vote: 4 ayes, 0 nays, 1 abstain (Tr. Kurtz). Motion carried.

The item will return to the October meeting.

**Renewal of Assessor Contract – Grota Appraisals, LLC.**

The Renewal of the Assessor Contract with Grota Appraisals LLC was recommended b for approval by the Budget and Finance Committee. Motion by Pres. Schwab, second by Tr. Kruepke to approve the Renewal of Assessor Contract – Grota Appraisals, LLC.

Vote: 5 ayes, 0 nays. Motion carried.

**7. Plan Commission.**

Concept Plan – Condo Style Apartment Development – Sherman Road.

Motion by Pres. Schwab, second by Tr. Kruepke to approve the Concept Plan – Condo Style Apartment Development – Sherman Road.

This is a concept plan review. Joe Merkel commented that the target monthly rental is \$1,225 per month. Joe believes there is a demand for the apartments with this type of rent based on a feasibility report.

Vote: 5 ayes, 0 nays. Motion carried.

**8. Board of Public Works.**

Space needs Analysis – Cedar Corp.

Cory Scheidler and Ron Dalton of Cedar Corp gave a summary of the findings. They commented that the Police Department is functionally undersized and obsolete. The Fire Department is functionally undersized and obsolete. More space is required. Discussion of possible sites for a public safety building ensued.

Motion by Tr. Kufahl, second by Tr. Kruepke to accept the study & continue the process.

Vote: 5 ayes, 0 nays. Motion carried.

**9. Thirteenth-Amended Agreement for the Operation of the Mid-Moraine Municipal Court. (§66.0301, Wisconsin Statutes)**

Motion by Tr. Emmrich, second by Tr. Kurtz to approve the Thirteenth-Amended Agreement for the Operation of the Mid-Moraine Municipal Court. This will give John Walther the authority to sign the documents.

Vote: 5 ayes, 0 nays. Motion carried.

**10. Appeal of Vicious Dog Determination – Megan Stevens. – Moved up on agenda.**

**11. Departmental Reports.**

Brian Kober reported that Bill Waech won the State Wide Snow Plow Rodeo. Bill exceeded at the written test, the truck inspection, and the driving course. Brian displayed the plaques.

**12. Budget Meeting Dates with Possible Direction.**

- September 21, 2016, Joint Park & Recreation Commission – Director of Parks and Recreation Presentation of 2017 Budget, (to be held at the Community Center)
- September 29, 2016, Board of Public Works – Director of Public Works Presentation and Building Inspector Presentation of 2017 Budgets. This will follow the Plan Commission Meeting. Discussion of budget workshop dates ensued. John will email to the board members for possible dates.

The Town has called a “Public Hearing” for September 27, 2016.

**13. Washington County Board Report.**

No Report.

**14. West Bend School District Liaison Report.**

Pres. Schwab commented that the School District website shows that the Jackson School Fund to be over \$3 Million.

**15. Greater Jackson Business Alliance Report.**

No Report.

**16. Mid-Moraine Legislative Committee/Mid-Moraine Municipal Report.**

Administrator Walther reported that the Mid-Moraine Legislative Committee will meet tomorrow night at the Village Hall. The Mid-Moraine Municipal Committee will meet on October 26<sup>th</sup> in Hartford. Pres. Schwab commented that on May 27, 2017, the Village will host the Mid-Moraine Dinner.

**17. Citizens to Address the Village Board.**

Casey Latz commented in support of the board action in regards to the vicious dog items.

Bob Seidel commented that the upcoming Public Hearing, perspective that the confidentiality is moved to a public process with the passing of the resolution and may not be confidential.

**18. Convene into closed session pursuant to Wis. Stats. § 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved; in matters relating to Jackson Properties, LLC, Patriot Homes, LLC, and the Village-Town Revenue Sharing Agreement and Cooperative Boundary Plan.**

Motion by Pres. Schwab second by Tr. Kufahl to convene into closed session at 9:17 p.m. and to include the Village Board, John Walther, Brian Kober, Deanna Boldrey, and Dave Wagner.  
Roll Call Vote: 6 ayes, 0 nays. Motion carried.

**Reconvene into Open Session with Possible Action on closed session items.**

The Board Reconvened into Open Session at 9:52 p.m.

**19. Adjourn.**

Motion by Tr. Kufahl, second by Tr. Kruepke to adjourn.  
Vote: 6 ayes, 0 nays. Motion carried. Meeting was adjourned at 9:52 p.m.

Respectfully submitted by Brian W. Kober, P.E., Director of Public Works

**Draft Minutes  
Special Village Board Meeting  
Thursday, September 29, 2016, at 9:04 p.m.  
Jackson Village Hall  
N168W20733 Main Street  
Jackson, WI 53037**

**1. Call to Order and Roll Call.**

President Michael Schwab called the meeting to order at 9:04 p.m.

Members Present: Trustees Lippold, Olson, Kruepke, Kufahl, Emmrich, and Kurtz.

Staff present: John Walther, Brian Kober, Deanna Boldrey

**2. Convene into closed session pursuant to Wis. Stats. § 19.85(1)(e) Deliberating or negotiating the purchasing of public properties, investing of public funds, or conducting other specified business, whenever competitive or bargaining reasons require a closed session.**

Motion by Pres. Schwab, second by Tr. Kufahl, to convene into closed session at 9:04 p.m. and to include the Village Board, John Walther, Brian Kober, and Deanna Boldrey.

Roll Call Vote: 7 ayes, 0 nays. Motion carried.

The Board Reconvened into Open Session at 9:05 p.m.

**3. Adjourn.**

Motion by Tr. Emmrich, second by Tr. Kurtz to adjourn at 9:30 p.m.

Vote: 7 ayes, 0 nays. Motion carried.

Respectfully submitted by Deanna L. Boldrey, Clerk/Treasurer

**NAME**

**POLICE CHIEF**  
**RECOMMENDATION**

Operator's License Application:

Delilah Schieble	Village Mart	Approval
Brandi Rasmussen	East Side Mart	Approval
Kevin Hartwig	East Side Mart	Approval
Toriano McAfee	Main Street Mart	Approval
Kathleen Brown	Walgreens	Approval
Dana Kelsey	Walgreens	Approval
Danielle Cyrak	Latest Edition	Approval



93 South Pioneer Road, Suite 300 • Fond du Lac, WI 54935 • (920) 924-5720

September 7, 2016

Village of Jackson  
N168 W20733 Main Street  
Jackson, WI 53037

Attention: Brian Kober, P.E.  
Director of Public Works

Subject: Project I.D. 151021  
Wilshire Drive  
Utility Construction Project  
Estimate #4

Dear Mr. Kober:

Enclosed you will find Pay Estimate #4 for the Wilshire Drive project in the Village of Jackson. The total amount, due to the contractor, has not been reduced by five percent (5%) for retainage due to the fact that the work is beyond 50% completion. This is per Article 6.02.A.1 Progress Payments; Retainage, of Contract Document 00500, Agreement. All previously retained money shall be paid to the contractor minus \$5,000. This is per Article 6.02.A.2 Progress Payments; Retainage, of Contract Document 00500, Agreement. The remainder of retained money will be paid upon final acceptance of all contract work. This is per Article 6.03.A Final Payment, of Contract Document 00500, Agreement.

Work completed, Estimate # 4	= \$5,904.81
Retainage Due, Estimate #4	= \$10,384.09
Retainage Remaining, Estimate #4	= \$5,000
Amount due to Contractor, Estimate #4	= \$16,288.90

If you have any questions or comments, please contact me at (920) 924-5720 or cell (414) 397-8100.

Sincerely,

Kevin Schmidt  
Gremmer & Associates, Inc.

**Gremmer and Associates, Inc.**

93 S. Pioneer Road, Suite 300  
Fond du Lac, WI 54935  
(920) 924-5720  
fax (920)924-5725

**Buteyn-Peterson - Prime Contractor**

**Village of Jackson - Wilshire Drive**

Item No.	Description	Units	TOTAL	Unit Price	Bid Total	Previous Estimates		Estimate #4		Cumulative Totals		% Complete
						Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	
100.01	Removing Concrete	SY	1885	\$3.47	\$6,540.95	1,903.90	\$6,606.53		\$0.00	1,903.90	\$6,606.53	101%
100.02	Removing Curb & Gutter	LF	2595	\$2.75	\$7,136.25	2,618.00	\$7,199.50		\$0.00	2,618.00	\$7,199.50	101%
100.03	Excavation Common	CY	2535	\$13.00	\$32,955.00	2,596.50	\$33,754.50		\$0.00	2,596.50	\$33,754.50	102%
100.04	Base Aggregate Dense 3/4-Inch	TON	830	\$17.43	\$14,466.90	819.04	\$14,275.87		\$0.00	819.04	\$14,275.87	99%
100.05	Base Aggregate Dense 1 1/4-Inch	TON	3400	\$10.60	\$36,040.00	3,197.03	\$33,888.52	90.26	\$956.76	3,287.29	\$34,845.27	97%
100.06	Breaker Run	TON	100	\$9.23	\$923.00	104.68	\$966.20		\$0.00	104.68	\$966.20	105%
100.07	Concrete Driveway 7-Inch	SY	1310	\$43.00	\$56,330.00	1,267.00	\$54,481.00		\$0.00	1,267.00	\$54,481.00	97%
100.08	HMA Pavement, Type E-0.3	TON	1520	\$49.20	\$74,784.00	1,318.39	\$64,864.79		\$0.00	1,318.39	\$64,864.79	87%
100.09	Asphaltic Surface Driveway	TON	10	\$84.50	\$845.00	19.00	\$1,605.50		\$0.00	19.00	\$1,605.50	190%
100.10	Concrete Curb & Gutter 30-Inch Type D	LF	2600	\$11.30	\$29,380.00	2,654.00	\$29,990.20		\$0.00	2,654.00	\$29,990.20	102%
100.11	Concrete Sidewalk 4-Inch	SF	10300	\$3.51	\$36,153.00	10,477.00	\$36,774.27		\$0.00	10,477.00	\$36,774.27	102%
100.12	Lawn Restoration	SY	4150	\$5.25	\$21,787.50	3,066.90	\$16,101.23	16.20	\$85.05	3,083.10	\$16,186.28	74%
100.13	Erosion Control	LS	1	\$2,300.00	\$2,300.00	1.00	\$2,300.00		\$0.00	1.00	\$2,300.00	100%
100.14	Traffic Control	LS	1	\$1,800.00	\$1,800.00	0.90	\$1,620.00	0.10	\$180.00	1.00	\$1,800.00	100%
100.15	Sawing Asphalt	LF	365	\$2.00	\$730.00	326.50	\$653.00		\$0.00	326.50	\$653.00	89%
100.16	Sawing Concrete	LF	480	\$3.00	\$1,440.00	381.00	\$1,143.00		\$0.00	381.00	\$1,143.00	79%
200.01	Removing Manholes	EACH	5	\$350.00	\$1,750.00	5.00	\$1,750.00		\$0.00	5.00	\$1,750.00	100%
200.02	Removing Inlets	EACH	8	\$200.00	\$1,600.00	8.00	\$1,600.00		\$0.00	8.00	\$1,600.00	100%
200.03	Removing Storm Sewer	LF	1150	\$5.00	\$5,750.00	1,105.00	\$5,525.00		\$0.00	1,105.00	\$5,525.00	96%
200.04	Storm Sewer Pipe PVC SDR-35 4-Inch	LF	1671	\$18.00	\$30,078.00	1,693.00	\$30,474.00		\$0.00	1,693.00	\$30,474.00	101%
200.05	Storm Sewer Pipe Reinforced Concrete 12-Inch	LF	167	\$60.00	\$10,020.00	167.00	\$10,020.00		\$0.00	167.00	\$10,020.00	100%
200.06	Storm Sewer Pipe Reinforced Concrete 15-Inch	LF	812	\$54.50	\$44,254.00	803.50	\$43,790.75		\$0.00	803.50	\$43,790.75	99%
200.07	Storm Sewer Pipe Reinforced Concrete 18-Inch	LF	54	\$70.50	\$3,807.00	54.00	\$3,807.00		\$0.00	54.00	\$3,807.00	100%
200.08	Storm Sewer Pipe Reinforced Concrete 24-Inch	LF	434	\$66.50	\$28,861.00	486.00	\$32,319.00		\$0.00	486.00	\$32,319.00	112%
200.09	Catch Basins 2.5x3-FT w/ Casting	EACH	7	\$1,157.00	\$8,099.00	7.00	\$8,099.00		\$0.00	7.00	\$8,099.00	100%
200.10	Manholes 4-FT Diameter w/ Casting	EACH	6	\$823.00	\$4,938.00	6.00	\$4,938.00		\$0.00	6.00	\$4,938.00	100%
200.11	Manholes 5-FT Diameter w/ Casting	EACH	3	\$1,220.00	\$3,660.00	3.00	\$3,660.00		\$0.00	3.00	\$3,660.00	100%
200.12	Manholes 6-FT Diameter Doghouse w/ Casting "	EACH	1	\$1,789.00	\$1,789.00	1.00	\$1,789.00		\$0.00	1.00	\$1,789.00	100%
200.13	Inlets 2.5x3-FT w/ Casting	EACH	3	\$1,058.00	\$3,174.00	3.00	\$3,174.00		\$0.00	3.00	\$3,174.00	100%
200.14	Concrete Collar	EACH	3	\$500.00	\$1,500.00		\$0.00		\$0.00	0.00	\$0.00	0%
300.01	Removing Sanitary Sewer Manholes	EACH	1	\$1,388.30	\$1,388.30	1.00	\$1,388.30		\$0.00	1.00	\$1,388.30	100%
300.02	Abandoning Sanitary Sewer	LS	1	\$500.00	\$500.00	1.00	\$500.00		\$0.00	1.00	\$500.00	100%
300.03	Adjusting Sanitary Manhole	EACH	7	\$669.00	\$4,683.00		\$0.00	7.00	\$4,683.00	7.00	\$4,683.00	100%
300.04	Connect to Existing Sanitary Sewer	EACH	2	\$500.00	\$1,000.00	2.00	\$1,000.00		\$0.00	2.00	\$1,000.00	100%
300.05	Sanitary Sewer PVC SDR-35 6-Inch	LF	165	\$93.00	\$15,345.00	159.50	\$14,833.50		\$0.00	159.50	\$14,833.50	97%
300.06	Sanitary Sewer PVC SDR-35 8-Inch	LF	400	\$93.87	\$37,548.00	397.00	\$37,266.39		\$0.00	397.00	\$37,266.39	99%
300.07	Sanitary Sewer Manhole w/ Casting	EACH	2	\$3,920.00	\$7,840.00	2.00	\$7,840.00		\$0.00	2.00	\$7,840.00	100%
400.01	Removing Hydrant	EACH	3	\$1,014.00	\$3,042.00	3.00	\$3,042.00		\$0.00	3.00	\$3,042.00	100%
400.02	Abandoning Water Main	LS	1	\$600.00	\$600.00	1.00	\$600.00		\$0.00	1.00	\$600.00	100%
400.03	Water Main Pipe HDPE 1 1/4-Inch	LF	855	\$74.00	\$63,270.00	893.50	\$66,119.00		\$0.00	893.50	\$66,119.00	105%
400.04	Water Main Pipe PVC C-900 6-Inch	LF	35	\$72.00	\$2,520.00	32.50	\$2,340.00		\$0.00	32.50	\$2,340.00	93%
400.05	Water Main Pipe PVC C-900 8-Inch	LF	1420	\$73.33	\$104,128.60	1,429.50	\$104,825.24		\$0.00	1,429.50	\$104,825.24	101%
400.06	Gate Valve 6-Inch	EACH	3	\$1,800.00	\$5,400.00	3.00	\$5,400.00		\$0.00	3.00	\$5,400.00	100%
400.07	Gate Valve 8-Inch	EACH	5	\$2,240.00	\$11,200.00	5.00	\$11,200.00		\$0.00	5.00	\$11,200.00	100%
400.08	Reducer 8-Inch x 6-Inch	EACH	2	\$924.00	\$1,848.00	2.00	\$1,848.00		\$0.00	2.00	\$1,848.00	100%
400.09	Anchor Tee 8-Inch x 6-Inch	EACH	3	\$1,071.00	\$3,213.00	4.00	\$4,284.00		\$0.00	4.00	\$4,284.00	133%
400.10	Cross 8-Inch x 8-Inch	EACH	1	\$1,329.00	\$1,329.00	1.00	\$1,329.00		\$0.00	1.00	\$1,329.00	100%
400.11	Bend 11.25 Degree 8-Inch	EACH	8	\$950.00	\$7,600.00	8.00	\$7,600.00		\$0.00	8.00	\$7,600.00	100%
400.12	Bend 22.5 Degree 8-Inch	EACH	2	\$961.00	\$1,922.00	4.00	\$3,844.00		\$0.00	4.00	\$3,844.00	200%
400.13	Bend 45 Degree 8-Inch	EACH	6	\$965.00	\$5,790.00	5.00	\$4,825.00		\$0.00	5.00	\$4,825.00	83%
400.14	Connect to Existing Water Main	EACH	4	\$929.00	\$3,716.00	4.00	\$3,716.00		\$0.00	4.00	\$3,716.00	100%
400.15	Hydrant	EACH	3	\$4,076.00	\$12,228.00	3.00	\$12,228.00		\$0.00	3.00	\$12,228.00	100%
400.16	Temporary 6 Cap w/ 2" Blowoff "	EACH	1	\$2,221.00	\$2,221.00	1.00	\$2,221.00		\$0.00	1.00	\$2,221.00	100%
400.17	Polystyrene Insulation 4-Inch	SF	96	\$9.00	\$864.00	96.00	\$864.00		\$0.00	96.00	\$864.00	100%
<b>SUBTOTAL</b>						<b>\$772,087.50</b>	<b>\$756,283.27</b>		<b>\$5,904.81</b>	<b>\$762,188.08</b>	<b>99%</b>	



93 South Pioneer Road, Suite 300 • Fond du Lac, WI 54935 • (920) 924-5720

Work completed, previous estimates	\$756,283.27
Work completed, this estimate	\$5,904.81
<b>Total work completed</b>	<b>\$762,188.08</b>
Retainage, this estimate	\$5,000.00
Total Retainage, previous estimates	\$15,384.09
<b>Total Retainage, final</b>	<b>\$5,000.00</b>
Amount due to contractor, this estimate	\$16,288.90

September 21, 2016

Mr. Brian W. Kober, P.E.  
Director of Public Works/Village Engineer  
Village of Jackson

Dear Mr. Kober:

Cedar Corporation appreciates the opportunity to provide you and the Village of Jackson with continuing Professional Services in the development of the Future Public Safety Building. We have prepared a summary of the Scope of Services that are appropriate for the next phase of design. We feel that the proposed scope will appropriately address any questions that the Village may have, establish accurate budgetary expectations and define the needs and desires of the Village.

During this phase of design we will facilitate programming and design discussions, to develop conceptual plans, exterior elevations and renderings for aid in public education of the project. This information will further be used in review of alternatives, cost estimation and preliminary design efforts. This process will include regular updates to staff and the board and will be the beginning of the overall facility design.

Upon approval from the Village, we are prepared to begin work immediately with the Village and will establish a date for a kick-off meeting to review the project schedule and Village expectations.

We appreciate your consideration in our Scope of Service / Cost Proposal and are available to answer any questions that you may have. Again, we appreciate the opportunity to work with the Village and look forward to working on this exciting project.

Sincerely,



Cory A. Scheidler, AIA  
Director of Architecture  
cory.scheidler@cedarcorp.com  
800-472-7372



Ron Dalton, PE  
Consulting Engineer  
ron.dalton@cedarcorp.com

# Scope of Service / Methodology / Schedule

**Cedar Corporation's trademark quality is to listen to you.** We seek to create an environment that allows various shareholders to work together and develop exceptional solutions. We will facilitate discussions and workshops that will aid us in learning and understanding your wants, needs, and expectations for the project. This phase of design includes a process of focused discussions and follows with established action items and milestones. This process allows us to efficiently gather all of the available information and ideas and then review them to complete a thorough evaluation to develop design solutions. Our approach to your project is a 4-step process that includes:

- A project kick-off meeting to identify the issues
- Programming and Design
- Design Analysis
- Presentation / Public Informational Meetings

## **Project Kick-Off Meeting (Step 1)**

We will schedule a kick-off meeting with the Village and Department Heads to review the project and discuss the desired outcomes, agreeing on project milestones. We will discuss any modifications to the scope and the expectations of the Departments and Village. Upon completion of the kick-off meeting, Cedar Corporation will have a more thorough understanding of your objectives and will then

- Develop a schedule of meetings
- Conduct a review of information that we have gathered during the meeting
- Meet with Department Heads as needed to clarify information
- Gather available site information, previous studies and previous project plans

Upon completion of our review of this information and any other data provided, Cedar Corporation will begin programming questionnaire and preliminary plans.

## **Expectations from the Village of Jackson**

As the project progresses, many questions will arise from both the Village and our design team. The following is a brief list of potential questions and necessary items that will be needed to complete the project in a timely manner:

- Availability of the Village of Jackson & Department Heads to visit other facilities
- Availability of Department Heads for discussions and interviews
- Provide previous studies, space needs summaries, site and building data, maps and surveys
- Provide information regarding existing and proposed equipment inventories and types

## **Programming (Step 2)**

As we begin the design process we will facilitate programming discussions & design workshops with the Village and Department Heads. This process will include review of programming requirements, project needs, expectations and desires. We will then develop preliminary plans for Village and Department Heads to review. Programming efforts to include:

- Programming Meetings—Design Workshops and facilitation
- Facility programming
- Conceptual floor plans
- Conceptual Exterior Elevations
- Three-dimensional presentation rendering
- Preliminary site layout
- Site access diagrams
- Building systems programming and descriptions
- Consideration of passive of training features

The programming efforts will include meetings for design review, conceptual design consideration and options. Throughout this process we envision the design to include (1) conceptual option with up to (2) revisions. Our approach is through design discussion and workshops, that additional conceptual plans and revisions are not necessary.

# Scope of Service / Cost Proposal

## **Analysis (Step 3)**

Throughout the programming efforts we will evaluate several items having an effect on the feasibility of the site and project, including cost, schedule, and budget. After the programming, we will analyze the following items:

- Evaluate grant opportunities
- Review access and impact on response times
- Review potential impacts the facility may have on adjacent properties
- Review site access and traffic patterns , including preliminary DOT & County coordination
- Review street utilities capacity and availability
- Evaluation of building material alternatives
- Review potential sustainable design and construction approaches
- Review project delivery alternatives
- Review formal cost estimate

Upon completion of our analysis we will meet with the Village and Department Heads to present our findings and facilitate discussions prior to the final presentation. At this stage in the project the conceptual design documents are assumed to be the final version for this phase.

## **Presentation / Public Informational Meetings (Step 4 )**

Upon completion of our Programming, Design, and Analysis, we will present our final findings to the Village Board and Departments.

Upon completion of the Village Board meeting, Cedar Corporation will prepare a presentation for public informational purposes. Cedar will provide a presentation with photos, diagrams and bullet points for the facility and site. The presentation will be made to educate the community prior to moving forward with the remaining design.

## **Additional Services Available Upon request**

As the programming and design efforts progress additional efforts may be required of the project. These efforts are outlined as follows:

- Topographic survey
- Geotechnical investigation and coordination
- Phase I environmental investigation
- Response time analysis and GIS mapping
- Public informational meetings

## **Professional Service Fees**

Based on our understanding of the project and the outlined scope of services we propose to complete the conceptual design phase as outlined for an Estimated Fee of \$44,650.



