

Agenda
Budget & Finance Committee Meeting
Tuesday, September 13, 2016 at 7:00 p.m.
Jackson Village Hall
N168W20733 Main St
Jackson, WI 53037

1. Call to Order & Roll Call.
2. Approval of Budget & Finance Minutes: August 9, 2016.
3. Approval of August 2016 Treasurer's Report and Check Register.
4. Bids for Industrial Drive Sidewalk Project.
5. Resolution #16-18 Preliminary Assessment Area Industrial Drive Sidewalk Project.
6. Final Pay Request – Jackson Drive Sidewalk Project.
7. Pay Request #4 – Wilshire Drive Reconstruction Project.
8. Resolution #16-19 Authorizing the Levy of Special Assessments against Benefited Property Associated with the Wilshire Drive Reconstruction Project.
9. Renewal of Assessor Contract – Grota Appraisals, LLC.
10. Citizens to address the Budget & Finance Committee.
11. Adjourn.

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting.

It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

DRAFT MINUTES
Budget & Finance Committee Meeting
Tuesday, August 9, 2016 at 7:00 p.m.
Jackson Area Community Center
N165 W20330 Hickory Lane
Jackson, WI 53037

1. Call to Order & Roll Call.

President Schwab called the meeting to order at 7:04 p.m.
Members Present: President Schwab, Trustees Olson and Kurtz.
Members Absent: None
Village Board Members Present: John Kruepke
Staff Present: John Walther, Brian Kober, Fire Chief Swaney, Jim Micech, Kelly Valentino.

2. Approval of Budget & Finance Minutes: July 12, 2016, Meeting.

Motion by Pres. Schwab, second by Tr. Olson to approve the minutes for the July 12, 2016 meeting.
Vote: 3 ayes, 0 nays. Motion carried.

3. Approval of the July Treasurer's Report and Check Register.

The July Treasurer's Report and Check Register were reviewed.
Motion by Tr. Olson, second by Tr. Kurtz to approve the Treasurer's Report and Check Register.
Vote: 3 ayes, 0 nays. Motion carried.

4. Trip and Fall Claim – Marlyss Thiel.

John Walther explained that the fall occurred on Tartan Court sidewalk, during the Village Wide Rummage sale. The Village has inspected the sidewalk and has ordered the sidewalk be repaired by the homeowner. The Village's insurance company has recommended denial of the claim.
Motion by Tr. Olson, second by Pres. Schwab to recommend denial of the Trip and Fall Claim – Marlyss Thiel.
Vote: 3 ayes, 0 nays. Motion carried.

5. Fire Department Cots and Cot Loading System.

Fire Chief Aaron Swaney presented detail on the Cots and Cot Loading System. President Schwab asked, what is the life expectancy of the system? Chief Swaney replied ten years. After discussion, Motion by Pres. Schwab, second by Tr. Kurtz to recommend approval of the Cots and Cot Loading System in an amount not to exceed \$83,470.00.
Vote: 3 ayes, 0 nays. Motion carried.

6. Pay Request #3 – Wilshire Drive Reconstruction Project.

Brian Kober reported on the status of the project. The Board of Public Works recommended approval of Pay Request #3 – Wilshire Drive Reconstruction Project in an amount not to exceed \$190,084.21. Motion by Tr. Olson, second by Pres. Schwab to recommend approval of Pay Request #3 – Wilshire Drive Reconstruction Project in an amount not to exceed \$190,084.21.

Vote: 3 ayes, 0 nays. Motion carried.

7. Proposal for Engineering Services – Chateau Drive Reconstruction Project.

Brian Kober introduced the item. The Board of Public Works recommended approval of engineering service from Gremmer & Associates for an amount not to exceed \$18,985.00. Motion by Pres. Schwab second by Tr. Kurtz, to recommend approval of engineering service from Gremmer & Associates for an amount not to exceed \$18,985.00.

Vote: 3 ayes, 0 nays. Motion carried.

8. Citizens to address the Budget & Finance Committee.

None.

9. Adjourn.

Motion by Tr. Olson, second by Tr. Kurtz to adjourn at 7:20 p.m.

Vote: 3 ayes, 0 nays. Motion carried.