# 2016 Schedule of Hourly Rates

<u>TITLE</u>	<u>RATE</u>
Principal	\$159.00
Director	\$144.00
Senior Project Manager	\$138.00
Lead Project Manager	\$130.00
Senior Engineer / Project Manager IV	\$125.00
Lead Engineer / Senior Architect / Project Manager III	\$117.00
Project Engineer IV	\$112.00
Administrative	\$109.00
Project Manager II	\$103.00
Senior Professional Land Surveyor	\$101.00
Landscape Architect / Technician V	\$101.00
Lead Senior Planner	\$100.00
Project Engineer III / Architect	\$ 95.00
Project Manager I / Senior Planner	\$ 95.00
Environmental Specialist III	\$ 94.00
Project Engineer II	\$ 89.00
Professional Land Surveyor / Technician IV	\$ 87.00
Environmental Specialist II	\$ 84.00
Project Engineer I / Technical Specialist	\$ 81.00
Technician III	\$ 76.00
Staff Engineer	\$ 75.00
Environmental Specialist I	\$ 74.00
Planner II	\$ 70.00
Planner I / Technician II	\$ 65.00
Technician I / Clerical	\$ 62.00
Intern	\$ 55.00

Hourly rates are arrived at by adding to the employee's direct hourly payroll rate costs such as: unemployment taxes, social security taxes, insurance benefits, vacation and holiday pay, plus a reasonable margin for overhead, contingencies, interest on invested capital, readiness to serve, and profit.

Reimbursable Expenses (in addition to compensation for professional services if not included in contract):

Photocopying (24" x 36")	\$5.00/sheet
Photocopying (11" x 17")	\$1.00/sheet
Photocopying (8½" x 11")	\$0.25/sheet
Vehicle Mileage	\$0.54/mile <sup>1</sup>
GPS/Robotic Survey Equipment	\$20/hour
ATV	\$75/day

<sup>1</sup> Mileage reimbursement is subject to adjustment during the calendar year based on the IRS standard mileage rate

Field supplies are charged to the project at cost. Review fees required by approving authorities shall be paid directly by the Owner.

**THIS RATE SCHEDULE, APPENDED TO ANY CONTRACT, IS SUBJECT TO ANNUAL ADJUSTMENT BEGINNING WITH THE MARCH BILLING OF EACH YEAR.**

July 24, 2015

Mr. Brian Kober, P.E.  
Village of Jackson  
Director of Public Works  
P.O. Box 637  
N168 W20733 Main Street  
Jackson, WI 53037

RE: Stonewall Connector Trail Project  
Ridgeway Road to Eagle Drive  
Village of Jackson, Wisconsin  
Bid Results Evaluation

Dear Mr. Kober:

We have evaluated the bids received on July 21, 2015 at 10:00 AM for the Stonewall Connector Trail Project. The project consists of approximately 1300 linear feet of multi-use trail and incidentals. We've included a summary of the bids and comparison to the Engineer's Estimate for your use.

Three (3) bids received are shown below:

Company	Total Bid
All-Way Contractors, Inc. (Bidder No. 1)	\$217,698.25
Poblocki Paving Corp. (Bidder No. 2)	\$247,107.00
Johnson and Sons Paving, LLC. (Bidder No. 3)	\$187,888.00

Johnson and Sons Paving, LLC was the low bidder at \$187,888.00. Their bid was 71.1% above the Engineer's Estimate. We compared five items from their bid that had the highest cost difference against the Engineer's Estimate, and have summarized them below:

**Common Excavation:** With the narrow linear nature of this multi-use path and the limited access, the cost of common excavation would be higher than a typical next-to-roadway trail project. The bid was \$ 7,422.00 higher than the estimate.

**Culvert Pipe Reinforced Concrete Horizontal Elliptical 48x76 Inch:** Delivery and installation of this size pipe may require specialized construction equipment to move and install the pipe, thus increasing the cost of this bid item. The bid was \$ 12,264.00 higher than the estimate.

**Apron Endwall for Culvert Pipe Reinforced Concrete Horizontal Elliptical 48x76 Inch:** As discussed above, delivery and installation may require specialized construction equipment to move and install the endwalls, thus increasing the cost of this bid item. The bid was \$ 8,960.00 higher than the estimate.

**WDNR Signs:** The special requirements to build these aesthetic signs, as well as the special logos on the sign, may be the reason for the higher bid. The bid was \$ 8,472.00 higher than the estimate.

**Rail Fence:** This higher bid may be due to the location within the project, with respect to the drainage ways, and limited access to the site. The bid was \$ 18,975.00 higher than the estimate

Upon completion of our review, we find the bid from Johnson and Sons Paving, LLC. to be reasonable. If the Village of Jackson has the additional funds needed for the project, we recommend award of the Stonewall Connector Trail Project to Johnson and Sons Paving, LLC in the amount of \$ 187,888.00.

Sincerely,  
Bloom Companies, LLC



Scott G. Ahles, PE  
Highway and Roads Design Manager

Stonewall Connector Trail  
 Ridgeway Rd to Eagle Dr  
 Village of Jackson, Wisconsin  
 Bloom Project No. BM1-3372

Bid Opening: July 21, 2015, 10:00 AM

				All-Ways Contractors, inc.		Poblocki Paving Corp.		Johnson & Sons, LLC.		Differential of Low Bidder			
Item No.	Item	Unit	Estimated Quantity	Engineer's Estimate		Bidder No. 1		Bidder No. 2		Bidder No. 3		Total	% Diff.
				Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total		
1	Clearing	STA	1	\$ 335.59166	\$ 335.59	\$ 1,500.00	\$ 1,500.00	\$ 1,200.00	\$ 1,200.00	\$ 620.00	\$ 620.00	\$ 284.41	84.7%
2	Grubbing	STA	1	\$ 337.22570	\$ 337.23	\$ 1,500.00	\$ 1,500.00	\$ 1,200.00	\$ 1,200.00	\$ 620.00	\$ 620.00	\$ 282.77	83.9%
3	Removing Curb and Gutter	LF	32	\$ 7.56612	\$ 242.12	\$ 22.00	\$ 704.00	\$ 30.00	\$ 960.00	\$ 4.00	\$ 128.00	\$ (114.12)	-47.1%
4	Excavation Common	CY	600	\$ 20.63000	\$ 12,378.00	\$ 32.00	\$ 19,200.00	\$ 57.00	\$ 34,200.00	\$ 33.00	\$ 19,800.00	\$ 7,422.00	60.0%
5	Base Aggregate dense 1-1/4 Inch	TON	530	\$ 14.90095	\$ 7,897.50	\$ 26.50	\$ 14,045.00	\$ 30.00	\$ 15,900.00	\$ 20.00	\$ 10,600.00	\$ 2,702.50	34.2%
6	Asphaltic Surface	TON	370	\$ 96.74347	\$ 35,795.08	\$ 120.00	\$ 44,400.00	\$ 122.00	\$ 45,140.00	\$ 115.00	\$ 42,550.00	\$ 6,754.92	18.9%
7	Culvert Pipe Reinforced Concrete Horizontal Elliptical 48x76 Inch	LF	24	\$ 250.00000	\$ 6,000.00	\$ 680.00	\$ 16,320.00	\$ 830.00	\$ 19,920.00	\$ 761.00	\$ 18,264.00	\$ 12,264.00	204.4%
8	Apron Endwall for Culvert Pipe Reinforced Concrete Horizontal Elliptical 48x76 Inch	EACH	2	\$ 1,450.00000	\$ 2,900.00	\$ 4,890.00	\$ 9,780.00	\$ 7,438.00	\$ 14,876.00	\$ 5,930.00	\$ 11,860.00	\$ 8,960.00	309.0%
9	Concrete Curb and Gutter 18 Inch, type D	LF	32	\$ 27.28617	\$ 873.16	\$ 55.00	\$ 1,760.00	\$ 100.00	\$ 3,200.00	\$ 62.00	\$ 1,984.00	\$ 1,110.84	127.2%
10	Concrete Sidewalk 5 Inch	SF	270	\$ 5.10430	\$ 1,378.16	\$ 20.00	\$ 5,400.00	\$ 20.00	\$ 5,400.00	\$ 9.30	\$ 2,511.00	\$ 1,132.84	82.2%
11	Curb Ramp Detectable Warning Field Yellow	SF	32	\$ 35.46929	\$ 1,135.02	\$ 40.00	\$ 1,280.00	\$ 58.00	\$ 1,856.00	\$ 74.40	\$ 2,380.80	\$ 1,245.78	109.8%
12	Riprap	CY	4	\$ 72.28205	\$ 289.13	\$ 150.00	\$ 600.00	\$ 480.00	\$ 1,920.00	\$ 190.00	\$ 760.00	\$ 470.87	162.9%
13	Mobilization	EACH	1	\$ 4,025.00000	\$ 4,025.00	\$ 15,000.00	\$ 15,000.00	\$ 15,085.00	\$ 15,085.00	\$ 1,143.45	\$ 1,143.45	\$ (2,881.55)	-71.6%
14	Salvaged Topsoil	SY	1640	\$ 2.14581	\$ 3,519.13	\$ 7.50	\$ 12,300.00	\$ 8.00	\$ 13,120.00	\$ 1.50	\$ 2,460.00	\$ (1,059.13)	-30.1%
15	Mulching	SY	1500	\$ 0.28040	\$ 420.60	\$ 1.00	\$ 1,500.00	\$ 3.00	\$ 4,500.00	\$ 1.00	\$ 1,500.00	\$ 1,079.40	256.6%
16	Erosion Bales	EACH	184	\$ 9.38923	\$ 1,727.62	\$ 14.00	\$ 2,576.00	\$ 16.00	\$ 2,944.00	\$ 22.00	\$ 4,048.00	\$ 2,320.38	134.3%
17	Silt Fence	LF	1200	\$ 1.85708	\$ 2,228.50	\$ 2.00	\$ 2,400.00	\$ 2.00	\$ 2,400.00	\$ 2.50	\$ 3,000.00	\$ 771.50	34.6%
18	Silt Fence Maintenance	LF	1200	\$ 0.11829	\$ 141.95	\$ 0.50	\$ 600.00	\$ 1.00	\$ 1,200.00	\$ 0.70	\$ 840.00	\$ 698.05	491.8%
19	Erosion Mat Class I Type B	SY	62	\$ 0.96740	\$ 59.98	\$ 4.00	\$ 248.00	\$ 16.00	\$ 992.00	\$ 4.50	\$ 279.00	\$ 219.02	365.2%
20	Inlet Protection Type C	EACH	1	\$ 51.44689	\$ 51.45	\$ 60.00	\$ 60.00	\$ 600.00	\$ 600.00	\$ 126.00	\$ 126.00	\$ 74.55	144.9%
21	Temporary Ditch Checks	LF	14	\$ 9.51291	\$ 133.18	\$ 15.00	\$ 210.00	\$ 71.00	\$ 994.00	\$ 26.00	\$ 364.00	\$ 230.82	173.3%
22	Culvert Pipe Checks	EACH	1	\$ 132.85470	\$ 132.85	\$ 100.00	\$ 100.00	\$ 800.00	\$ 800.00	\$ 188.00	\$ 188.00	\$ 55.15	41.5%
23	Tracking Pads	EACH	3	\$ 1,653.26200	\$ 4,959.79	\$ 1,200.00	\$ 3,600.00	\$ 1,000.00	\$ 3,000.00	\$ 1,200.00	\$ 3,600.00	\$ (1,359.79)	-27.4%
24	Seeding Mixture No. 20	LB	45	\$ 8.26316	\$ 371.84	\$ 35.00	\$ 1,575.00	\$ 30.00	\$ 1,350.00	\$ 15.00	\$ 675.00	\$ 303.16	81.5%
25	Posts Wood 4x6 Inch x 12 Ft	EACH	2	\$ 52.08039	\$ 104.16	\$ 120.00	\$ 240.00	\$ 250.25	\$ 500.50	\$ 126.00	\$ 252.00	\$ 147.84	141.9%
26	Signs Type II Reflective H	SF	12.125	\$ 25.00000	\$ 303.13	\$ 50.00	\$ 606.25	\$ 28.00	\$ 339.50	\$ 62.00	\$ 751.75	\$ 448.63	148.0%
27	Traffic Control	EACH	1	\$ 500.00000	\$ 500.00	\$ 7,500.00	\$ 7,500.00	\$ 950.00	\$ 950.00	\$ 240.00	\$ 240.00	\$ (260.00)	-52.0%
28	Traffic Control Drums	DAY	1350	\$ 0.51088	\$ 689.69	\$ 2.00	\$ 2,700.00	\$ 2.00	\$ 2,700.00	\$ 1.00	\$ 1,350.00	\$ 660.31	95.7%
29	Traffic Control Signs	DAY	270	\$ 1.30611	\$ 352.65	\$ 2.00	\$ 540.00	\$ 5.00	\$ 1,350.00	\$ 1.00	\$ 270.00	\$ (82.65)	-23.4%
30	Geotextile Fabric Type HR	SY	3	\$ 5.22992	\$ 15.69	\$ 20.00	\$ 60.00	\$ 170.00	\$ 510.00	\$ 100.00	\$ 300.00	\$ 284.31	1812.1%
31	Pavement Marking Epoxy 4 Inch Yellow	LF	346	\$ 0.29417	\$ 101.78	\$ 4.00	\$ 1,384.00	\$ 10.50	\$ 3,633.00	\$ 2.50	\$ 865.00	\$ 763.22	749.8%
32	Pavement Marking Stop Line Epoxy 24 Inch	LF	20	\$ 7.67293	\$ 153.46	\$ 20.00	\$ 400.00	\$ 17.00	\$ 340.00	\$ 2.50	\$ 50.00	\$ (103.46)	-67.4%
33	Pavement Marking Crosswalk Epoxy 12 Inch	LF	100	\$ 9.13573	\$ 913.57	\$ 15.00	\$ 1,500.00	\$ 15.00	\$ 1,500.00	\$ 2.50	\$ 250.00	\$ (663.57)	-72.6%
34	Sawing Concrete	LF	8	\$ 1.41786	\$ 11.34	\$ 40.00	\$ 320.00	\$ 44.00	\$ 352.00	\$ 62.00	\$ 496.00	\$ 484.66	4272.8%
35	WDNR Signs	EACH	2	\$ 1,400.00000	\$ 2,800.00	\$ 1,200.00	\$ 2,400.00	\$ 2,000.00	\$ 4,000.00	\$ 5,636.00	\$ 11,272.00	\$ 8,472.00	302.6%
36	Wall Modular Block Gravity	SF	375	\$ 33.04286	\$ 12,391.07	\$ 42.00	\$ 15,750.00	\$ 42.00	\$ 15,750.00	\$ 49.00	\$ 18,375.00	\$ 5,983.93	48.3%
37	Rail Fence	LF	345	\$ 12.00000	\$ 4,140.00	\$ 80.00	\$ 27,600.00	\$ 65.00	\$ 22,425.00	\$ 67.00	\$ 23,115.00	\$ 18,975.00	458.3%
				Total Est.	\$ 109,809.41	Total No. 1	\$ 217,658.25	Total No. 2	\$ 247,107.00	Total No. 3	\$ 187,888.00	\$ 78,078.59	71.1%

Bid Evaluation - Unit Price Contract

Stonewall Connector Trail  
 Ridgeway Rd to Eagle Dr  
 Village of Jackson, Wisconsin  
 Bloom Project No. BM1-3372

Bid Opening: July 21, 2015, 10:00 AM Revised 9/16/2016

				Johnson & Sons, LLC.	
				Bidder No. 3	
Item No.	Item	Unit	Estimated Quantity	Unit Price	Total
	Excavation Common	CY	227	\$ 45.00	\$ 10,215.00
	Base Aggregate Dense 1-1/4 Inch	TON	279	\$ 31.00	\$ 8,649.00
	Tack Coat	GAL	59	\$ 9.00	\$ 531.00
	Asphaltic Surface	TON	138	\$ 282.00	\$ 38,916.00
	Concrete Pavement 6 Inch	SY	7	\$ 85.00	\$ 595.00
	Concrete Sidewalk 5 Inch	SF	524	\$ 10.00	\$ 5,240.00
	Curb Ramp Detectable Warning Field Yellow	SF	40	\$ 65.00	\$ 2,600.00
	Mobilization	EACH	1	\$ 4,576.00	\$ 4,576.00
	Salvaged Topsoil	SY	3,367	\$ 2.35	\$ 7,912.45
	Mulching	SY	3,367	\$ 2.35	\$ 7,912.45
	Silt Fence	LF	2,621	\$ 2.60	\$ 6,814.60
	Silt Fence Maintenance	LF	2,621	\$ 0.52	\$ 1,362.92
	Erosion Mat Class I Type B	SY	579	\$ 6.65	\$ 3,850.35
	Inlet Protection Type C	EACH	2	\$ 132.00	\$ 264.00
	Retaining Wall	SF	480	\$ 78.80	\$ 37,824.00
	Retaining Wall Excavation	CY	256	\$ 19.80	\$ 5,068.80
	Geotextile Fabric Type HR	SY	195	\$ 4.00	\$ 780.00
	Tracking Pads	EACH	3	\$ 2,200.00	\$ 6,600.00
	Seeding Mixture No. 20	LB	61	\$ 10.60	\$ 646.60
	Posts Wood 4x4 Inch x 12 Ft	EACH	2	\$ 197.00	\$ 394.00
	Signs Type II Reflective H	SF	8	\$ 204.00	\$ 1,632.00
	Traffic Control	EACH	1	\$ 5,000.83	\$ 5,000.83
	Traffic Control Drums	DAY	1,368	\$ 0.50	\$ 684.00
	Traffic Control Signs	DAY	228	\$ 0.50	\$ 114.00
				Total No. 3	\$ 158,183.00



# APPLICATION/PERMIT TO WORK ON HIGHWAY RIGHT-OF-WAY

Wisconsin Department of Transportation (WisDOT)

DT1812 1/2016 s. 86.07(2), 86.16 and other applicable Wis. Stats.

1. Applicant's Name, Address, City, State and ZIP Code Village of Jackson N168 W20733 Main Street Jackson, WI 53037		2. Work Start Date 10/17/2016	4. Location Description (¼ section, section, town, range; provide plat and location maps) SE 1/4 of SW 1/4 of Section 17, Township 10N, Range 20E SW 1/4 of SE 1/4 of Section 17, Township 10N, Range 20E
		3. Work Finish Date* 11/21/2016	
5. Is the work area near a survey monument? (If yes, call 866-568-2852 or email <a href="mailto:geodetic@dot.wi.gov">geodetic@dot.wi.gov</a> ) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		6. Work Location (List all that apply) Town: _____ Village: Jackson City: _____ County: Washington	
8. <u>Trans 401</u> project designation? (Provide a formal erosion control plan for all Major projects. See provision #13.) <input type="checkbox"/> Major <input checked="" type="checkbox"/> Minor		7. Highway (List all that apply) WIS 60 US _____ Interstate _____	
9. Are any environmental approvals, certifications or permits required from other regulatory agencies? (If yes, provide a copy of each item. If no, provide proof of other agency coordination as needed. For additional information, go to <a href="#">environmental coordination</a> .) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
10. Work Type (Check all that apply) <input type="checkbox"/> Access management <input type="checkbox"/> Crash investigation/cleanup <input checked="" type="checkbox"/> Drainage: Culverts/tiles <input checked="" type="checkbox"/> Drainage: Grading/riprap <input type="checkbox"/> Drainage: Storm Sewer <input type="checkbox"/> Environmental assessment <input type="checkbox"/> Harvesting nature products <input type="checkbox"/> Hazmat: Cleanup/remediation <input type="checkbox"/> Hazmat: Monitoring wells <input type="checkbox"/> Invasive species assessment <input type="checkbox"/> Landscaping <input type="checkbox"/> Soil borings <input type="checkbox"/> Surveying <input type="checkbox"/> _____		12. Work Zone Description (Check all that apply) <input type="checkbox"/> Not applicable <input type="checkbox"/> Full road closure: detour** <input type="checkbox"/> Full road closure: temporary <input type="checkbox"/> Lane closure: without flagging <input type="checkbox"/> Lane closure: with flagging <input type="checkbox"/> Lane encroachment (2 feet or less) <input type="checkbox"/> Intersection/roundabout <input checked="" type="checkbox"/> Shoulder/parking lane closure  Freeway/expressway location <input type="checkbox"/> Off shoulder: < 30' off white line <input type="checkbox"/> Off shoulder: ≥ 30' off white line <input type="checkbox"/> Near right-of-way line or fence  Non-Freeway/expressway location <input type="checkbox"/> Off shoulder: < 15' off white line <input checked="" type="checkbox"/> Off shoulder: ≥ 15' off white line <input type="checkbox"/> Back of curb: < 2' behind <input type="checkbox"/> Back of curb: ≥ 2' behind	
11. Vegetation Management (Check all that apply) <input type="checkbox"/> Mow <input type="checkbox"/> Remove <input type="checkbox"/> Prune <input type="checkbox"/> Cut and/or trim <input type="checkbox"/> Plant <input type="checkbox"/> Chemically treat <sup>13</sup>		13. Provide detailed description of how work will be accomplished. Use page 2 or additional pages if needed. Provide work plans, drawings and specifications as needed. <b>For chemical treatment, answer questions on page 2.</b>  The proposed work will install a sidewalk heading east-west from Ridgeway Road to Eagle Drive along WIS 60. No traffic is expected to be effected. Shoulder closure per SDD 15D28-2 may be needed, however access is provided or can be made from side roads. See attached sheets for more details.	

It is understood and agreed that approval is subject to the applicant's full compliance with the pertinent Statutes, as well as any codes, rules, regulations, and other jurisdictional agencies' permit requirements. Applicant shall comply with all permit provisions, superimposed notes, and detail drawings that WisDOT may add. Any alteration of this form by the applicant is prohibited and may be cause to revoke this permit. When approved, the permit does not transfer any land; nor give, grant or convey any land right, right in land, nor easement in WisDOT right-of-way. It is not assignable or transferrable. All costs associated with this permit are the permittee's responsibility unless otherwise noted.

\_\_\_\_\_  
(Main Contractor Company Name, If applicable)

\_\_\_\_\_  
(Contractor Representative/Title) (Area Code/Phone No. – Office)

\_\_\_\_\_  
(Area Code/Phone No. – Cell) (Email Address)

*x Brian W. Kober*

9/21/2016

\_\_\_\_\_  
(Applicant or Authorized Representative Signature)  
(If Computer-filled, Brush Script Font)

\_\_\_\_\_  
(Date)

Brian W. Kober  
\_\_\_\_\_  
(Printed Name)

Director of Public Works  
\_\_\_\_\_  
(Title)

262-677-9001  
\_\_\_\_\_  
(Area Code/Phone No.)

dirpubwks@villageofjackson.com  
\_\_\_\_\_  
(Email Address)

\* Includes permanent restoration. If the permitted work has not started by the "Work Finish Date", this permit is null and void. If the permitted work has started, but has not been completed by the "Work Finish Date", the work shall not be completed unless authorized through an approved written time extension or a subsequent permit. **ANY PERMIT ISSUED IS REVOCABLE.**

### For Official Wisconsin DOT Use Only – Do Not Write Below

<input type="checkbox"/> <b>PERMITEE SHALL NOTIFY THE WISDOT REPRESENTATIVE LISTED BELOW 3 DAYS BEFORE STARTING ANY WORK:</b> Region contact, title, office address, area code/phone no., and email address  Wisconsin DOT _____ _____ _____	<input type="checkbox"/> <b>See Supplemental Permit Provisions (Page 4)</b> <input type="checkbox"/> <b>Special Permit Provisions Also Included</b> <input type="checkbox"/> Lane Closure System notification required <input type="checkbox"/> Insurance or performance bond required <input type="checkbox"/> Other regulatory agency permits not required <input type="checkbox"/> **State highway traffic <a href="#">detour permit</a> required <input type="checkbox"/> Permit issued in conjunction with: _____ <input type="checkbox"/> Permit voids and supersedes permit(s): #_____, Issued _____ <input type="checkbox"/>	Date Application Received
		Date Application Complete
		Permit Issuance Date
		Permit Expiration Date
		Permit Extension Date
		Permit Number

(WisDOT Authorized Representative Signature – If Computer-filled, Brush Script Font)

<p>Use this section to provide information on chemical treatment (question #11):</p> <p>(a) Chemical(s) to be used and EPA Registration Number(s)? (Example: Garlon 4 Ultra, EPA REG. NO. 62719-527)</p> <p>(b) Type of application(s)? (Example: Stump treatment, broadcast, etc.)</p> <p>(c) Applicator name(s) and Wisconsin certification number(s)? (Example: Bill Smith, 146886-CA. Personnel must be licensed as commercial applicators in category 6.0, Right-of-Way, to legally apply herbicides on roadsides.)</p> <p>(d) How will property owners bordering the affected highway ROW be notified prior to spraying? (Examples: In-person, doorknob cards, letters, phone calls, etc.)</p> <p>(e) Will spraying occur near wetlands? (If yes, see question #9)</p> <p>(f) Provide name(s) and cell number(s) for the supervisor or lead worker of each crew:</p>	<p>Use this section to provide information that does not fit on front page or #11(a)-(f) on left:</p>
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## INDEMNIFICATION

The Applicant shall save and hold the State, its officers, employees, agents, and all private and governmental contractors and subcontractors with the State under Chapter 84 Wisconsin Statutes, harmless from actions of any nature whatsoever (including any by Applicant itself) which arise out of, or are connected with, or are claimed to arise out of or be connected with any of the work done by the Applicant, or the construction or maintenance of facilities by the Applicant, pursuant to this permit or any other permit issued by the State for location of property, lines or facilities on highway right-of-way, (1) while the Applicant is performing its work, or (2) while any of the Applicant's property, equipment, or personnel, are in or about such place or the vicinity thereof, or (3) while any property constructed, placed or operated by or on behalf of Applicant remains on the State's property or right-of-way pursuant to this permit or any other permit issued by the State for location of property, lines or facilities on highway right-of-way; including without limiting the generality of the foregoing, all liability, damages, loss, expense, claims, demands and actions on account of personal injury, death or property loss to the State, its officers, employees, agents, contractors, subcontractors or frequenters; to the Applicant, its employees, agents, contractors, subcontractors, or frequenters; or to any other persons, whether based upon, or claimed to be based upon, statutory (including, without limiting the generality of the foregoing, worker's compensation), contractual, tort, or whether or not caused or claimed to have been caused by active or inactive negligence or other breach of duty by the State, its officers, employees, agents, contractors, subcontractors or frequenters; Applicant, its employees, agents, contractors, subcontractors or frequenters; or any other person. Without limiting the generality of the foregoing, the liability, damage, loss, expense, claims, demands and actions indemnified against shall include all liability, damage, loss, expense, claims, demands and actions for damage to any property, lines or facilities placed by or on behalf of the Applicant pursuant to this permit or any other permit issued by the State for location of property, lines or facilities on highway right-of-way in the past or present, or that are located on any highway or State property or right-of-way with or without a permit issued by the State, for any loss of data, information, or material; for trademark, copyright or patent infringement; for unfair competition or infringement of personal or property rights of any kind whatever. The Applicant shall at its own expense investigate all such claims and demands, attend to their settlement or other disposition, defend all actions based thereon and pay all charges of attorneys and all other costs and expenses of any kind arising from any such liability, damage, loss, claims, demands and actions.

Any transfer, whether voluntary or involuntary, of ownership or control of any property constructed, placed or operated by or on behalf of the Applicant that remains on the State's property or right-of-way pursuant to this permit shall not release Applicant from any of the indemnification requirements of this permit, unless the State is notified of such transfer in writing. Any acceptance by any other person or entity, whether voluntary or involuntary, of ownership or control of any property constructed, placed or operated by or on behalf of the Applicant that remains on the State's property or right-of-way pursuant to this permit, shall include acceptance of all of the indemnification requirements of this permit by the other person or entity receiving ownership or control.

Notwithstanding the foregoing, a private contractor or subcontractor with the State under Chapter 84 Wisconsin Statutes, that fails to comply with sections 66.0831 and 182.0175 Wisconsin Statutes (2013-2014), remains subject to the payment to the Applicant of the actual cost of repair of intentional or negligent damage by the contractor or subcontractor to any property, lines or facilities placed by or on behalf of the Applicant pursuant to this permit or any other permit issued by the State for location of property, lines or facilities on highway right-of-way, and remains subject to payment to the Applicant for losses due to personal injury or death resulting from negligence by the contractor or subcontractor.

Notwithstanding the foregoing, if the State, or its officers, employees and agents, fail to comply with sections 66.0831 and 182.0175 Wisconsin Statutes (2013-2014), the State or its officers, employees and agents, remain subject to the payment to the Applicant of the actual cost of repair of willful and intentional damage by the State, or its officers, employees and agents, to any property, lines or facilities placed by or on behalf of the Applicant pursuant to this permit or any other permit issued by the State for location of property, lines or facilities on highway right-of-way, and remain subject to payment to the Applicant for losses due to personal injury or death resulting from negligence by the State, its officers, employees and agents.

No indemnification of private contractors or subcontractors with the State under Chapter 84 Wisconsin Statutes, shall apply in the event of willful and intentional damage by such private contractors or subcontractors to the property, lines and facilities of the Applicant located on the highway right-of-way pursuant to this permit or any other permit issued by the State for the location of property, lines or facilities on highway right-of-way.

## GENERAL PERMIT PROVISIONS AND CONDITIONS OF APPROVAL (#1-28)

Pursuant to Wisconsin Statutes and once approved by WisDOT, this permit allows performance of the specific work described over which WisDOT has permit authority. ***The permittee shall abide by these general provisions, and any supplemental and/or special provisions.*** (ROW = right-of-way)

- Warning signs, devices and methods shall be in place and fully functional prior to the start of any permitted work within highway ROW, and shall protect the public until all permitted work is complete. Warning signs and devices shall conform to the appropriate sizes, designs and configurations specified within the [Wisconsin Manual of Uniform Traffic Control Devices](#), current edition. Provide and maintain the quantity of signs and devices therein described, and supplement those with additional signs, devices and flaggers as necessary to functionally protect people and property from injury or damage at all times and under all conditions, including changed or changing conditions. All personnel shall wear retro-reflective safety vests while working within the highway ROW.
- Secure the work site and associated traffic control zone against any hazard to the public, both when the site is attended and is unattended during off-hours, holidays, and nighttime hours. This includes vehicles, equipment and materials. Any violation of this permit, particularly any failure to maintain safe work site and traffic control zone, will require immediately cure by the permittee, and may result in WisDOT stopping further work, removal of permittee from the highway ROW, and/or permit revocation.
- Coordinate the permitted work and in no case interfere with any ongoing highway improvement project.
- Keep a complete copy of the permit (which may be electronic) at the job site at all times the permitted work is ongoing along with a project manager or supervisor familiar with the permit and all of its details and requirements. Failure to comply with any part of this permit is the permittee's responsibility.
- Determine the location of, and protect or cause to protect from any damage, any existing facilities in the area affected by the permitted work. All notifications to other facility owners are the permittee's responsibility.
- Perform all permitted work without obstructing or closing any part of any traffic lane or fully closing any road unless specifically authorized by WisDOT.
- Alter the permitted facilities as may be ordered by WisDOT to facilitate highway improvement, alteration, safety control, or maintenance. Accept all costs of constructing, maintaining, altering, temporarily moving or relocating the permitted facilities.
- The permit authorizes only the described work of and for the permittee indicated on this permit. It does not grant authority for the work of any other, either by present or future installation.
- Any disturbance to, operation within, or use of a highway median is expressly prohibited, unless specifically authorized by WisDOT. **The use of interstate or freeway median crossovers for any reason is prohibited and subject to law enforcement citation.**
- Construction methods and restorations shall be in accordance with applicable parts of [WisDOT's Standard Specifications for Highway and Structure Construction](#), current edition.
- Comply with all applicable regulations and codes, including, but not limited to, the U.S. Department of Labor, Occupational Safety and Health Administration, [29 CFR Part 1926](#) for construction safety precautions and operations.
- Do not open at any time any greater length of trench than is necessary to maintain essential progress of the work.
- Implement erosion control best management practices (BMPs) prior to and at all times during work operations. Provide and maintain erosion control BMPs to protect all restored areas upon completion of the permitted work until the replacement vegetation achieves sustained growth. Trans 401 designations for major and [minor](#) projects in this permit use the same meanings as utility projects. If a project is not "minor", then it is "major".
- Derive no direct access to install, maintain or repair the permitted facility from the freeway travel lane or shoulder or any interchange ramp, unless specifically authorized by WisDOT or if needed due to an emergency. In the latter case, immediately contact the Wisconsin State Patrol and WisDOT Region Office as indicated on this permit.
- Install the facility in the specified permit location. Move any part of the facility found to be otherwise located to the correct location upon WisDOT order. Any facility part located other than as specified in this permit is at permittee's sole risk. Accordingly, if the same is undetected or is suffered to remain in variance to the permit, the permittee shall hold the State, its employees, agents and officers harmless and free of any cost, claim or liability associated with any accidental damage to such facility that may result from a highway construction, maintenance, traffic control, or ROW management project or function.
- Promptly restore all highway facilities disturbed by the permitted work or associated operation. This includes natural highway facilities, including but not limited to living snow fence, headlamp screens, and other such highway safety features. WisDOT may issue a notice setting a specific time by which the restoration must be complete if restoration is not done voluntarily without delay. If the permittee fails to satisfactorily complete the restoration within the time established, WisDOT shall arrange for the restoration to be completed and bill the permittee accordingly. The permittee shall pay for all restoration costs.
- Collect any brush, trash or waste materials resulting from the permitted work, and dispose of said materials off the ROW in accordance with applicable solid waste disposal regulations.
- Send notice **within 10 calendar days** via regular mail or email to the authorized WisDOT representative who approved the permit upon completion of the work and restoration.
- Smooth and finished slopes shall be constructed at any location where any regraded portion of the highway ROW meets the lands of adjacent property owners.
- Backfill any excavation permitted within the highway pavement limits or shoulder areas with suitable granular material, placed in lifts or layers 12 inches or less each in depth, and mechanically compact to meet the appropriate density as specified in [WisDOT's Standard Specifications for Highway and Structure Construction](#), current edition. Do not use water jetting to accomplish mechanical compaction. Repair to WisDOT's satisfaction any subsequent heavings, settlings, or other faultings attributable to the permitted work. Use temporary sheeting, shoring and/or trench boxes as needed to prevent trench/tunnel cave-ins.
- Restore in-kind any curb, gutter, sidewalk, driveway, gravel base, ballast, shoulder material, or other highway ROW element/facility disturbed under this permit to the qualities, grades, compactions and conditions specified in [WisDOT's Standard Specifications for Highway and Structure Construction](#), current edition.
- Restore any turfed ROW area disturbed under this permit with fine-graded topsoil having a depth of not less than 4 inches, and reseeded to perennial grass or sodded to WisDOT's satisfaction.
- Adjust manhole covers, shut-off and regulator valves, and like facilities to the level of the immediately adjacent grades.
- Cure faults related to work or facilities under this permit that, in WisDOT's opinion, obstruct highway drainage or in any other manner adversely affect highway maintenance or operation, and restore the ROW as directed by and to WisDOT's satisfaction.
- Keep all vehicles/equipment/materials outside the ROW fence including all bore pits of any bored or augered installations under a freeway. Do not keep vehicles/equipment/materials between any freeway travel lane and a bore pit if WisDOT authorizes the pit location within the freeway ROW. Locate all bore pits outside the clear zone and as close to the ROW fence as possible.
- Do not keep vehicles/equipment/materials related to this permit within the non-freeway ROW limits except as are actively engaged in the work operation.
- Be aware that future highway improvements may require the adjustment of part or all of the permitted facility, at permittee's cost, to conform to WisDOT's [Utility Accommodation Policy](#).

28. Comply with appropriate laws, rules, policies, etc. when within tribal or federal lands. Provide documentation as needed when on WisDOT ROW to prove compliance or coordination with the following agencies:

- Wisconsin Historical Society to avoid/mitigate any potential cultural resource (archeological, historical, burial site, etc.) impacts per [Wis. Stat. s. 44.40](#).
- Department of Natural Resources to avoid/mitigate any potential storm water runoff, site erosion, wetland, waterway and endangered/threatened species impacts.

## SUPPLEMENTAL PERMIT PROVISIONS (#29-\_\_)

*The permittee shall abide by the following checked provisions:*

### TREE & VEGETATION MANAGEMENT

- 29. Plant trees/vegetation only in such locations and in such species as indicated on the plans included and approved with this permit, or as WisDOT specifies in the field.
- 30. Maintain all plantings according to the attached special permit provisions.
- 31. Do not place any sign or marker identifying the plantings within the highway ROW limits.
- 32. WisDOT accepts no responsibility for loss that may occur to the plantings. Be fully aware that the plantings are subject to:
  - Thinning and/or mortality
  - Normal hazards due to maintenance operations, snow control, and public utility installation or alteration
  - Trimming or removal, if or when the plantings cause restrictions to sight distance or hazardous snow/ice conditions on the highway
  - Destruction, if highway reconstruction is done
  - Partial or complete abandonment or obliteration, or return to private ownership, if future changes in highway location are made
- 33. Do not cut, trim or damage trees/vegetation to facilitate the installation or maintenance of the permitted facility except as authorized by the owner of such tree/vegetation. See Wis. Stat. ss. [86.03\(2\)](#), [\(4\)](#), [86.16\(3\)](#), and [182.017\(5\)](#).
- 34. Do not cut or prune oak trees between April 15 and October 15 to prevent Oak Wilt Disease from spreading unless a thick coat of asphalt base tree paint is applied immediately after **any** cut, pruning wound, or abrasion made between those dates. Cleanly cut the exposed ends of any roots encountered during grading or trenching with suitable pruning tools immediately after exposure. Adhere to any applicable laws, including local ordinances if they are stricter than WisDOT specifications.
- 35. Remove all stumps, branches, logs, and other debris resulting from the cutting and trimming operations and dispose of such materials off the ROW. Tree disposal may also occur by giving them to the adjacent property owner(s) at a storage location approved by the owner(s). Comply with applicable laws that regulate the sale, transport, or pruning/cutting of trees.
- 36. Cut trees flush with the ground. Any remaining stumps shall not interfere with mowing operations.
- 37. Cut trees may be chipped and used for mulch on the ROW in a layer not exceeding three inches.
- 38. Trim only the trees/vegetation necessary to provide safe clearances or by special provisions. Do not damage non-target trees/vegetation. Do not clear cut trees/vegetation.
- 39. Survey the trees/vegetation to be removed and inspect jointly with a WisDOT representative prior to starting any work on the highway ROW.
- 40. Treat all deciduous tree stumps with a herbicide approved for this use. Do not treat evergreen tree stumps.
- 41. Follow the conditions specified in WisDOT's "Vegetation Alteration Decision" for vegetation removed or trimmed pursuant to [Wis. Stat. s. 84.305](#).

### RAILROAD CROSSING WORK

- 42. Complete a permit/application form to detour state highway traffic ([DT1479](#)). This DT1812 permit shall only be in effect if WisDOT approves the matching DT1479 permit.
- 43. Comply with the attached "Special Provisions for Railroad Crossing Work."

### WORK RESTRICTIONS

- 44. Daily, holiday and/or seasonal work restrictions apply to the permitted work as detailed on page \_\_. Review the restrictions with the WisDOT Region Office(s) identified on this permit.

### MISCELLANEOUS

- 45. Contact the WisDOT Region Office(s) identified on this permit to arrange for a Region representative to inspect the work site. Perform no work under this permit prior to his/her arrival.
- 46. Contact the WisDOT Region Office(s) identified on this permit prior to completing the permitted work to arrange for a Region representative to inspect the work before the permittee's employees or contractor leaves the site.
- 47. Call the State Traffic Operations Center (STOC) / - on a weekly basis or as otherwise determined by the STOC before working on any interstate or other major freeway. The STOC may place restrictions on work times and lane/shoulder closures based upon various special events, oversize freight movements, or daily peak travel times.
- 48. Construction by open-trench methods is authorized only if the permitted installation can be accomplished in advance of the highway paving. Bore or dry auger the permitted facility if this cannot be accomplished.
- 49. At any location where open-trench installation across highway pavement is authorized, saw-cut the surface full depth to enable it to be restored with smooth joints. Restore concrete pavement to the nearest joint.
- 50. Backfill all excavations according to the attached detail.
- 51. Blasting within the highway ROW **is authorized** with this permit.
- 52.

PLOT SCALE : 1:1

SHEET SET : 1.00

PLOT BY : ----

FILE NAME : F:\BIM-3372\_Jackson STH 60 Trail - Village of Jackson\C3d\Sheet\Plan\01001-1.dwg

ORDER OF SHEETS

Section No. 1	Title
Section No. 2	Typical Sections and Details (Includes Erosion Control Plans)
Section No. 5	Plan and Profile
Section No. 6	Standard Detail Drawings
Section No. 9	Cross Sections

TOTAL SHEETS = 36



PLAN OF PROPOSED IMPROVEMENT

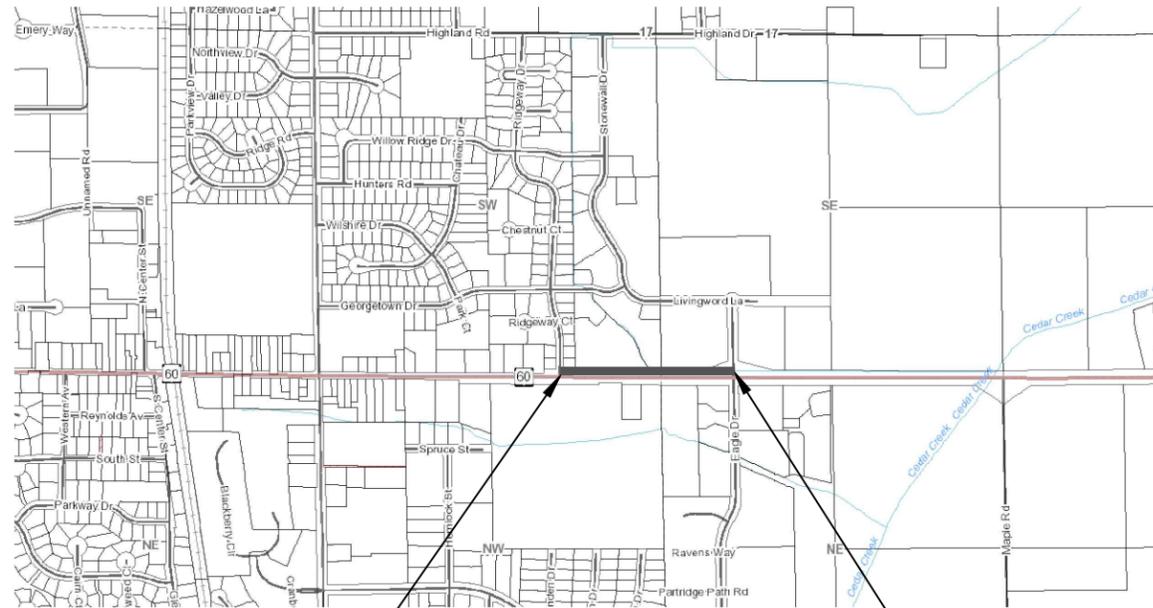
# STONEWALL CONNECTION SIDEWALK

## VILLAGE OF JACKSON

(NON-HWY)

### WASHINGTON COUNTY

BLOOM PROJECT NUMBER  
**3372**



**BEGIN PROJECT**  
 STONEWALL CONNECTION  
 TRAIL STA 100+00  
 N= 147,923.67  
 E= 369,782.22

TOTAL LENGTH OF CENTERLINE = 1291 FT

**END PROJECT**  
 STONEWALL CONNECTION  
 TRAIL STA. 112+63  
 N: 147,916.25  
 E: 371,057.36

CONVENTIONAL SYMBOLS

**PLAN**

CORPORATE LIMITS	
PROPERTY LINE	
LOT LINE	
LIMITED HIGHWAY EASEMENT	
EXISTING RIGHT OF WAY	
PROPOSED OR NEW R/W LINE	
SLOPE INTERCEPT	
FENCE	
RR TRACKS	
REFERENCE LINE	
EXISTING CULVERT	
PROPOSED CULVERT (Box or Pipe)	
COMBUSTIBLE FLUIDS	
MARSH AREA	
WOODED OR SHRUB AREA	

PROFILE

GRADE LINE	
ORIGINAL GROUND	
MARSH OR ROCK PROFILE (To be noted as such)	
SPECIAL DITCH	
GRADE ELEVATION	
CULVERT (Profile View)	
<b>UTILITIES</b>	
ELECTRIC	
FIBER OPTIC	
GAS	
OVERHEAD LINE	
SANITARY SEWER	
STORM SEWER	
TELEPHONE	
WATER	
UTILITY PEDESTAL	
POWER POLE	
TELEPHONE POLE	

COORDINATES ON THIS PLAN ARE REFERENCED TO THE WI. COUNTY COORDINATE SYSTEM, WASHINGTON ZONE, WCCS WASHINGTON DATUM

ELEVATIONS SHOWN ON THIS PLAN ARE REFERENCED TO NGVD29.

ACCEPTED FOR  
VILLAGE OF JACKSON

(Date) \_\_\_\_\_  
 DIRECTOR OF PUBLIC WORKS  
 (Signature & Title of Official)

ORIGINAL PLANS PREPARED BY



(Date) \_\_\_\_\_ (Signature) \_\_\_\_\_

## GENERAL NOTES

THE LOCATIONS OF EXISTING AND PROPOSED UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE AND AFFECTED UTILITIES PRIOR TO THE START OF WORK. ANY LOCAL MUNICIPAL UTILITY WHICH IS NOT A MEMBER OF THE DIGGERS HOTLINE MUST BE CONTACTED SEPARATELY.

TRAFFIC CONTROL DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS DIRECTED BY THE ENGINEER.

NO TREES OR SHRUBS SHALL BE REMOVED WITHOUT APPROVAL OF THE ENGINEER.

ALL HOLES OR OPENINGS BELOW SUBGRADE RESULTING FROM ABANDONMENT OR REMOVAL OF EXISTING STRUCTURES SHALL BE FILLED WITH GRANULAR BACKFILL, WHICH SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE ABANDONMENT OR REMOVAL ITEM.

PRIOR TO ORDERING DRAINAGE PIPES AND STRUCTURES, THE CONTRACTOR SHALL VERIFY RELATED DRAINAGE INFORMATION IN THE PLAN WITH THE ENGINEER. INLET AND DISCHARGE ELEVATIONS FOR DRAINAGE STRUCTURES SHOWN ON THE PLAN MAY BE ADJUSTED BY THE ENGINEER TO FIT FIELD CONDITIONS.

THE EROSION CONTROL FEATURES AS SHOWN IN THE PLANS ARE AT SUGGESTED LOCATIONS. EXACT LOCATIONS WILL BE DETERMINED BY THE ENGINEER IN THE FIELD.