Respectfully submitted by Brian W. Kober, P.E., Director of Public Works

GENERAL VILLAGE CHECKING

Accounting Checks

Posted From: 8/01/2016 From Account:
Thru: 8/31/2016 Thru Account:

Check Nbr	Check Date	Payee	Amount
90773	8/04/2016	ADVANCED DISPOSAL INV #E11117122 / ACCT #E1011086 / JUL 16	36,555.01
90774	8/04/2016	AIRGAS USA, LLC INV #9937413519 / CYL LEASE / STREETS	89.90
90775	8/04/2016	AT&T ADMIN,WWTP,PARKS,JFD,JPD ACCTS	319.53
90776	8/04/2016	AURORA MEDICAL CENTER MAY EVAL / WATER, JUNE SUPPLIES / JFD	904.82
90777	8/04/2016	B&L GRAPHIC SOLUTIONS INV #18578 / EVENT POSTER / REC	25.00
90778	8/04/2016	BEER CAPITOL DISTRIBUTING, INC. CONCESSIONS / REC	121.50
90779	8/04/2016	BRUCE MUNICIPAL EQUIPMENT INV #W00062 / RODDER HOSE REPAIR / WWTP	86.59
90780	8/04/2016	CARQUEST AUTO PARTS FILTERS / STREETS,WATER	27.25
90781	8/04/2016	CAWLEY COMPANY, THE SUPPLIES / JFD	20.60
90782	8/04/2016	CLOTHES CLINIC, INC. INV #238747 / MATS / V HALL	75.18
90783	8/04/2016	COMMERCIAL RECREATION SPECIALISTS INV #9342 / FLAG,BELL / SPLASHPAD	492.85
90784	8/04/2016	COPPER TREE WELLNESS CENTER YOGA-QIGONG / JUNE 28-AUG 9 / REC	224.00
90785	8/04/2016	DANCE REVOLUTION MILWAUKEE LLC INV #84 / JULY 2016 CLASSES / REC	189.00
90786	8/04/2016	DIGGERS HOTLINE INC. JULY 16 TICKETS / WATER,WWTP	183.08
90787	8/04/2016	DOLNICK, JED M. REIMBURSE FOOD-8/2 MEETING / JPD	15.75
90788	8/04/2016	EMERGENCY MEDICAL PRODUCTS, INC. HERMOMETER,SUPPLIES / JFD	833.35
90789	8/04/2016	EQUIPMENT RENTALS INC. INV #126186-2 / BUKCET,EXCAVATOR / PJCT	180.40
90790	8/04/2016	FORE BETTER GOLF, INC. GOLF CLINIC / REC	386.00
90791	8/04/2016	GERKE, KARIE E. PEE WEE SPORTS / JUL 5-AUG 10 / REC	493.50

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90792	8/04/2016	GOGGINS, LAURA REIMBURSE MARKERS / JFD	25.00
90793	8/04/2016	GOSCHEY MECHANICAL INC. BOILER PUMP,AC,TRAPS / WWTP	1,782.83
90794	8/04/2016	GRAEF INV #89484 / STORMWATER / THRU JULY 2	6,253.57
90795	8/04/2016	GROTA APPRAISALS, LLC MAINT OF ASSMNT RECORDS CNTRACT / AUG 16	1,233.89
90796	8/04/2016	HD SUPPLY WATERWORKS, LTD. RECEIVER,TEST PORT / WATER	1,294.28
90797	8/04/2016	HIGH ROLLERS/BADGER TOUR & TRAVEL AUG 9 CASINO TRIP / REC	126.00
90798	8/04/2016	JAHN, RACHELLE PIANO LESSONS / JUL 13-AUG 3 / REC	88.00
90799	8/04/2016	JOHN'S CO2 CO2 CHARGE / JACKSON PARK	43.00
90800	8/04/2016	LEGACY MARTIAL ARTS ACADEMY JUN 27-AUG 22 CLASSES / REC	400.00
90801	8/04/2016	MCCONN, INC. INV #81143 / VULCANIZING FLUID / STRTS	16.82
90802	8/04/2016	MENARDS - WEST BEND SUPPLIES / STRTS,WWTP,PARKS	159.05
90803	8/04/2016	NCL OF WISCONSIN, INC. INV #376219 / LAB SUPPLIES / WWTP	185.96
90804	8/04/2016	OFFICE DEPOT ACCT#42573612 / INV#851935959001 / ADMIN	301.27
90805	8/04/2016	PROS 4 TECHNOLOGY, INC. 75% DOWN PAYMENT / BOARDROOM MEDIA	4,759.50
90806	8/04/2016	REICH, GREGORY CARTOONING / JUL 7-28 / REC	98.00
90807	8/04/2016	REINDERS, INC. INV #1642805 / EQUIPMENT PARTS / PARKS	381.94
90808	8/04/2016	RUSTY BUCKET PRODUCTIONS AUG 11, 2016 MUSIC IN THE PARK / REC	1,200.00
90809	8/04/2016	RW GATE COMPANY INV #2000395 / ACTUATOR / WWTP	2,975.00
90810	8/04/2016	SCARSETH, CHISA PROGRAM REFUND / REC	33.00