INLET PROTECTION SHALL BE PLACED AT ALL INLET LOCATIONS ACCEPTING STORM WATER FROM THE PROJECT AREA OR AS DIRECTED BY THE ENGINEER IN THE FIELD.

REMOVAL OF EROSION CONTROL DEVICES IS INCLUDED IN THE COST OF THEIR RESPECTIVE BID ITEMS.

CROSS SECTIONS SHOWN INCLUDE THE THICKNESS OF TOPSOIL WHERE REQUIRED. SALVAGED TOPSOIL SHALL BE USED.

STATIONING, DISTANCES AND OFFSETS FOR SIGNS SHOWN ON THE PLANS ARE APPROXIMATE AND THE LOCATIONS OF SIGNS ARE TO BE DETERMINED BY THE ENGINEER IN THE FIELD.

ALL SIGNS, TEMPORARY OR EXISTING, WHICH CONFLICT WITH THE TRAFFIC CONTROL "IN USE" SHALL BE REMOVED AS NEEDED AND/OR DIRECTED BY THE ENGINEER. NO WORKING LIGHTS SHALL BE VISIBLE ON A LAID DOWN SIGN.

DISTURBED AREAS EXCEPT THE AREAS WITHIN THE FINISHED SHOULDER POINTS, SHALL BE SALVAGED TOPSOILED, MULCHED AND SEEDED AS DIRECTED BY THE ENGINEER IN THE FIELD.

FERTILIZER SHALL NOT BE USED WITHIN 200' NAVIGABLE WATERWAYS OR WETLANDS. THE DRAINAGE WAY ON THE PROJECT IS NAVIGABLE.

ASPHALTIC SURFACE SHALL BE CONSTRUCTED IN TWO 2.0" LIFTS

## STANDARD ABBREVIATIONS

AC ACRE  
 AECPRC APRON ENDWALL CULVERT PIPE REINFORCED CONCRETE  
 AECPRCHE APRON ENDWALL CULVERT PIPE REINFORCED CONCRETE HORIZONTAL ELLIPTICAL  
 AEW APRON END WALL  
 AGG AGGREGATE  
 AH AHEAD  
 ASPH ASPHALTIC  
 B/C BACK OF CURB  
 BK BACK  
 BM BENCH MARK  
 CE COMMERCIAL ENTRANCE  
 CONC CONCRETE  
 CL OR C/L CENTER OR CONSTRUCTION LINE  
 CP CULVERT PIPE  
 CPCM CULVERT PIPE CORRUGATED METAL  
 CPRCCULVERT PIPE REINFORCED CONCRETE  
 CPRCHE CULVERT PIPE REINFORCED CONCRETE HORIZONTAL ELLIPTICAL  
 CPT CULVERT PIPE TEMPORARY  
 CY CUBIC-YARD  
 D DEGREE OF CURVE  
 Δ DELTA  
 DIA DIAMETER  
 DISCH DISCHARGE  
 DWY DRIVEWAY  
 EL OR ELEV ELEVATION  
 EW END WALL  
 EBS EXCAVATION BELOW SUBGRADE  
 FF FACE TO FACE  
 FE FIELD ENTRANCE  
 FT FOOT  
 HES HIGH EARLY STRENGTH  
 HMA HOT MIX ASPHALT  
 INV INVERT  
 LT LEFT  
 LHF LEFT HAND FORWARD  
 L LENGTH OF CURVE  
 LF LINEAR FOOT  
 MIN MINIMUM  
 ML OR M/L MATCHLINE  
 NC NORMAL CROWN  
 PAVT PAVEMENT  
 PCC POINT OF COMPOUND CURVE  
 PC POINT-OF CURVE  
 PE PRIVATE ENTRANCE  
 PGL PROFILE GRADE LINE  
 PI POINT OF INTERSECTION  
 PL PROPERTY LINE  
 PLE PERMANENT LIMITED EASMENT  
 PRC POINT OF REVERSE CURVATURE  
 PT POINT OF TANGENT  
 R RADIUS OF CURVE  
 RL OR R/L REFERENCE LINE  
 REINF REINFORCED  
 REQ'D OR REQD REQUIRED  
 RC REVERSE CROWN  
 RT RIGHT  
 RHF RIGHT HAND FORWARD  
 R/W RIGHT OF WAY  
 SALV SALVAGED  
 SF SQUARE FOOT  
 SY SQUARE YARD  
 SDD STANDARD DETAIL DRAWING  
 STA STATION  
 SSPRC STORM SEWER PIPE REINFORCED CONCRETE  
 SSPRCHE STORM SEWER PIPE REINFORCED CONCRETE HORIZONTAL ELLIPTICAL  
 SE SUPER ELEVATION  
 T TANGENT  
 TEMP TEMPORARY  
 TLE TEMPORARY LIMITED EASEMENT  
 TYP TYPICAL  
 VPCC VERTICAL POINT OF COMPOUND CURVATURE  
 VPC VERTICAL POINT OF CURVE  
 VPI VERTICAL POINT OF INTERSECTION  
 VPRC VERTICAL OPINT OF REVERSE CURVATURE  
 VPT VERTICAL POINT OF TANGENCY

PLOT SCALE : 1:1

SHEET SET : 2.00

PLOT BY : ----

FILE NAME :F:\B\MI-5372\_Jackson STH 60 Trail - Village of Jackson C3d#SheetPlan#020101-gn.dwg



# STONEWALL CONNECTION SIDEWALK RIDGEWAY RD TO EAGLE DR VILLAGE OF JACKSON

### GENERAL NOTES

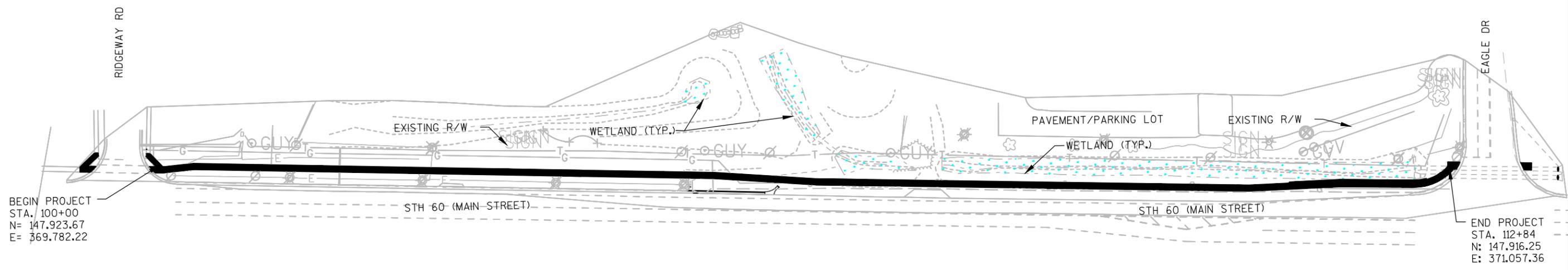
Designer	Technician	Approval	
<b>HAS</b>	<b>HAS</b>	---	

Date  
8/26/16

Sheet Number  
02



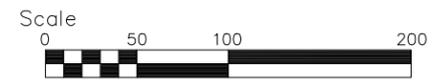
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 PLOT BY : ---  
 SHEET SET : 5.00  
 PLOT SCALE : 40:1



BEGIN PROJECT  
 STA. 100+00  
 N= 147,923.67  
 E= 369,782.22

END PROJECT  
 STA. 112+84  
 N= 147,916.25  
 E= 371,057.36

**STONEWALL CONNECTION SIDEWALK  
 RIDGEWAY RD TO EAGLE DR  
 VILLAGE OF JACKSON**



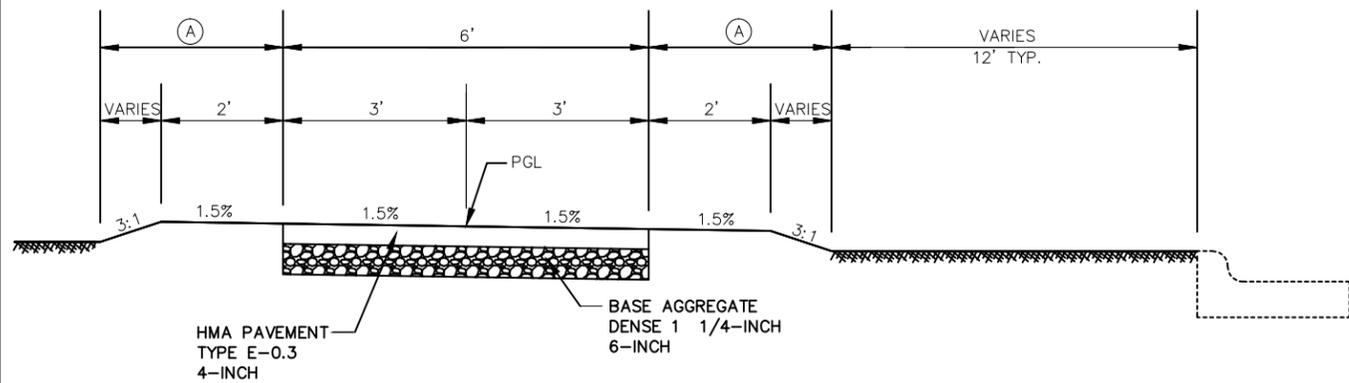
**BLOOM COMPANIES, LLC**  
*Infrastructure Innovation and Ingenuity*  
 10501 W. Research Drive • Milwaukee, WI 53226  
 Phone: (414) 771-3390 Fax: (414) 771-4490

PROJECT OVERVIEW			Date 8/26/16
Designer <b>HAS</b>	Technician <b>HAS</b>	Approval ---	Sheet Number 04

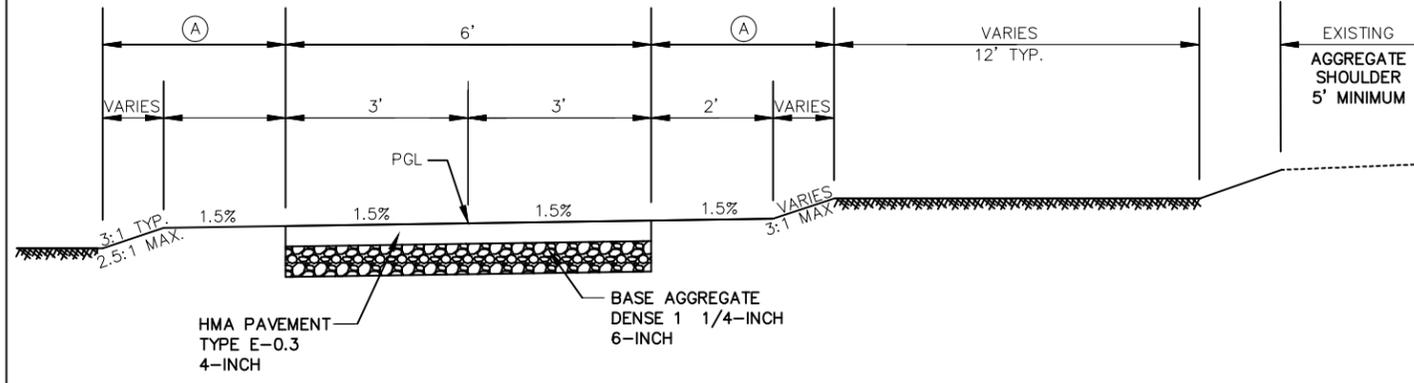
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SHEET SET : 2.00

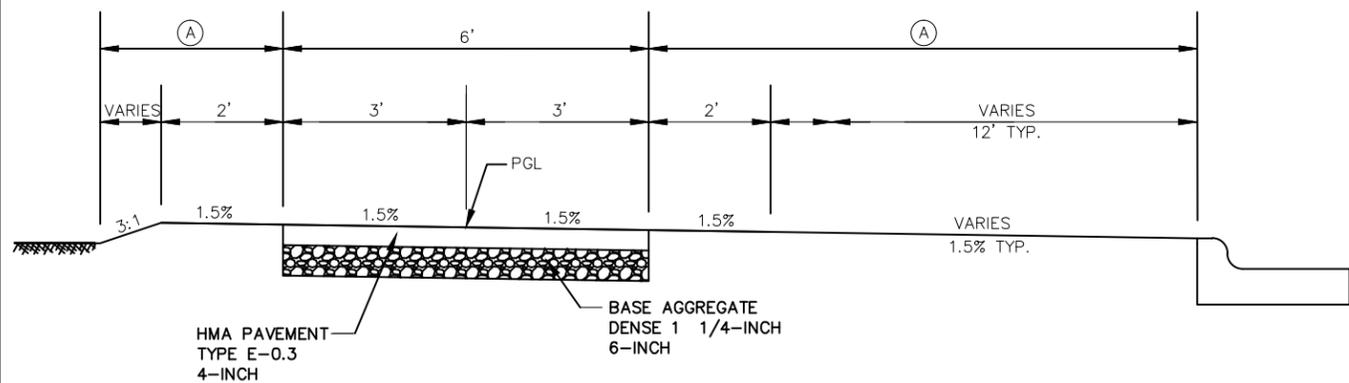
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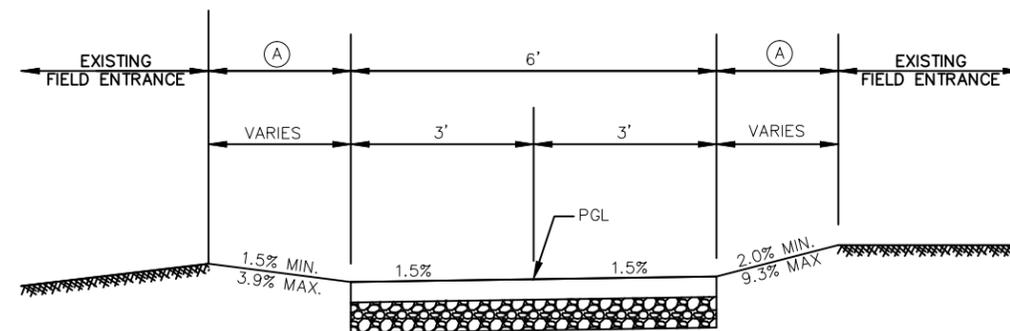
FINISHED TYPICAL SECTION  
 STONEWALL CONNECTION SIDEWALK  
 STA. 100+00.00 TO STA. 105+20.00



FINISHED TYPICAL SECTION  
 STONEWALL CONNECTION SIDEWALK  
 STA. 106+00 TO STA. 107+35.00

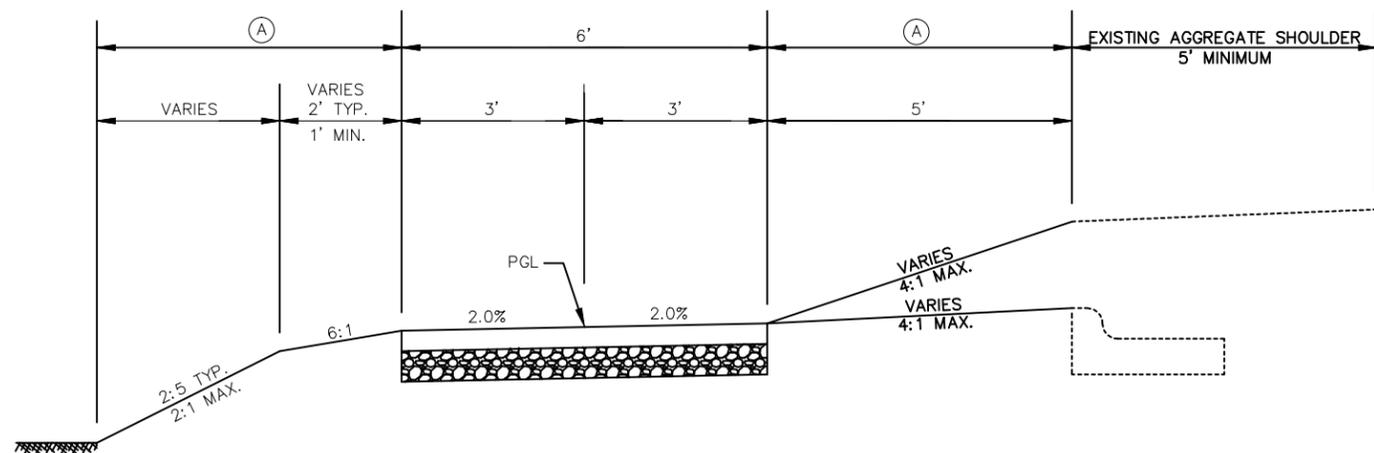


FINISHED TYPICAL SECTION  
 STONEWALL CONNECTION SIDEWALK  
 STA. 105+20.00 TO STA. 105+99.00



FINISHED TYPICAL SECTION  
 STONEWALL CONNECTION SIDEWALK  
 STA. 107+35.00 TO STA. 107+85.00

FILE NAME : F:\BIM-3372\_Jackson STH 60 Trail - Village of Jackson\c3d\Sheets\Plan\020301-rs.dwg



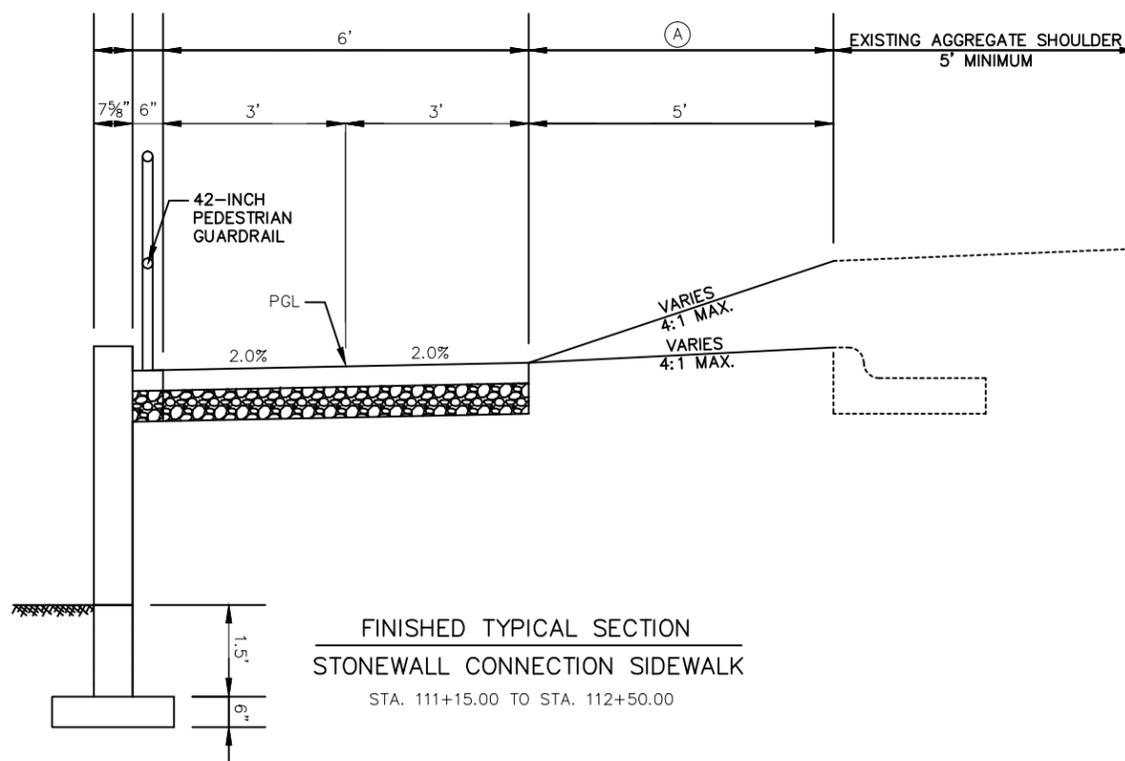
**FINISHED TYPICAL SECTION  
STONEWALL CONNECTION SIDEWALK**

STA. 107+85.00 TO STA. 111+15.00  
STA. 112+50.00 TO STA. 112+85.00

**NOTES**

(A) SALVAGED TOPSOIL (4" THICK),  
SEEDING MIXTURE NO. 20,  
FERTILIZER TYPE B AND MULCH

PGL = POINT REFERRED TO ON PROFILE



**FINISHED TYPICAL SECTION  
STONEWALL CONNECTION SIDEWALK**

STA. 111+15.00 TO STA. 112+50.00



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**STONEWALL CONNECTION SIDEWALK  
RIDGEWAY RD TO EAGLE DR  
VILLAGE OF JACKSON**

**TYPICAL SECTION**

Date  
8/26/16

Designer HAS Technician HAS Approval ---

Sheet Number  
06

**GENERAL NOTES**

THE EXACT NUMBER, LOCATION AND SPACING OF ALL SIGNS AND DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER.

ALL SIGNS ARE 48" X 48" UNLESS OTHERWISE NOTED. IF NECESSARY DUE TO SPACE CONSTRAINTS IN URBAN AREAS, 36" X 36" SIGNS MAY BE USED IF APPROVED BY DISTRICT TRAFFIC UNIT.

"WO" SIGNS ARE THE SAME AS "W" SIGNS EXCEPT THE BACKGROUND IS ORANGE.

SIGNS THAT WILL BE IN PLACE LESS THAN 7 CONTINUOUS DAYS AND NIGHTS MAY BE MOUNTED ON PORTABLE SUPPORTS.

ANY SIGNS TEMPORARY OR EXISTING, WHICH CONFLICT WITH TRAFFIC CONTROL "IN USE" SHALL BE REMOVED OR COVERED AS NEEDED AND AS APPROVED BY THE ENGINEER.

W20-1 AND G20-2A SIGNS ARE NOT REQUIRED IF THE WORK AREA IS WITHIN A LARGER WORK ZONE WHERE THESE SIGNS ARE ALREADY PRESENT. G20-2A SIGNS MAY ALSO BE OMITTED IF DURATION OF WORK IS LESS THAN 7 CONTINUOUS DAYS AND NIGHTS.

CHANNELIZING DEVICES PLACED ADJACENT TO THE WORK AREA SHALL BE PULLED BACK FROM THE TRAVEL LANE WHEN WORK IS NOT IN PROGRESS.