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90811	8/04/2016	SKODINSKI, JOHN M. HEALTH & DENTAL / AUG 2016 / JFD	200.76
90812	8/04/2016	SONIER, ROBERT ARCHERY / JULY 14-28 / REC	280.00
90813	8/04/2016	SOS TECHNOLOGIES INV #113286 / DEFIB PADS / JFD	164.50
90814	8/04/2016	SUPERIOR CHEMICAL CORPORATION INV #132488 / DISPENSER / REC	43.41
90815	8/04/2016	THOMPSON, MICHELLE ART CLASSES / JUL 11-AUG 1 / REC	66.00
90816	8/04/2016	USA BLUE BOOK INV #7395 / FILTERS / WWTP	72.46
90817	8/04/2016	VAUGHAN, BILLIE M. FRONT DESK / JULY 2016 / REC	236.25
90818	8/04/2016	WAALA, DANIEL REIMBURSE CELL PHONE,CDL PERMIT / WWTP	80.00
90819	8/04/2016	WASHINGTON COUNTY HUMANE SOCIETY, INC. TALK W/ANIMALS / JULY 12, 2016 / REC	195.00
90820	8/04/2016	WE ENERGIES LIGHTS,PARKS,VILLAGE AACTS	5,607.80
90821	8/04/2016	WE ENERGIES VILLAGE,WATER ACCTS	6,517.10
90822	8/04/2016	WEST BEND FIRE DEPT 4 JULY CALLS / JFD	1,200.00
90823	8/04/2016	WI PARK & RECREATION ASSOCIATION 2016 GROUP MEMBERSHIP x 2 / REC	250.00
90824	8/04/2016	WILL, RHONDA PROGRAM REFUND / REC	45.00
90825	8/04/2016	WISCONSIN UPSIDE DOWN FOUNDATION THEATRE CLASS / JULY 2016 / REC	210.00
90826	8/04/2016	WOLLNER PLUMBING & EXCAVATING, LLC INV #2130 / WILSHIRE DR	3,564.49
90827	8/04/2016	WRWA AUG 11, 2016 TRAINING / WATER	100.00
90828	8/04/2016	XEROX CORPORATION INV #85573004 / JULY 2016 / ADMIN	232.05
90829	8/11/2016	ACL INV #201607-0 / LAB COLLECTIONS / JPD	33.60

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90830	8/11/2016	AFLAC INV #497537 / SEPT 2016	1,066.94
90831	8/11/2016	AT&T STREETS,REC ACCTS	124.40
90832	8/11/2016	B&L GRAPHIC SOLUTIONS FORMS, NAME PLATES / JPD,JFD	39.00
90833	8/11/2016	CARQUEST AUTO PARTS INV #294870 / HALOGEN BEAM / JFD	13.70
90834	8/11/2016	CHEMTRADE CHEMICALS US LLC INV #91871547 / ALUM SULFATE / WWTP	3,200.87
90835	8/11/2016	CONLEY MEDIA, LLC ELECTION,PUBLIC HEARING NOTICES	163.33
90836	8/11/2016	COUNTY WIDE EXTINGUISHER, INC. INV #88619 / ANNUAL INSPECTION / JFD	14.95
90837	8/11/2016	CULPEPPER & MERRIWEATHER CIRCUS AUG 26, 2016 CIRCUS / REC	290.00
90838	8/11/2016	EAGLE ENGRAVING, INC. INV #2016-2064 / SERVICE AWARDS / JFD	49.40
90839	8/11/2016	EDGARTON, ST.PETER,PETAK & ROSENFELDT ACCT #20967T / JULY 2016	1,458.01
90840	8/11/2016	EMERGENCY MEDICAL PRODUCTS, INC. INV #1843681 / MISC SUPPLIES / JFD	426.25
90841	8/11/2016	ENDURACLEAN, INC. INV #9469 / TOWELS,AIR FRESH / WWTP	133.20
90842	8/11/2016	EQUAL RIGHTS DIVISION JULY 2016 WORK PERMITS	97.50
90843	8/11/2016	EUROFINS SFA LABS INV #16072917 / JULY EFFLUENT / WWTP	129.85
90844	8/11/2016	EWALD'S HARTFORD FORD LINCOLN, LLC OIL CHANGEDRIVER,SIGNALS,THROTTLE / JPD	1,414.72
90845	8/11/2016	FISHER, RENEE REIMBURSE SUPPLIES / REC	64.96
90846	8/11/2016	FOX BROTHER'S PIGGLY WIGGLY ACCT #1710 / JULY 2016 / REC	23.08
90847	8/11/2016	GEAR WASH INV #11945 / GEAR REPAIR / JFD	103.80
90848	8/11/2016	GREAT-WEST DEFERRED COMP / 8-8-16 PAYROLL	2,395.00