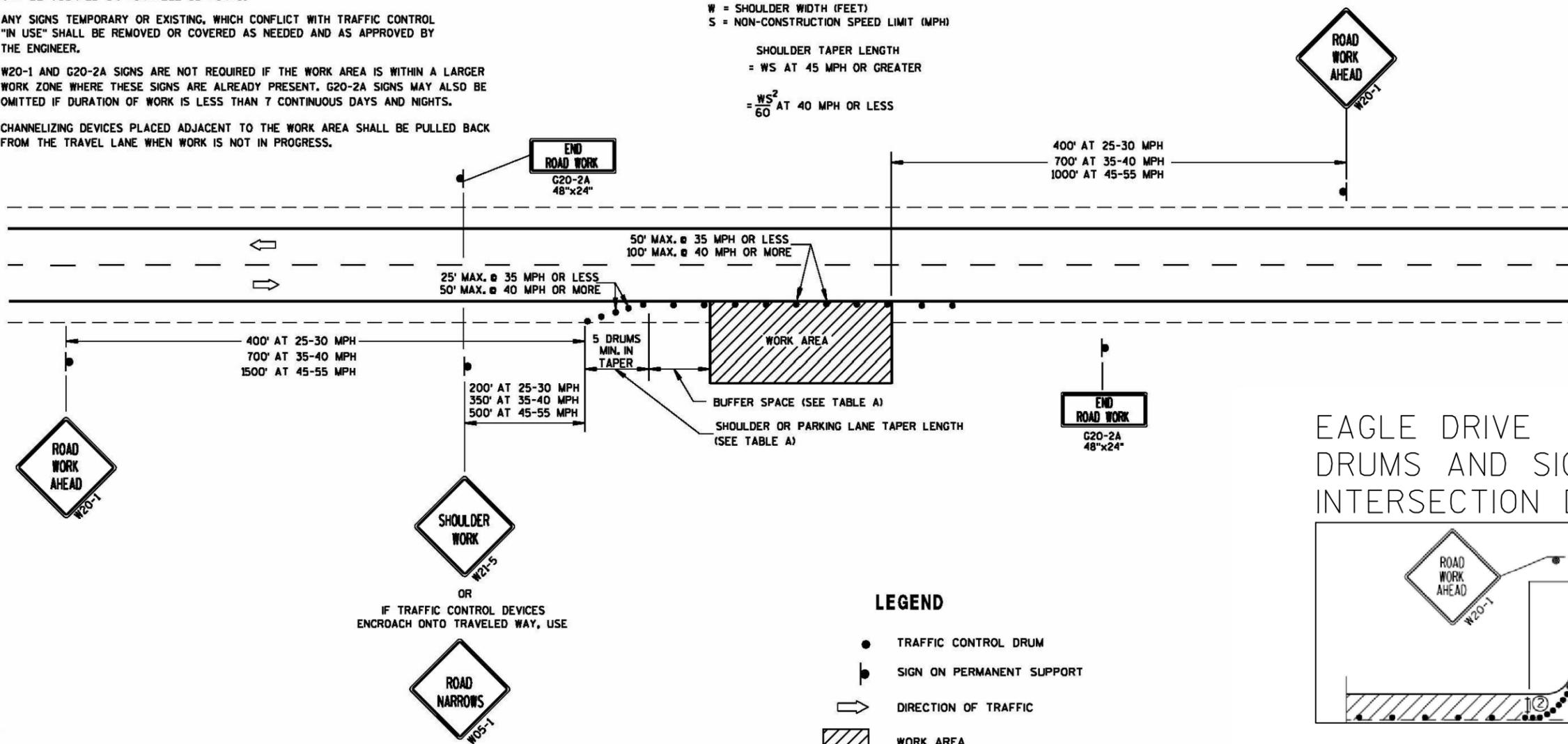
**TABLE A**

S	SHOULDER TAPER LENGTH (FEET)				BUFFER SPACE (FEET)
	4	5	8	10	
30	20	30	40	50	85
35	30	45	55	70	120
40	40	55	75	90	170
45	60	90	120	150	220
50	70	100	135	170	280
55	75	110	150	185	335

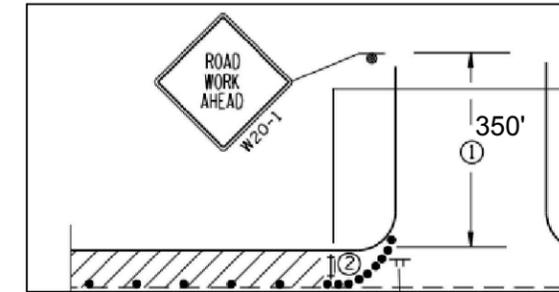
W = SHOULDER WIDTH (FEET)  
S = NON-CONSTRUCTION SPEED LIMIT (MPH)

SHOULDER TAPER LENGTH  
= WS AT 45 MPH OR GREATER

=  $\frac{WS^2}{60}$  AT 40 MPH OR LESS



**EAGLE DRIVE DRUMS AND SIGN INTERSECTION DETAIL**



**LEGEND**

- TRAFFIC CONTROL DRUM
- ⊙ SIGN ON PERMANENT SUPPORT
- ➔ DIRECTION OF TRAFFIC
- ▨ WORK AREA

**SDD - TRAFFIC CONTROL WORK ON SHOULDER OR PARKING LANE, UNDIVIDED ROADWAY**

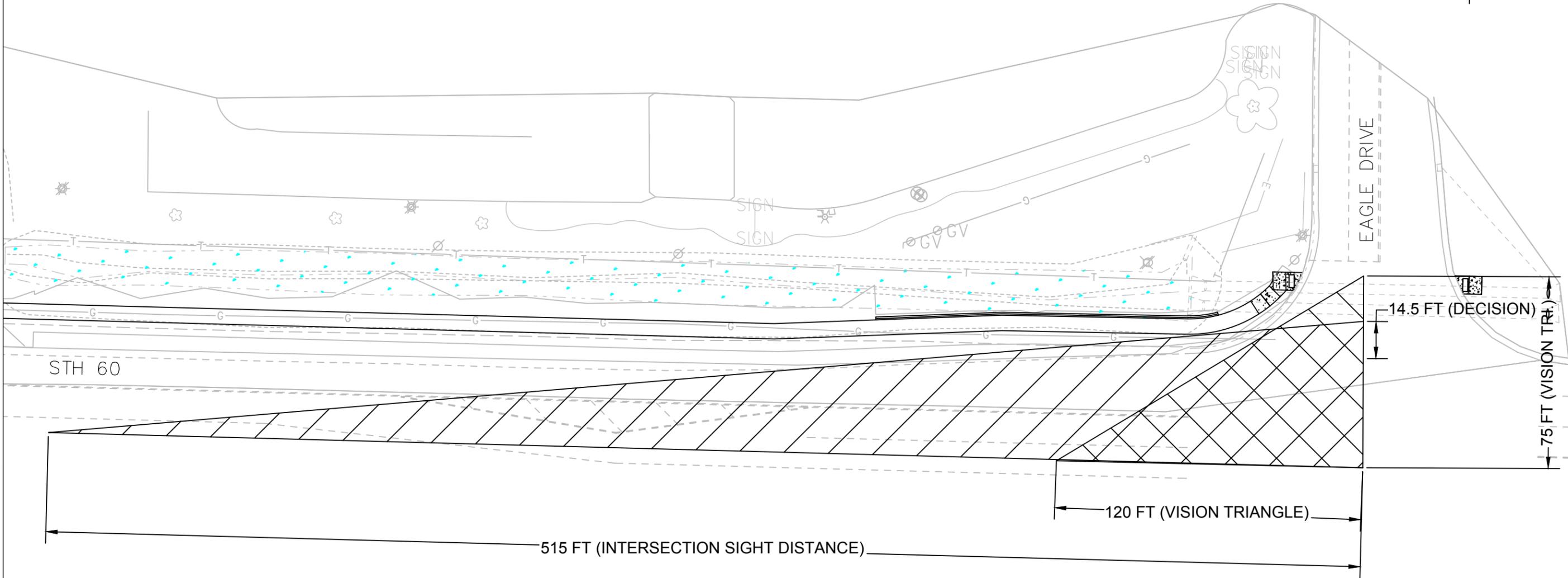
<b>CONSTRUCTION DETAILS</b>			Date 8/26/16
Designer HAS	Technician HAS	Approval ---	Sheet Number 07

**STONEWALL CONNECTION SIDEWALK  
RIDGEWAY RD TO EAGLE DR  
VILLAGE OF JACKSON**

**BLOOM COMPANIES, LLC**  
Infrastructure Innovation and Ingenuity  
10501 W. Research Drive • Milwaukee, WI 53226  
Phone: (414) 771-3390 Fax: (414) 771-4490



FILE NAME : F:\BML-3372\_Jackson STH 60 Trail - Village of Jackson\c3d\Sheets\Plan\021004-cd.dwg  
 PLOT DATE : 10/15/14  
 PLOT BY : ----  
 SHEET SET : 2.00  
 PLOT SCALE : 1:10



<u>Vision Triangle</u>	<u>FDM 11-10 ATT. 5.13</u>	
A <sub>VT</sub>	120'	MAINLINE 35 MPH POSTED SPEED
B <sub>VT</sub>	75'	NO THRU MOVEMENT POSSIBLE
<u>INTERSECTION SIGHT DISTANCE</u>	<u>FDM 11-10 ATT. 5.13</u>	
LEFT TURN FROM MINOR ROAD	515'	CATEGORY 2 - SIDE ROAD APPROACH TO AN AT-GRADE INTERSECTION WITH A BYPASS ROADWAY OR EXPRESSWAY
DECISION POINT	14.5'	BEHIND FACE OF CURB / MAINLINE TRAVEL

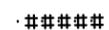


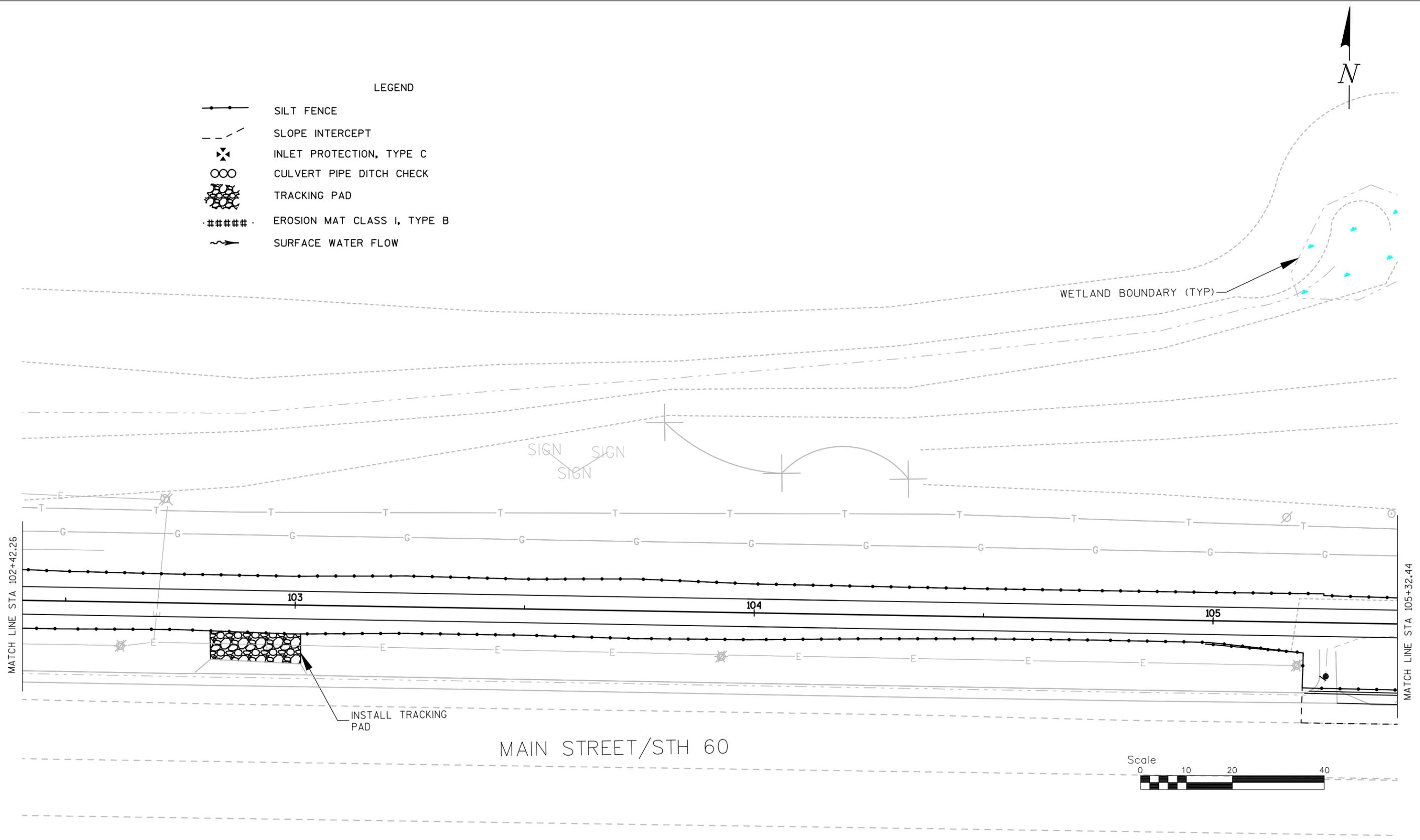
**STONEWALL CONNECTION SIDEWALK  
 RIDGEWAY RD TO EAGLE DR  
 VILLAGE OF JACKSON**

<b>VISION TRIANGLES SIGHT DISTANCE</b>			Date
Designer	Technician	Approval	8/26/16
HAS	HAS	---	Sheet Number 09



FILE NAME : F:\B\MI-3372-Jackson STH 60 Trail - Village of Jackson STH 60 Trail - Village of Jackson Plans\022001-ec.dwg  
 PLOT BY : ----  
 SHEET SET : 5.00  
 PLOT SCALE : 20:1

- LEGEND**
-  SILT FENCE
  -  SLOPE INTERCEPT
  -  INLET PROTECTION, TYPE C
  -  CULVERT PIPE DITCH CHECK
  -  TRACKING PAD
  -  EROSION MAT CLASS I, TYPE B
  -  SURFACE WATER FLOW




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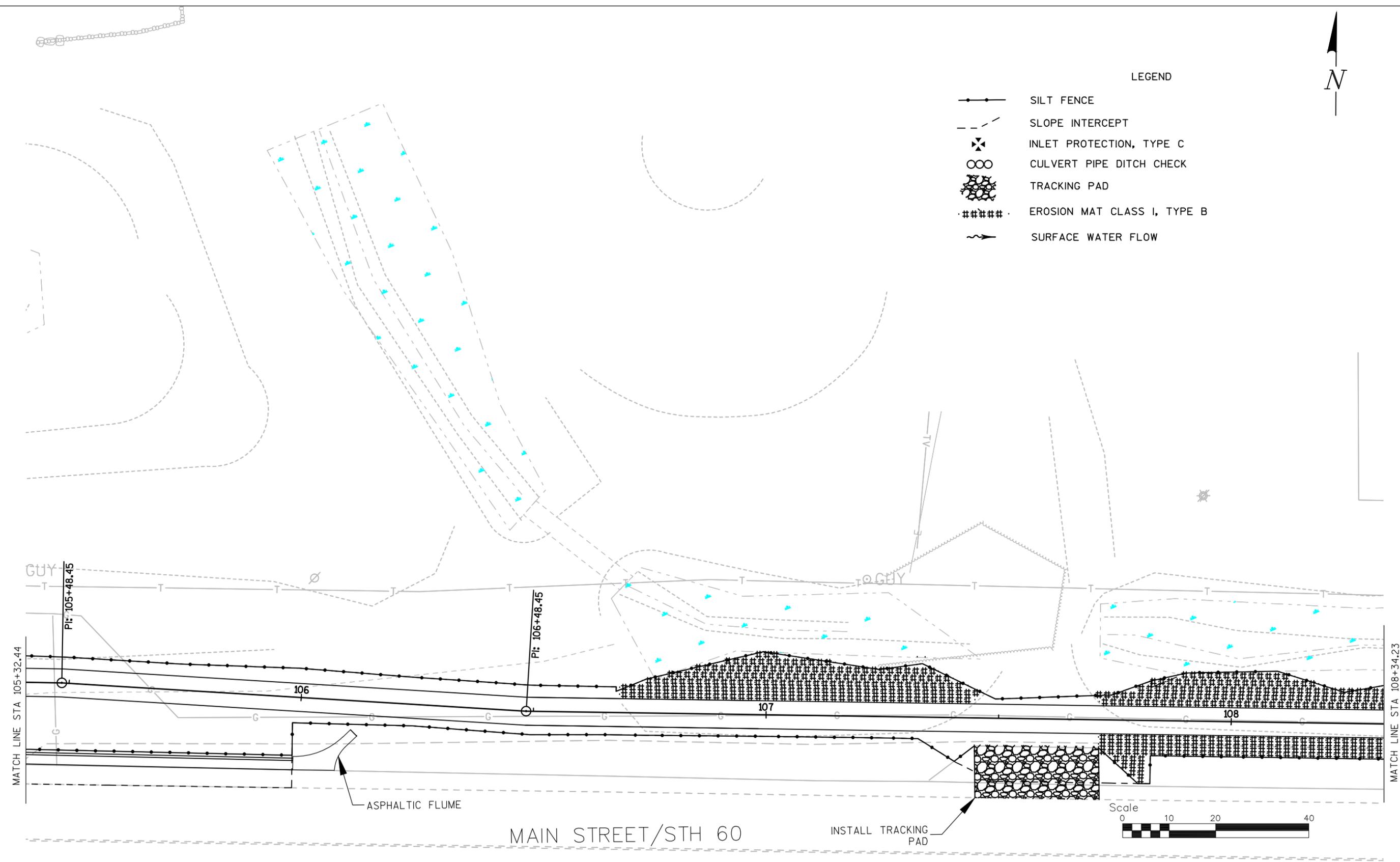
**STONEWALL CONNECTION SIDEWALK  
 RIDGEWAY RD TO EAGLE DR  
 VILLAGE OF JACKSON**

<b>EROSION CONTROL</b>			Date 8/26/16
Designer <b>HAS</b>	Technician <b>HAS</b>	Approval ---	Sheet Number 11

FILE NAME : F:\BIM-3372-Jackson STH 60 Trail - Village of Jackson\3372-Jackson STH 60 Trail - Village of Jackson\3372-Jackson STH 60 Trail - Village of Jackson\Plan\022001-ec.dwg  
 PLOT BY : -----  
 SHEET SET : 5.00  
 PLOT SCALE : 20:1

LEGEND

-  SILT FENCE
-  SLOPE INTERCEPT
-  INLET PROTECTION, TYPE C
-  CULVERT PIPE DITCH CHECK
-  TRACKING PAD
-  EROSION MAT CLASS I, TYPE B
-  SURFACE WATER FLOW



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**STONEWALL CONNECTION SIDEWALK  
 RIDGEWAY RD TO EAGLE DR  
 VILLAGE OF JACKSON**

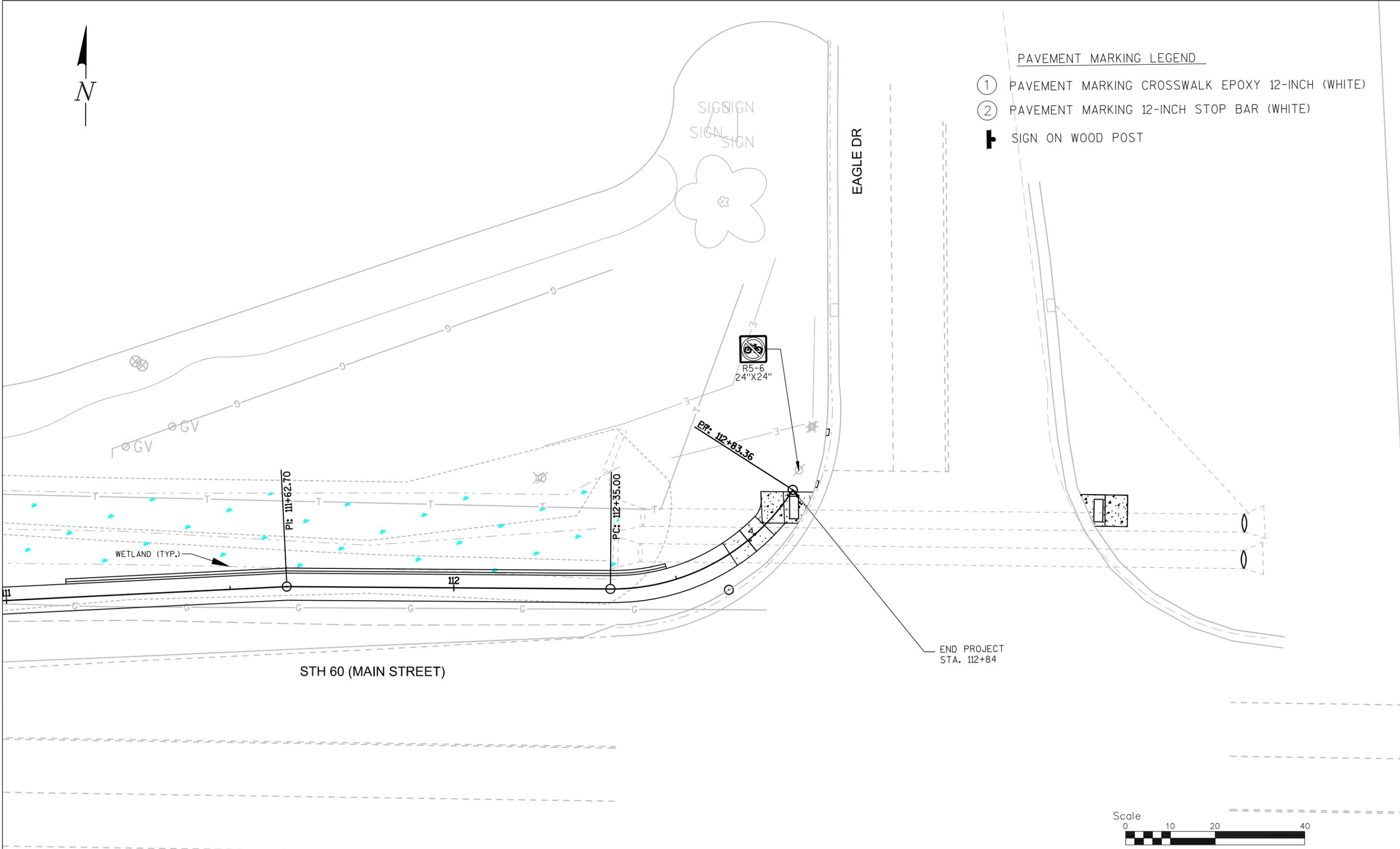
<b>EROSION CONTROL</b>			Date 8/26/16
Designer <b>HAS</b>	Technician <b>HAS</b>	Approval ---	Sheet Number 12



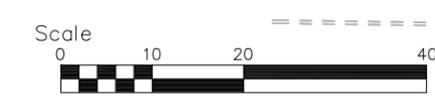




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 PLOT BY : ----  
 SHEET SET : 5.00  
 PLOT SCALE : 40:1



- PAVEMENT MARKING LEGEND**
- ① PAVEMENT MARKING CROSSWALK EPOXY 12-INCH (WHITE)
  - ② PAVEMENT MARKING 12-INCH STOP BAR (WHITE)
  - ┆ SIGN ON WOOD POST



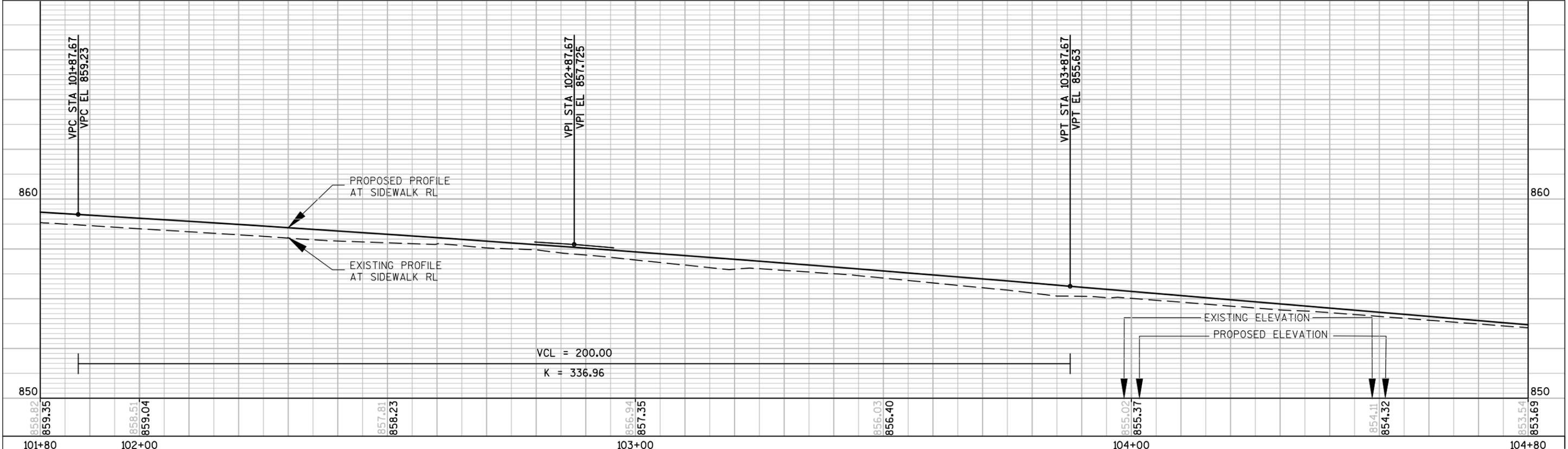
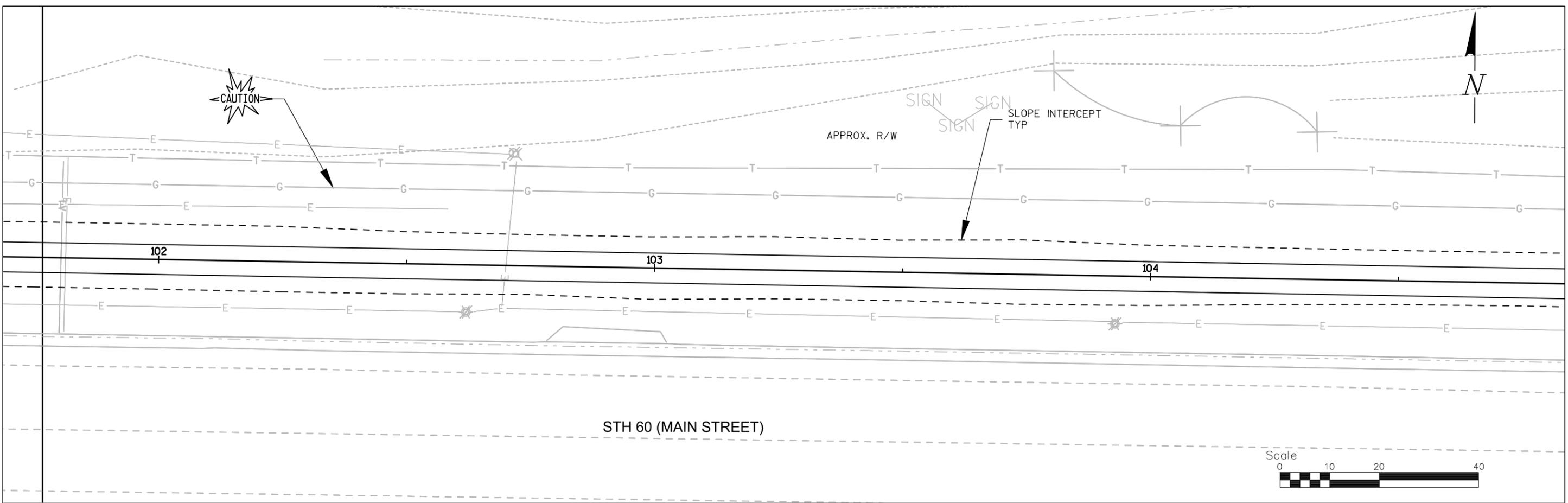
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*Infrastructure Innovation and Ingenuity*  
 10501 W. Research Drive • Milwaukee, WI 53226  
 Phone: (414) 771-3390 Fax: (414) 771-4490

**STONEWALL CONNECTION SIDEWALK  
 RIDGEWAY RD TO EAGLE DR  
 VILLAGE OF JACKSON**

<b>SIGNING AND MARKING</b>			Date 8/26/16
Designer <b>HAS</b>	Technician <b>HAS</b>	Approval ---	Sheet Number 16



FILE NAME : F:\B\MI-3372-Jackson STH 60 Trail - Village of Jackson\3372-Jackson STH 60 Trail - Village of Jackson\C3d4d#Sheets\Plans\050102-pp.dwg  
 PLOT BY : ----  
 SHEET SET : 5.00  
 PLOT SCALE : 40:1



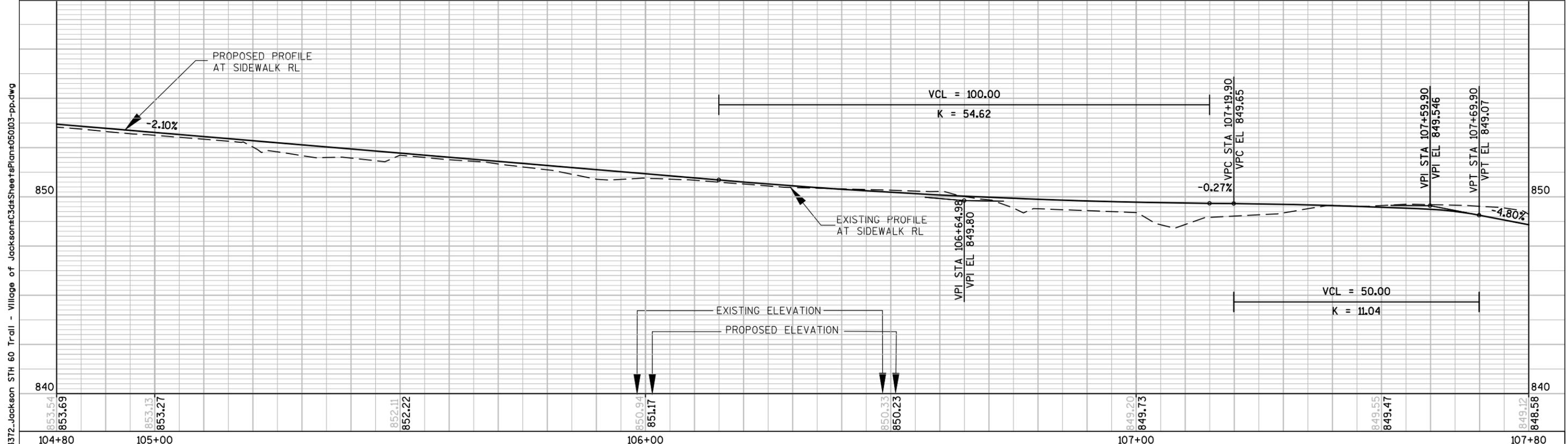
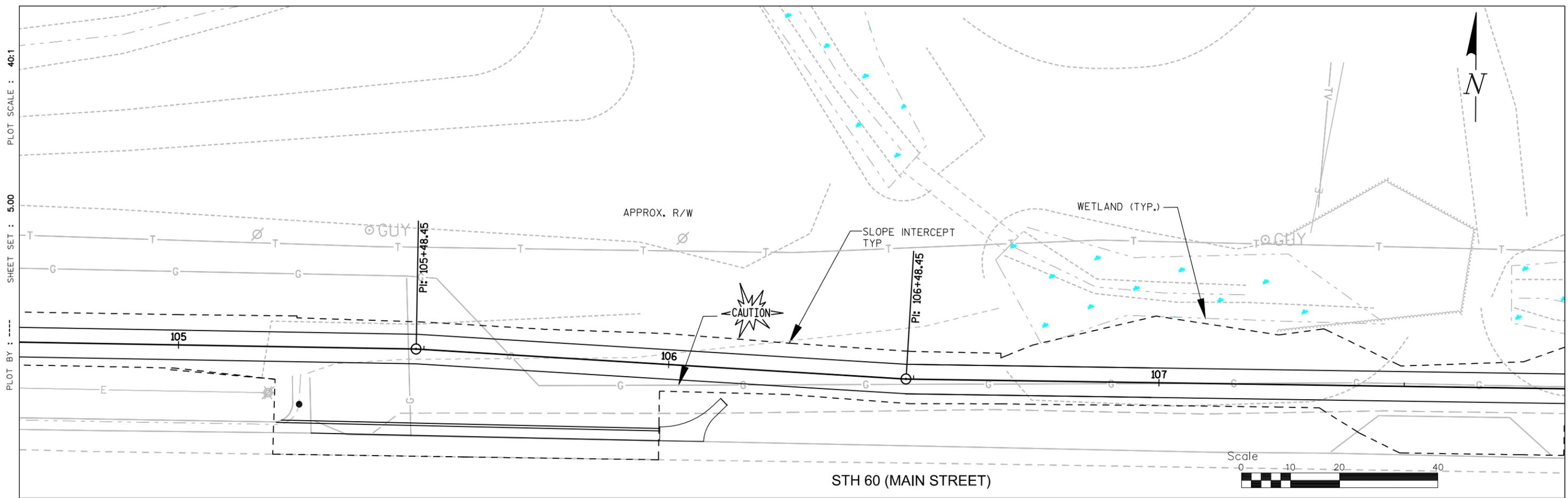
**BLOOM COMPANIES, LLC**  
*Infrastructure Innovation and Ingenuity*  
 10501 W. Research Drive • Milwaukee, WI 53226  
 Phone: (414) 771-3390 Fax: (414) 771-4490

**STONEWALL CONNECTION SIDEWALK  
 RIDGEWAY RD TO EAGLE DR  
 VILLAGE OF JACKSON**

<b>PLAN &amp; PROFILE</b>			Date 8/26/16
Designer <b>HAS</b>	Technician <b>HAS</b>	Approval ---	Sheet Number 19

PLOT BY : ---- SHEET SET : 5.00 PLOT SCALE : 40:1

FILE NAME : F:\B\MI-3372-Jackson STH 60 Trail - Village of Jackson\3d\Sheets\Plan\050003-pp.dwg



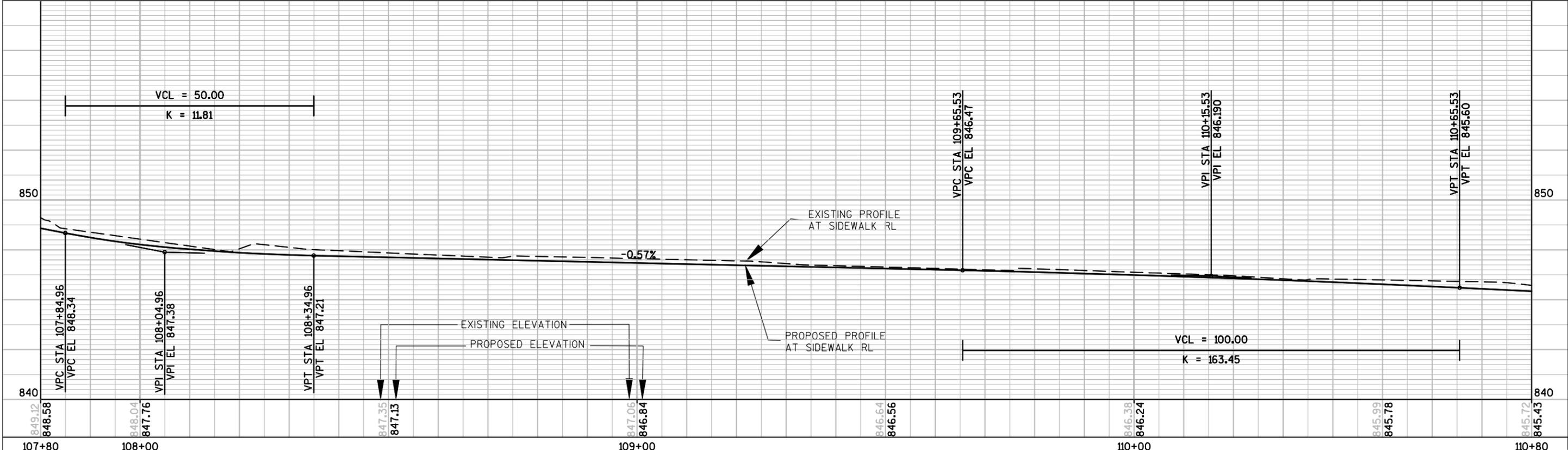
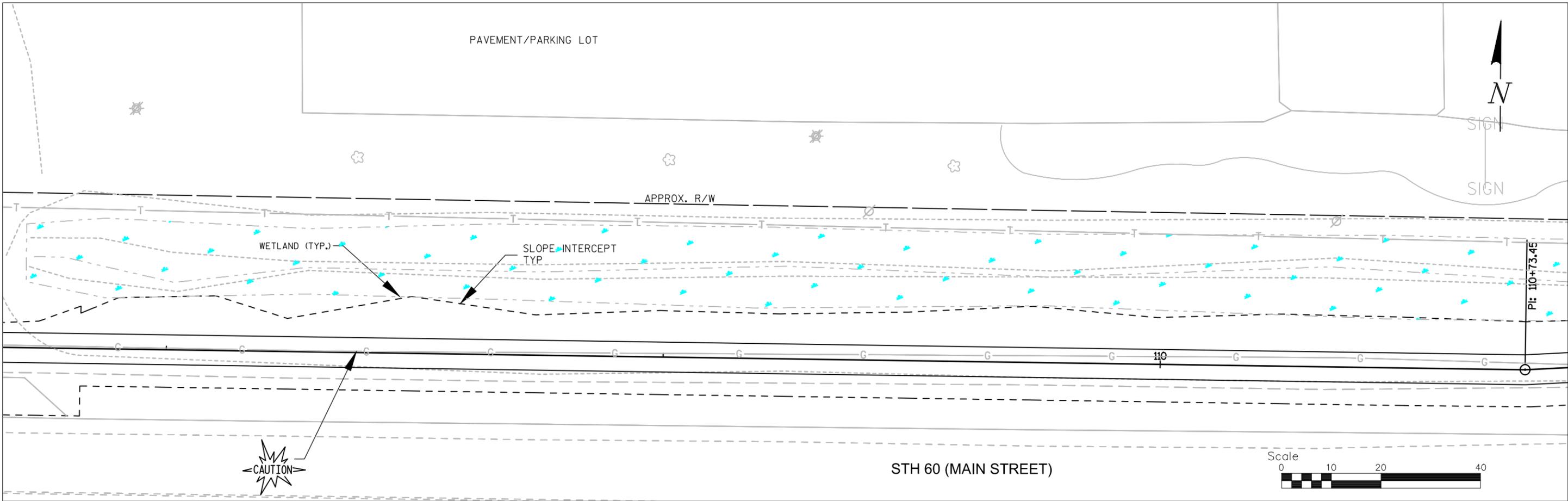
**BLOOM COMPANIES, LLC**  
*Infrastructure Innovation and Ingenuity*  
 10501 W. Research Drive • Milwaukee, WI 53226  
 Phone: (414) 771-3390 Fax: (414) 771-4490

**STONEWALL CONNECTION SIDEWALK  
 RIDGEWAY RD TO EAGLE DR  
 VILLAGE OF JACKSON**

<b>PLAN &amp; PROFILE</b>			Date 8/26/16
Designer <b>HAS</b>	Technician <b>HAS</b>	Approval ---	Sheet Number 20

PLOT BY : -----  
SHEET SET : 5.00  
PLOT SCALE : 40:1

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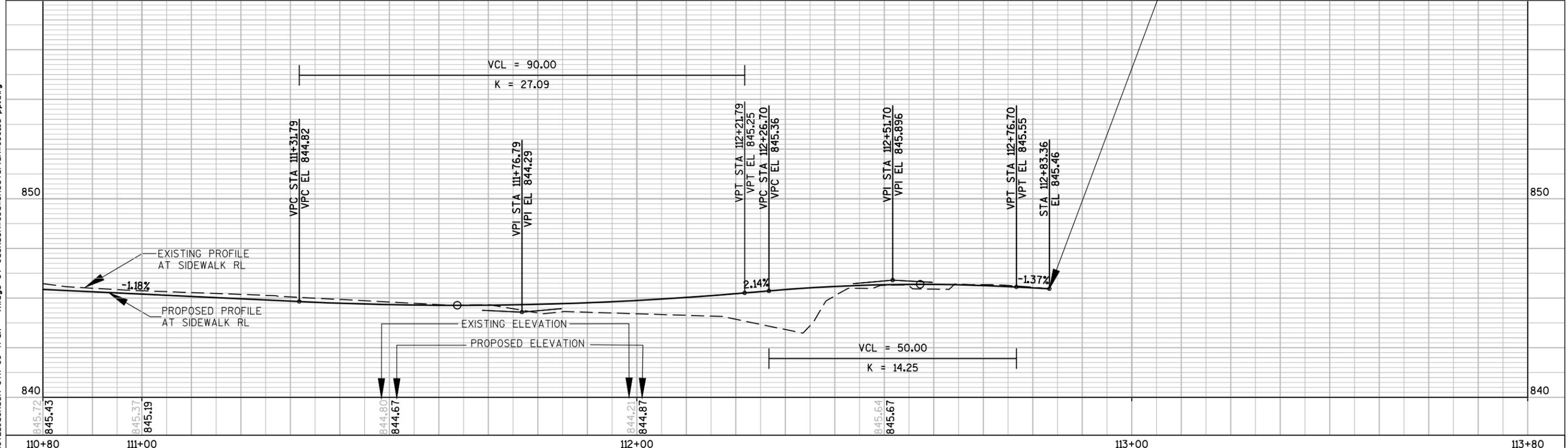
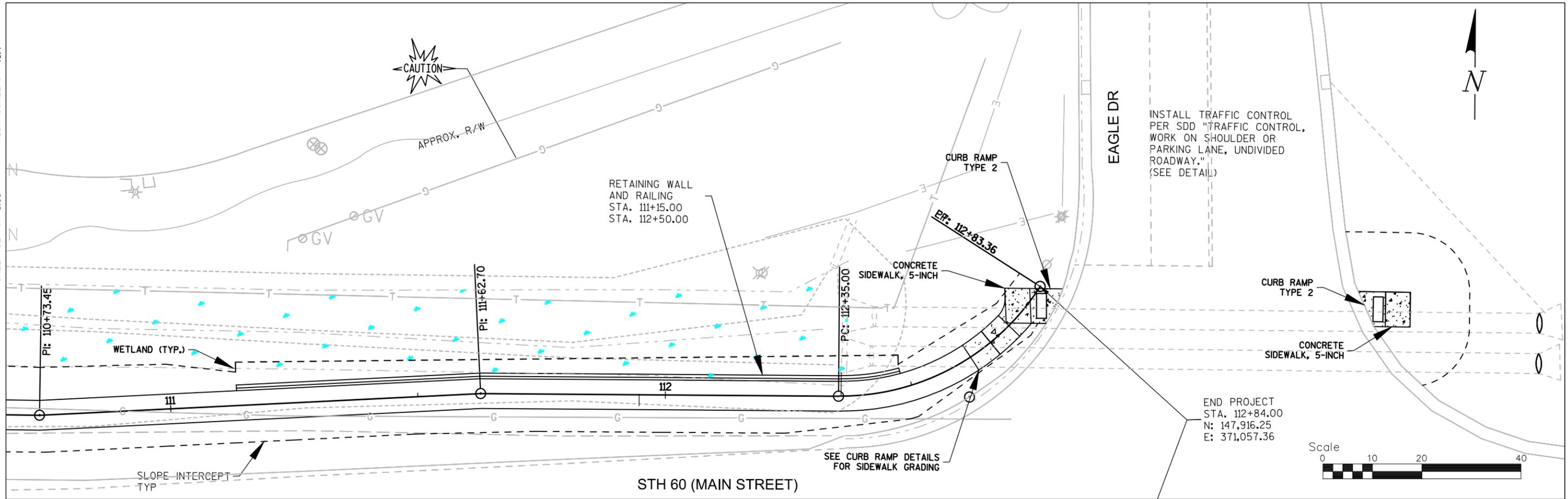


**BLOOM COMPANIES, LLC**  
Infrastructure Innovation and Ingenuity  
10501 W. Research Drive • Milwaukee, WI 53226  
Phone: (414) 771-3390 Fax: (414) 771-4490

**STONEWALL CONNECTION SIDEWALK  
RIDGEWAY RD TO EAGLE DR  
VILLAGE OF JACKSON**

<b>PLAN &amp; PROFILE</b>			Date 8/26/16
Designer <b>HAS</b>	Technician <b>HAS</b>	Approval ---	Sheet Number 21

FILE NAME : F:\B\MI-3372-Jackson STH 60 Trail - Village of Jackson\3372-Jackson STH 60 Trail - Village of Jackson\3372-Jackson STH 60 Trail - Village of Jackson\050005-pp.dwg  
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 PLOT SCALE : 40:1



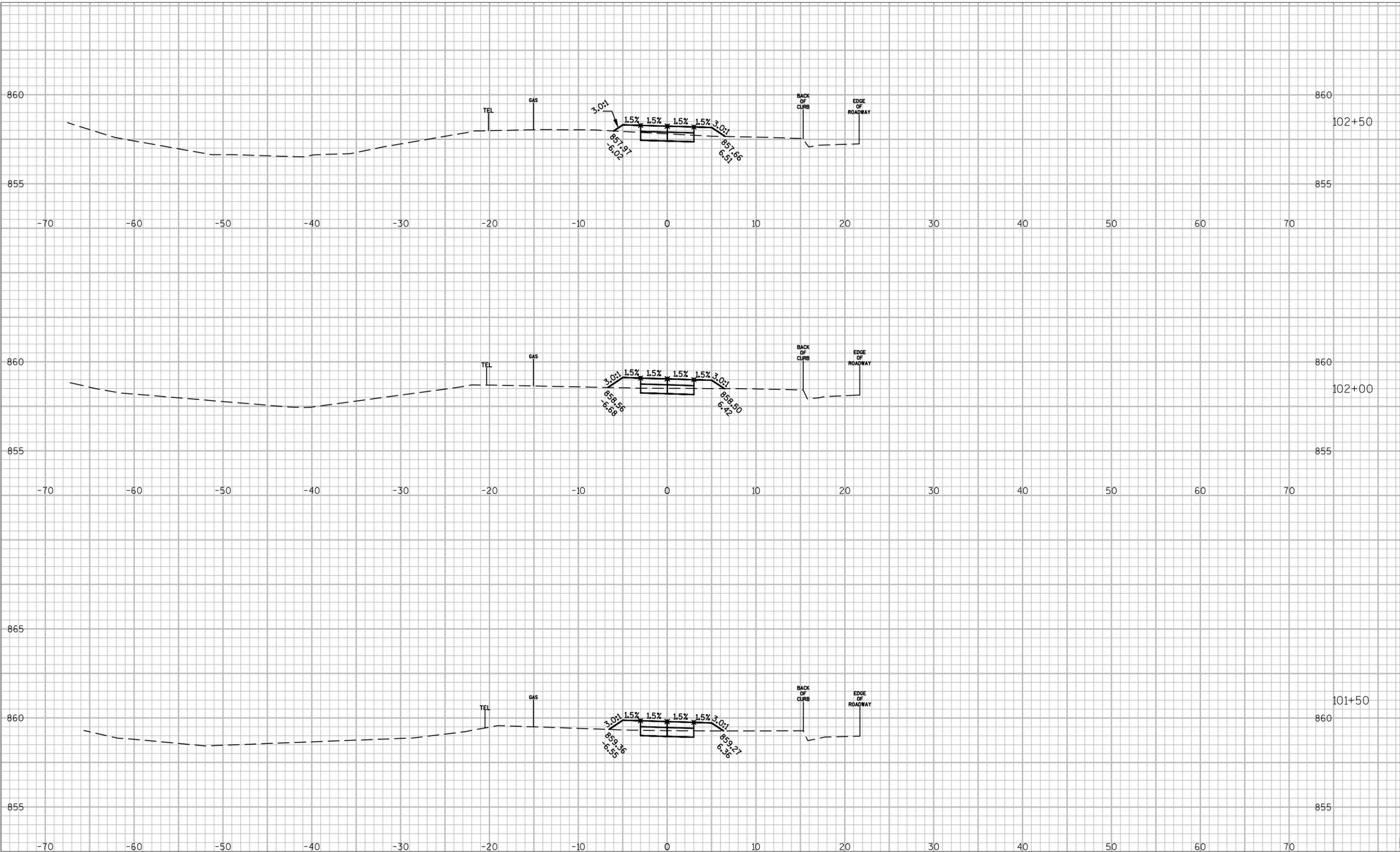
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**STONEWALL CONNECTION SIDEWALK  
 RIDGEWAY RD TO EAGLE DR  
 VILLAGE OF JACKSON**

<b>PLAN &amp; PROFILE</b>			Date 8/26/16
Designer <b>HAS</b>	Technician <b>HAS</b>	Approval ---	Sheet Number 22



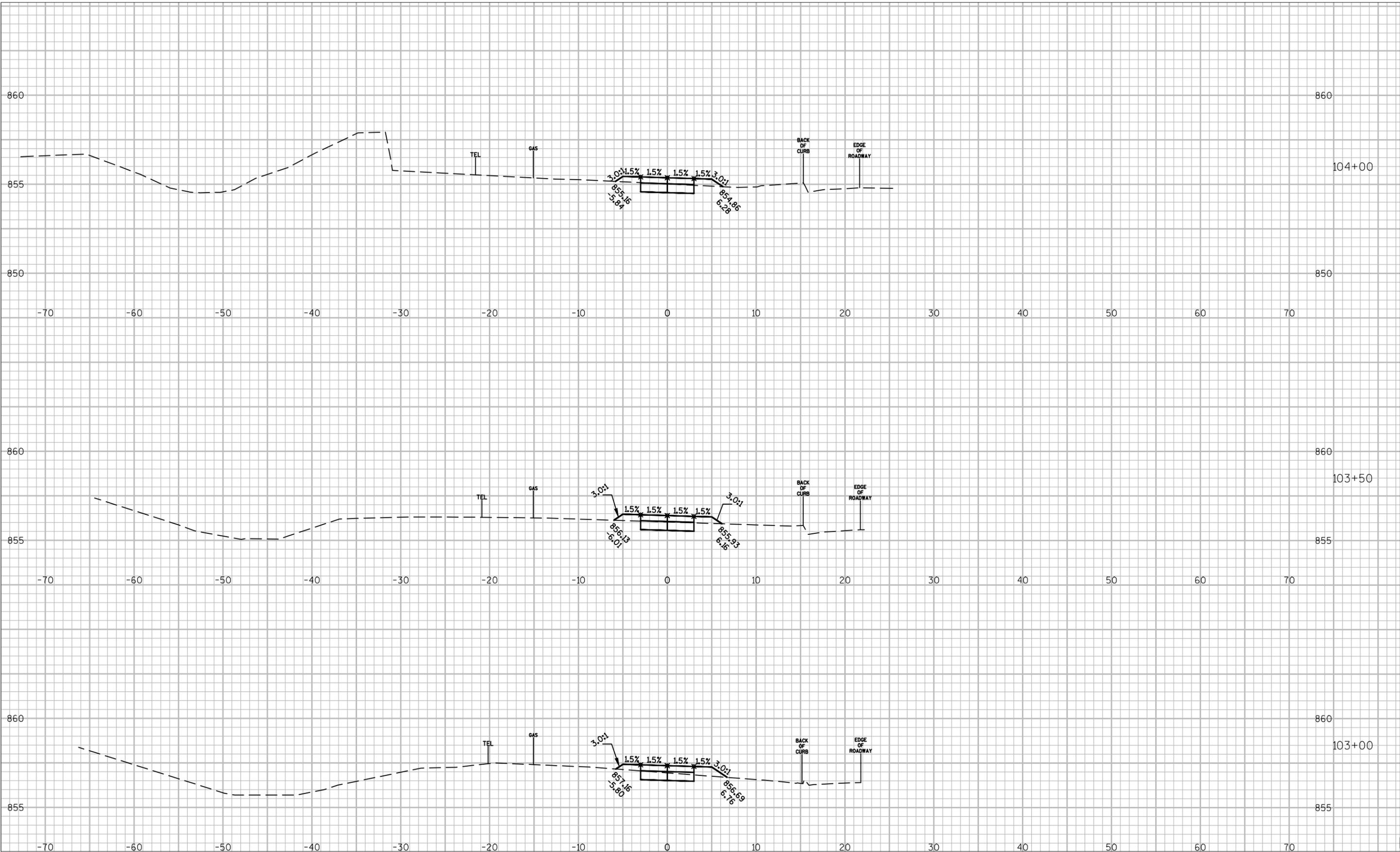
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PLOT DATE : 10/20/14  
PLOT BY : HEATHER STABO  
SHEET SET : 5.00  
PLOT SCALE : 10:1



# STONEWALL CONNECTION SIDEWALK RIDGEWAY RD TO EAGLE DR VILLAGE OF JACKSON

CROSS SECTIONS			Date
Designer	Technician	Approval	8/26/16
HAS	HAS	---	Sheet Number 24

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 PLOT SCALE : 10:1



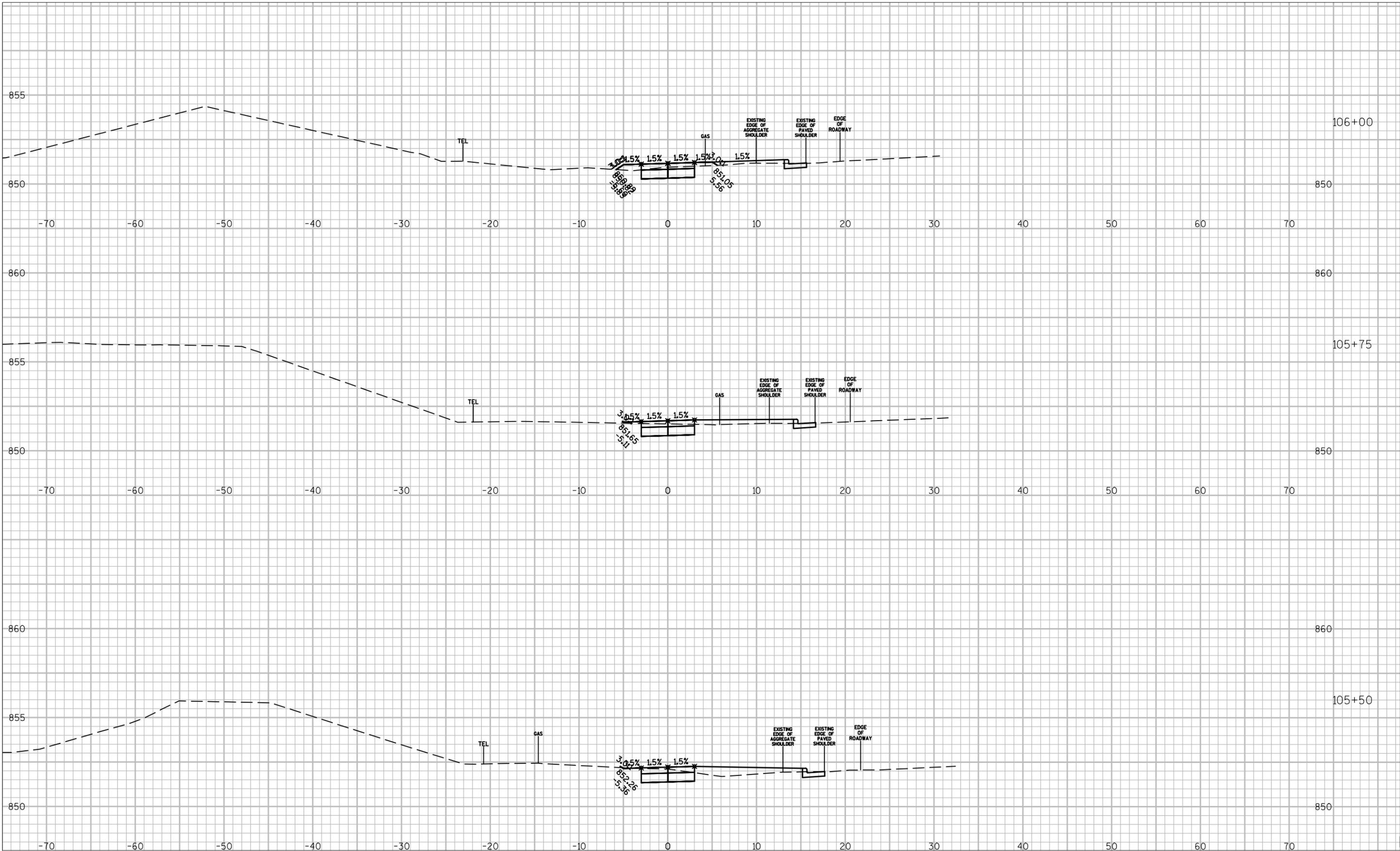
**STONEWALL CONNECTION SIDEWALK  
 RIDGEWAY RD TO EAGLE DR  
 VILLAGE OF JACKSON**



CROSS SECTIONS			Date
Designer	Technician	Approval	8/26/16
HAS	HAS	---	Sheet Number
			25



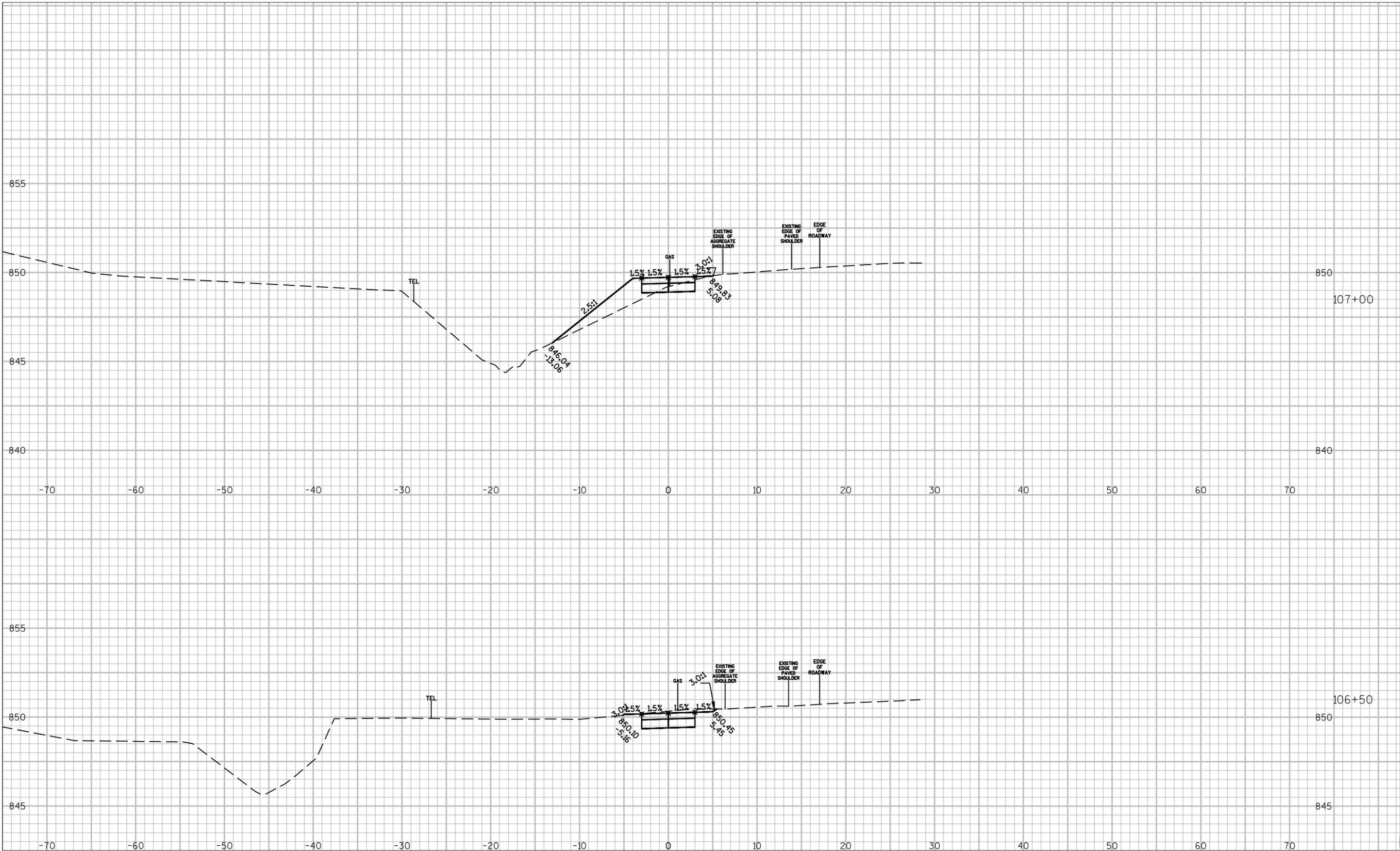
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PLOT DATE : 10/20/14  
PLOT BY : HEATHER STABO  
SHEET SET : 5.00  
PLOT SCALE : 10:1



# STONEWALL CONNECTION SIDEWALK RIDGEWAY RD TO EAGLE DR VILLAGE OF JACKSON

CROSS SECTIONS			Date
Designer	Technician	Approval	8/26/16
HAS	HAS	---	Sheet Number 27

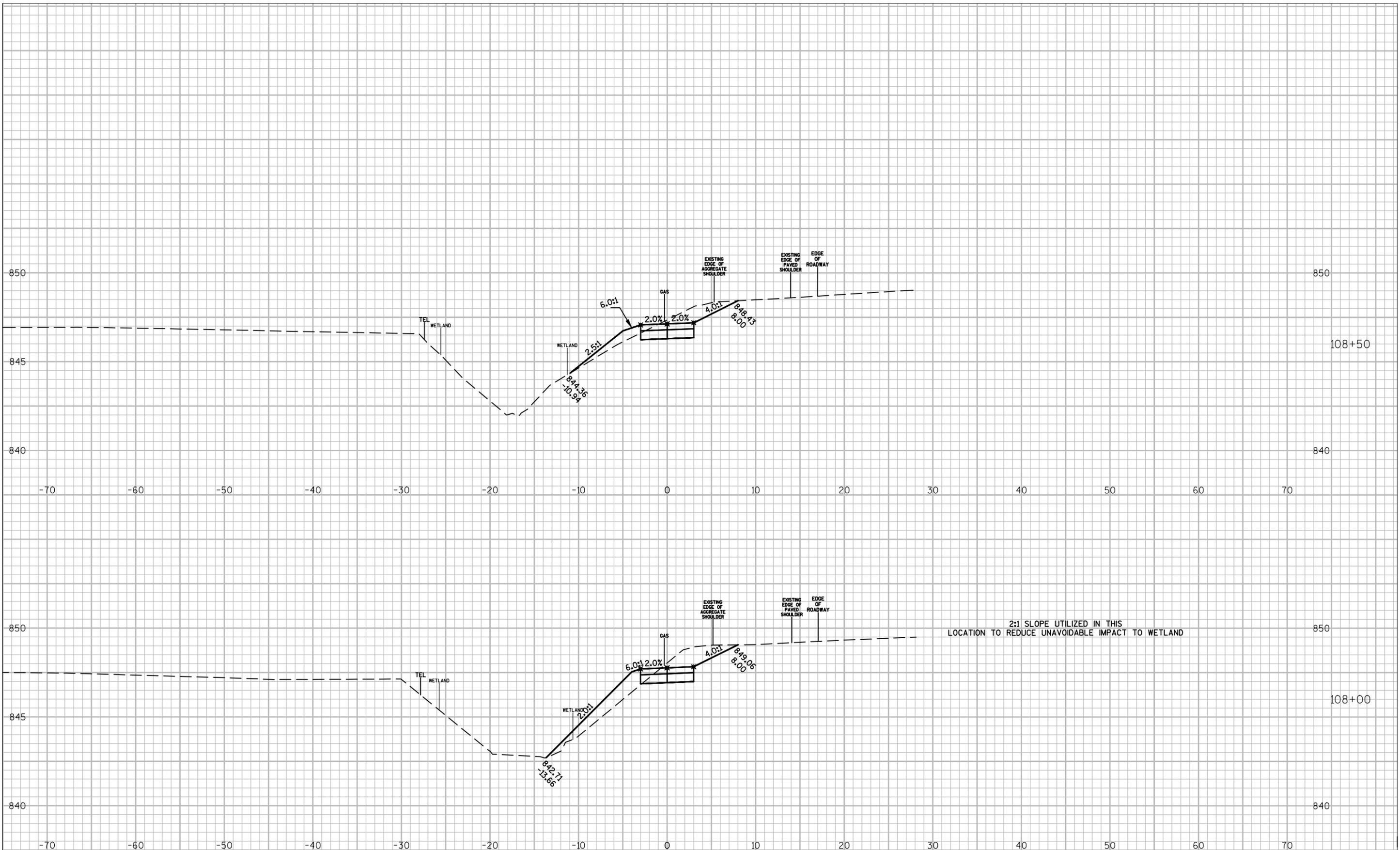
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PLOT DATE : 11/4/14  
PLOT BY : HEATHER STABO  
SHEET SET : 5.00  
PLOT SCALE : 10:1



**STONEWALL CONNECTION SIDEWALK  
RIDGWAY RD TO EAGLE DR  
VILLAGE OF JACKSON**

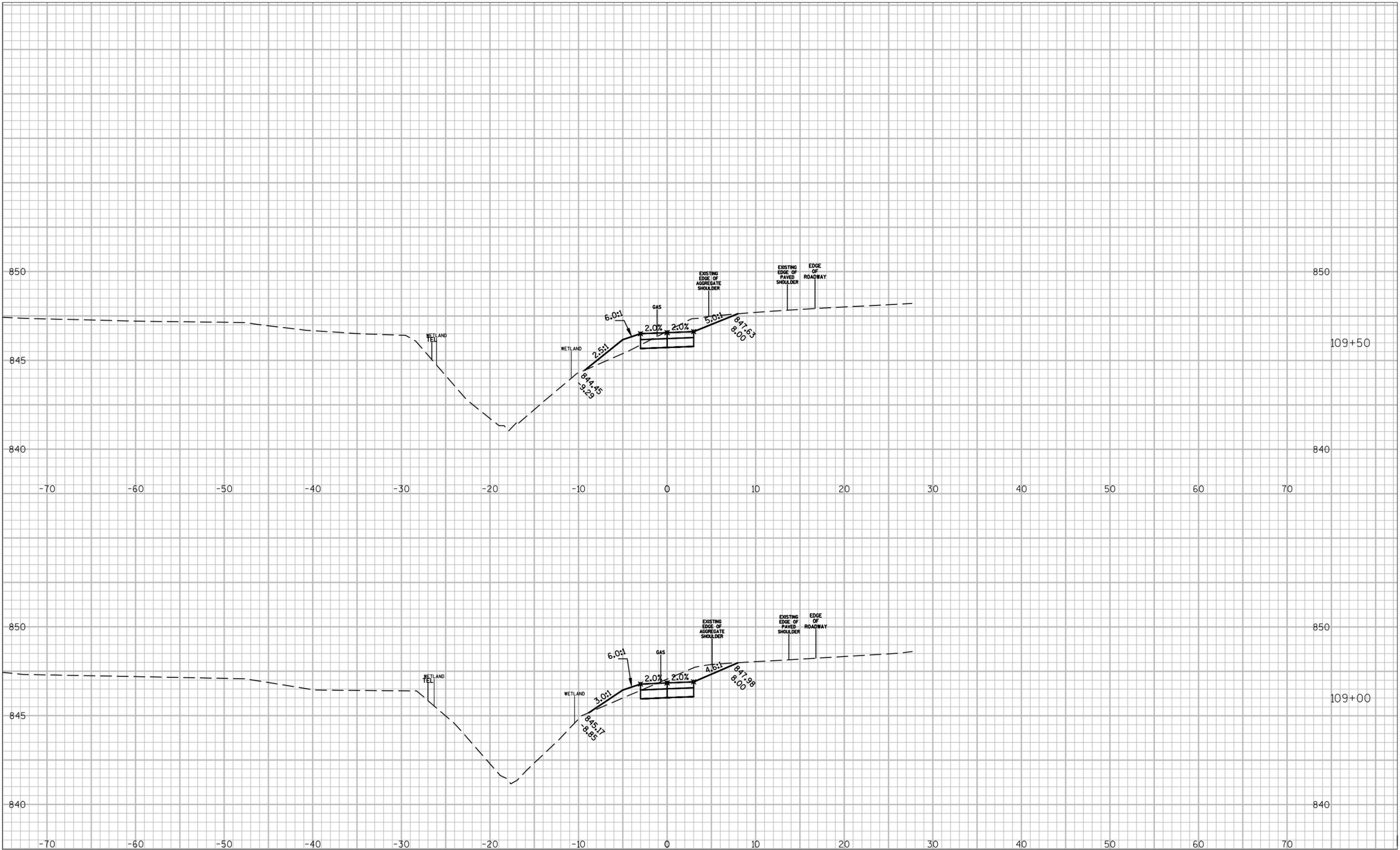


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SHEET SET : 5.00  
PLOT SCALE : 10:1



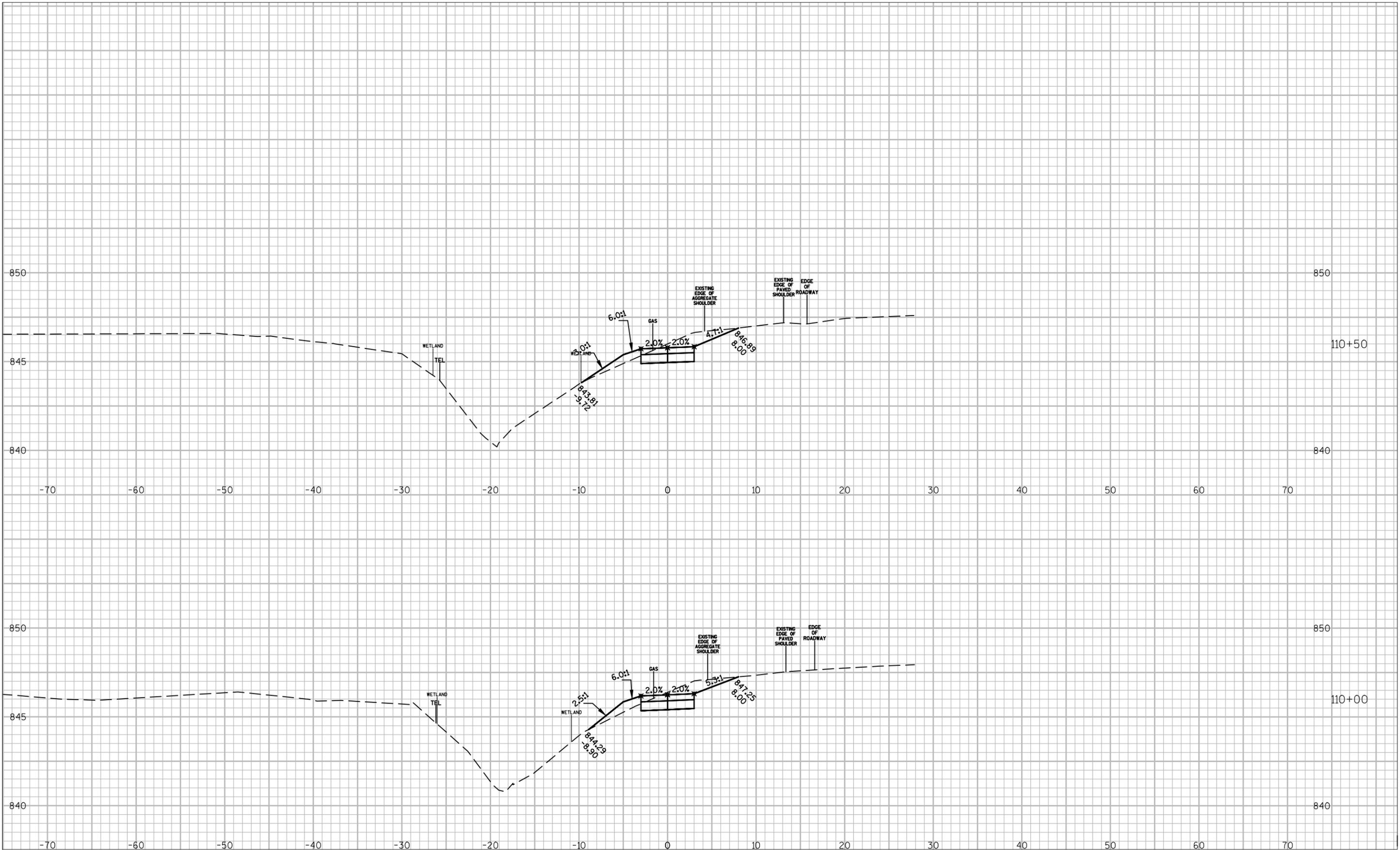
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PLOT BY : HEATHER STABO  
SHEET SET : 5.00  
PLOT SCALE : 10:1



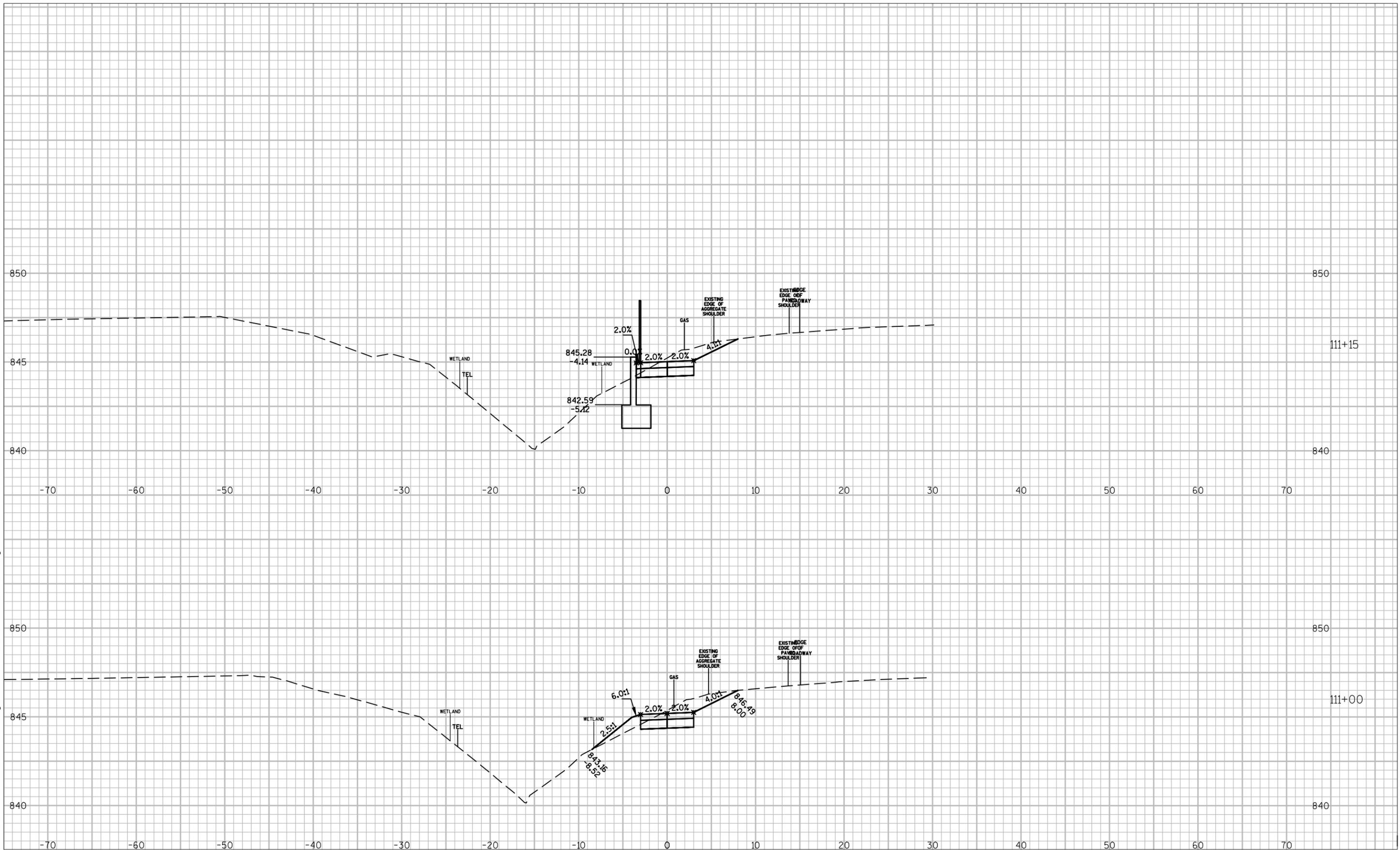
**STONEWALL CONNECTION SIDEWALK  
RIDGEWAY RD TO EAGLE DR  
VILLAGE OF JACKSON**

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PLOT BY : HEATHER STABO  
SHEET SET : 5.00  
PLOT SCALE : 10:1



**STONEWALL CONNECTION SIDEWALK  
RIDGEWAY RD TO EAGLE DR  
VILLAGE OF JACKSON**

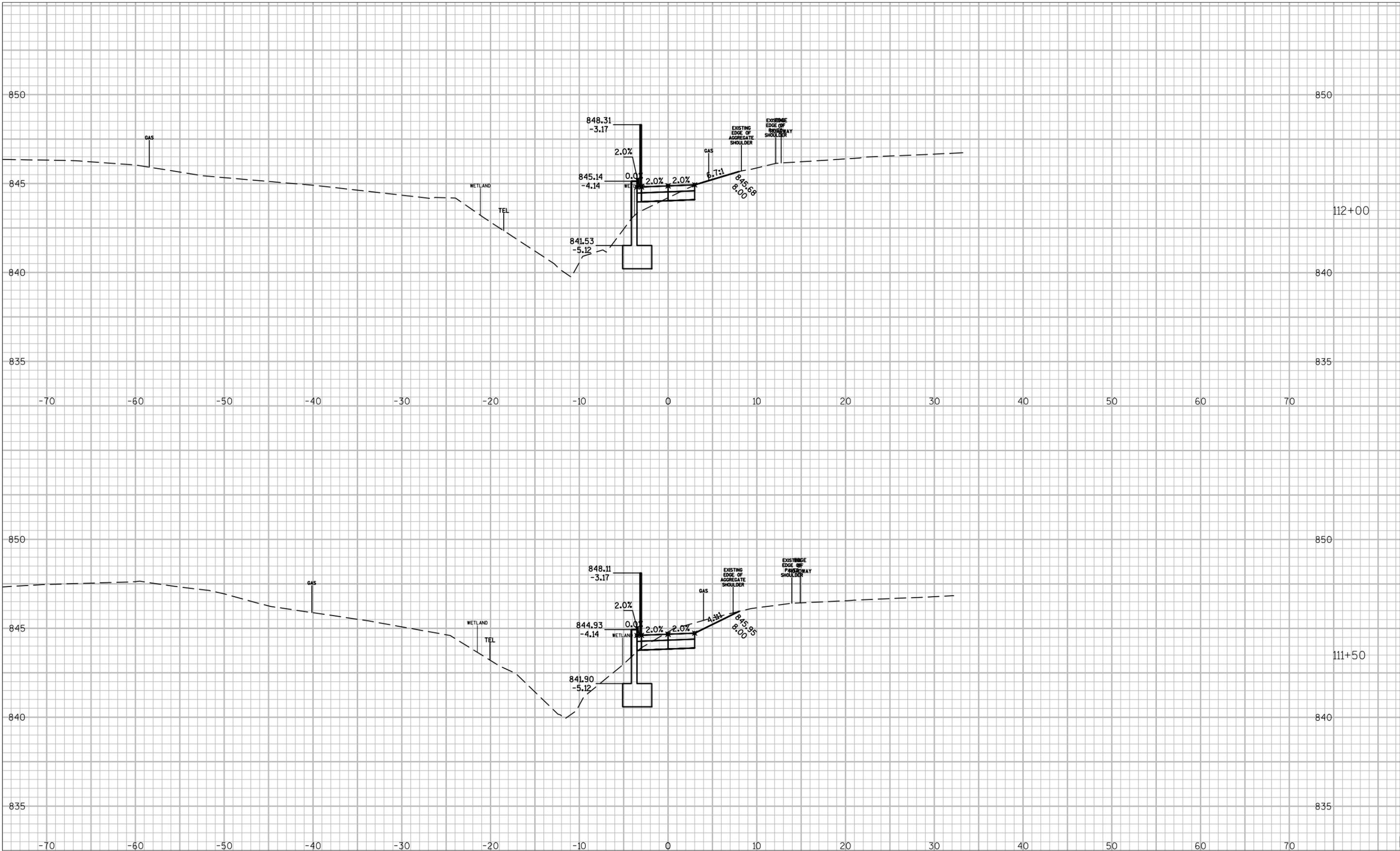
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# STONEWALL CONNECTION TRAIL RIDGEWAY RD TO EAGLE DR VILLAGE OF JACKSON

CROSS SECTIONS			Date
Designer	Technician	Approval	8/26/16
HAS	HAS	---	Sheet Number 33

FILE NAME : F:\BIM\3372-Jackson STH 60 Trail - Village of Jackson\C3d\Sheets\Plan\ss.dwg  
PLOT DATE : 11/4/14  
PLOT BY : HEATHER STABO  
SHEET SET : 5.00  
PLOT SCALE : 10:1

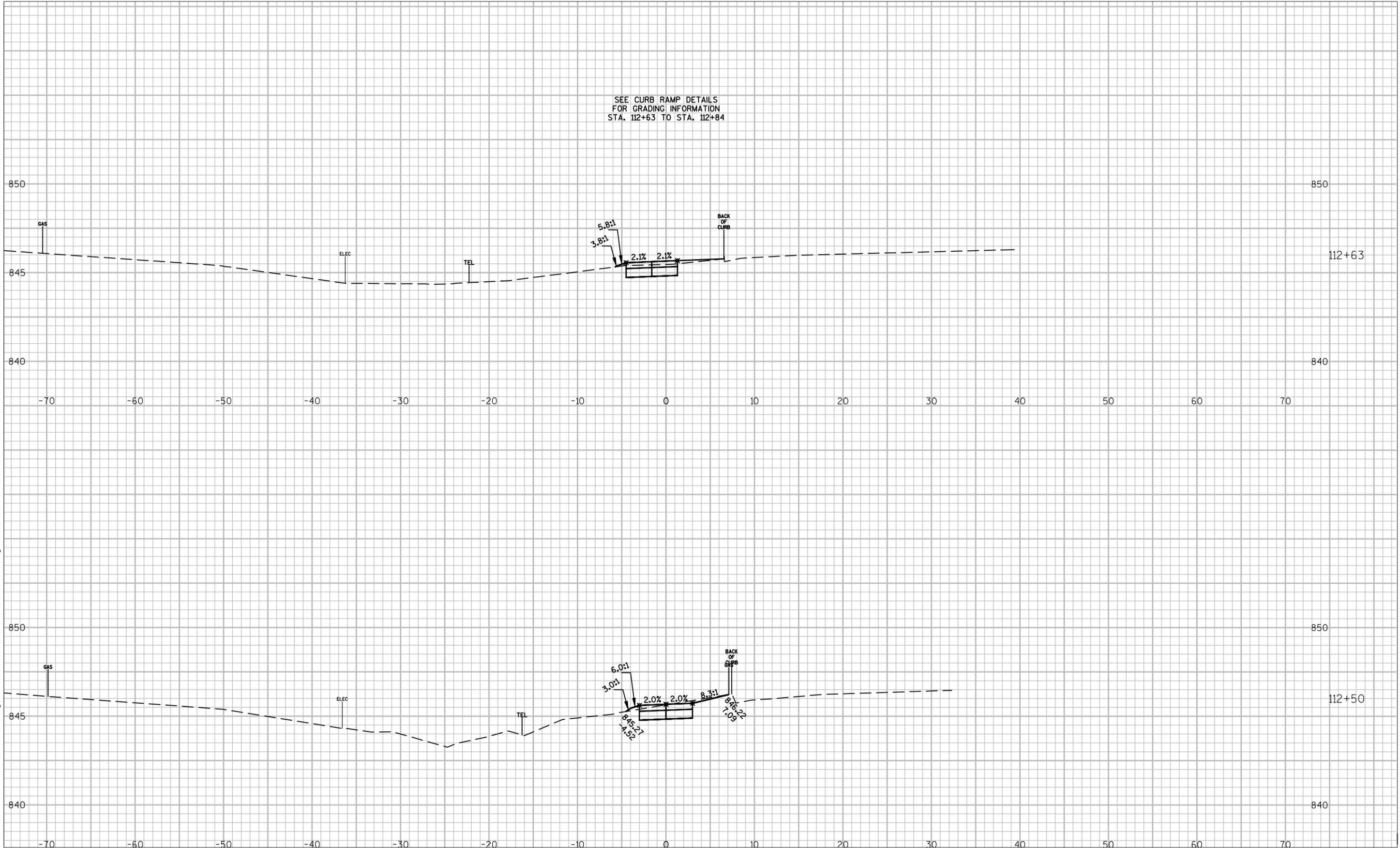


# STONEWALL CONNECTION TRAIL RIDGEWAY RD TO EAGLE DR VILLAGE OF JACKSON

CROSS SECTIONS			Date
Designer	Technician	Approval	8/26/16
HAS	HAS	---	Sheet Number
			34

FILE NAME : F:\BIM\3372-Jackson STH 60 Trail - Village of Jackson\C3d#Sheets\Plans\ss.dwg  
PLOT DATE : 11/4/14  
PLOT BY : HEATHER STABO  
SHEET SET : 5.00  
PLOT SCALE : 10:1

SEE CURB RAMP DETAILS  
FOR GRADING INFORMATION  
STA. 112+63 TO STA. 112+84

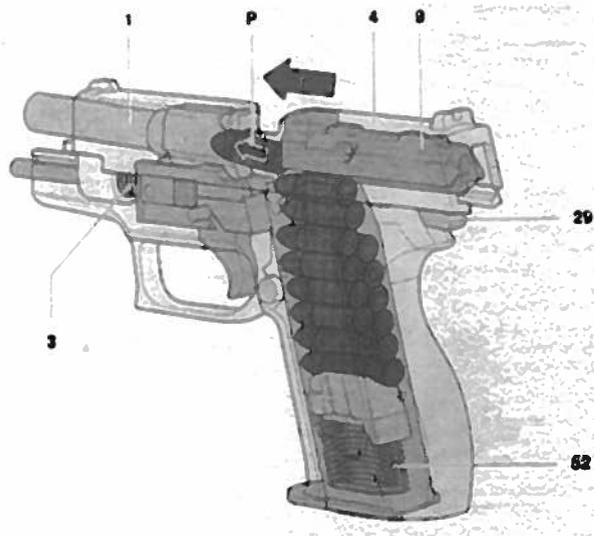


**MEMO**

**To** Budget & Finance Committee  
**From** Chief Jed Dolnick  
**Date** October 5, 2016  
**Subject** Request to Use Funds for Replacement Weapons

We purchased the current Smith & Wesson M&P caliber pistols five years ago. Some of you may recall that four of the pistols jammed on the firing range due to improperly machined barrels. The pistols were replaced and, in the subsequent years, were fired at the range without incident. However, during our most recent qualification last month, two pistols jammed. One pistol was a replacement, but the other pistol was from the original group and, to this point, had never jammed.

To explain, when all of the rounds in a magazine have been fired, the officer ejects it, inserts a new magazine and releases the slide on the top of the pistol, which is supposed to load the first bullet. It's at this point that there's a "failure to feed". In this picture of a generic pistol, the round marked 'P' is roughly where the jam occurs.



**We use high quality Federal ammunition.**

**Because a firearm is a mechanical device, we practice how to clear the most common jams using the "tap-rack-bang" drill. This issue, however, is more serious and takes longer to clear. Since it occurs when the officer is reloading, it will happen when the officer is under attack and seconds can't be wasted.**

**It's time to cut ties to Smith & Wesson. I'm requesting permission to purchase thirteen Sig Sauer P320 9mm pistols and holsters for a total cost of \$3,793, with funds coming from the \$10,121 that we earned auctioning the Expedition. The purchase price is after a trade-in of \$220 for each S&W pistol.**

**DRAFT MINUTES**  
**Board of Public Works Meeting**  
**Thursday, September 29, 2016 – 7:10 P.M.**  
**Jackson Village Hall**  
**N168W20733 Main Street**

**1. Call to Order and Roll Call.**

Chairman Tr. Don Olson called the meeting to order at 7:10 p.m.  
Members present: Brian Heckendorf, Linda Granec, Tr. Kufahl, and Tr. Jack Lippold.  
Members excused: Gloria Teifke, Scott Thielmann  
Others Present: Tr. Kruepke, Tr. Kurtz, Pres. Schwab, Tr. Emmrich  
Staff present: John Walther, Brian Kober, and Jim Micech.

**2. Approval of Minutes for August 30, 2016 meeting.**

Motion by Tr. Kufahl, second by Tr. Lippold to approve the minutes of the August 30, 2016, Board of Public Works meeting.  
Vote: 5 ayes, 0 nays. Motion carried.

**3. Space Needs Analysis Presentation – Cedar Corp.**

Brian Kober introduced the item as a continuation of the presentation. The next step is to look at the sites and further analyze the sites. This is a four step process, for a fee of \$44,650 which will come out of the Police & Fire Impact Fees. Tr. Olson commented on the financial plan and if it needs to be revisited.

Motion by Tr. Kufahl, second by Tr. Olson to Recommend Approval of Space Needs Analysis in an amount not to exceed \$44,650.  
Vote: 5 ayes, 0 nays. Motion carried.

**4. Review of Stonewall Sidewalk Project Plan and Proposal.**

Brian commented that he is working with the DOT and is waiting for one more person at the DOT to review. This will be a six foot wide sidewalk with no bikes. There will be 135 feet of railing. A flume is half way through and in the middle of the path and there will be 90 feet of curbing. The original bid was dated July of 2015. It has been a year of working with the DOT. This is for safe passage. The grant money is still available. Discussion ensued of possible assessment to the properties.

Motion by Tr. Olson, second by Tr. Kufahl to recommend approval of the Stonewall Sidewalk Project Plan and Proposal in an amount not to exceed \$146,867.  
Vote: 5 ayes, 0 nays. Motion carried.

**5. 2017 Budget Presentation – Building Inspection Department.**

Jim Micech gave the 2017 Budget Presentation for the Building Inspection Department. He reviewed the revenues and expenses for the building inspection department. In addition he discussed a needed tablet and software for the department. He commented that the software has been developed and is waiting. The software will allow inspection reports to be paperless and to be sent wireless. Discussion of purchasing the tablet and software this year ensued.

Motion by Tr. Olson, second by Linda Granec to forward the Building Inspection Budget to the Budget & Finance Committee and Village Board; and, if numbers for the tablet and software are available to adjust those numbers from the 2017 budget and propose to go forward on the capital expenditure this year.

Vote: 5 ayes, 0 nays. Motion carried.

**6. 2017 Five year Capital Improvements Program.**

Brian Kober presented the 2017 Five Year Capital Improvements Program. He reviewed the past capital improvements and the upcoming capital improvements and items. Upcoming projects included Chateau Drive, from Wilshire to the end.

**7. 2017 – Public Works Equipment Program.**

Brian Kober presented the Public Works 2017 Equipment Plan.

**8. 2017 Budget Presentation – Water & Wastewater Utility & Public Works.**

Brian Kober presented the 2017 Water & Wastewater Utility & Public Works 2017 Budget.

**9. Director of Public Works Report.**

Brian Kober reported that Bill Waech won the State Wide Snow Plow Rodeo. Bill exceeded at the written test, the truck inspection, and the driving course. Brian displayed the plaques.

Motion by Tr. Lippold, second by Linda Granec to place the report on file.

Vote: 5 ayes, 0 nays. Motion carried.

**10. Citizens/Village Staff to address the Board.**

Pres. Schwab questioned if the permit program will allow applicants to apply for a permit on-line. Jim commented not yet.

It was questioned about the second installation of asphalt in Stonewall. This item may become an assessment to the property.

**11. Adjourn.**

Motion by Tr. Kufahl, second by Linda Granec to adjourn at 9:00 p.m.

Vote: 5 ayes, 0 nays. Motion carried.

Respectfully submitted by: Deanna L. Boldrey, Village Clerk-Treasurer

**DRAFT MINUTES  
PLAN COMMISSION MEETING  
Thursday – September 29, 2016 – 7:00 pm  
Jackson Village Hall  
N168W20733 Main St  
Jackson, WI 53037**

**1. Call to Order & Roll Call.**

Chairperson Mike Schwab called the meeting to order at 7:00 p.m.  
Members present: Steve Schoen, Greg Winn, Tr. Emmrich, Jeff Dalton, and Peter Habel.  
Others present: Tr. Olson, Tr. Kufahl, Tr. Kurtz, Tr. Kruepke, Tr. Lippold  
Staff present: John Walther, Brian Kober, Jim Micech.

**2. Minutes – August 25, 2016, Plan Commission Meetings.**

Motion by Peter Habel, second by Tr. Emmrich to approve the minutes of August 25, 2016, with correction.  
Vote: 7 ayes, 0 nays. Motion carried.

**3. Conditional Use – Nelson – Three Dogs Stonehedge Dr.**

The Nelson's were at the meeting. They currently have two dogs. They did receive staff comments. Tr. Kruepke commented on the staff comments and the request for five dogs; and the agenda states three dogs. Discussion of the request ensued for three dogs rather than five. The request is to be able to foster a dog or dogs as needed. Direct neighbors are all for it.  
Motion by Peter Habel, second by Tr. Emmrich to Recommend the Village Board Approve the Conditional Use for Three Dogs on Stonehedge Drive for the Nelson's, subject to staff comments.  
Vote: 7 ayes, 0 nays. Motion carried.

**4. Conditional Use – Piotrowski – Three Dogs-Willow Ridge Dr.**

The Piotrowski's were at the meeting and had received the staff comments. They had discussed with their neighbors.  
Motion by Peter Habel, second by Tr. Emmrich to Recommend the Village Board Approve the Conditional Use for Three Dogs on Willow Ridge for the Piotrowski's, subject to staff comments.  
Vote: 7 ayes, 0 nays. Motion carried.

**5. Citizens to address the Plan Commission.**

None.

**6. Adjourn.**

Motion by Peter Habel, second by Tr. Kruepke to adjourn.  
Vote: 7 ayes, 0 nays. Meeting was adjourned at 7:05 p.m.

Respectfully submitted by Deanna L. Boldrey – Clerk / Treasurer