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90849	8/11/2016	GREMMER & ASSOCIATES, INC. INDUSTRIAL,WILSHIRE DR / JULY 2016	19,729.50
90850	8/11/2016	HD SUPPLY WATERWORKS, LTD. RADIOS,TRADE IN,GASKETS / WATER	12,465.48
90851	8/11/2016	HOFFMAN RADIO NETWORK, LLC INV #1012014 / RADIO REPAIRS / JFD	215.96
90852	8/11/2016	JACKSON PROFESSIONAL POLICE ASSOCIATION UNION DUES / AUG 2016	432.00
90853	8/11/2016	KRUEPKE PRINTING INV #127297 / HAULER REPORTS / WWTP	140.00
90854	8/11/2016	LEMKE, DIANE UTILITY SERVICES FOR AUG 1-15, 2016	708.50
90855	8/11/2016	MARTELLE WATER TREATMENT, INC. INV #14679 / AQUA MAG BULK / WATER	1,582.44
90856	8/11/2016	MENARDS - WEST BEND INV #13352 / TILES,PATCH / V HALL	65.04
90857	8/11/2016	MILWAUKEE LAWN SPRINKER CORP INV #59229 / REINSTALL ZONE 1 / WILSHIRE	975.00
90858	8/11/2016	OFFICE DEPOT ACCT#42573612 / SUPPLIES / REC,JPD,ADMIN	143.06
90859	8/11/2016	PIEPER ELECTRIC, INC. INV #622724 / WWTP SERVICE	600.00
90860	8/11/2016	PROS 4 TECHNOLOGY, INC. MAINT,BACKUP-AUG 2016	938.99
90861	8/11/2016	REAL REFRIDGERATION INC INV #56829 / CONCESSION COOLER / REC	176.50
90862	8/11/2016	RUST LOCK, INC. PADLOCK KEYWAY / WATER,WWTP	546.00
90863	8/11/2016	SCHLOEMER LAW FIRM CLIENT #11387-000 / JULY 2016 MUNI COURT	445.50
90864	8/11/2016	SECURIAN FINANCIAL GROUP, INC. POLICY #2832L-G / SEPT 2016 / #009180	1,107.79
90865	8/11/2016	SHRED-IT USA LLC INV #9411773548 / AUG 2, 2016 / ADMIN	88.20
90866	8/11/2016	SIMPLEXGRINNELL INV #78792497 / ANNUAL INSPECTIONS	4,822.85
90867	8/11/2016	SONYA'S ROSE ACCT #526 / ORDER #42531 / DISHGARDEN	50.00

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90868	8/11/2016	STEWART, JASON & KRISTIN MAILBOX REIMBURSEMENT / WILSHIRE PRJCT	26.97
90869	8/11/2016	STREICHER'S INC. INV #1220410 / LIGHT W/STROBE / JPD	119.99
90870	8/11/2016	TENNIES ACE HARDWARE INC. ACCT #48714 / JULY 2016 / JFD	19.47
90871	8/11/2016	TINLIN, ANDREW REIMBURSE BOOKS,CLASS,PARKING / JFD	1,101.57
90872	8/11/2016	U.S. CELLULAR JPD,VILLAGE ACCTS	378.67
90873	8/11/2016	UNEMPLOYMENT INSURANCE ACCT #693348-000-9 / JULY 2016	26.44
90874	8/11/2016	VILLAGE MART ACCT #VJACK / JULY 2016 / VILLAGE	1,784.00
90875	8/11/2016	VILLAGE MART JPD, JFD ACCTS	1,876.23
90876	8/11/2016	WE ENERGIES ACCT #3462-082-214 / JFD	431.18
90877	8/11/2016	WEIMER'S SPECIALIZED INSTALLATION INV #7391 / BACK STOP REPAIR / REC	260.00
90878	8/11/2016	WI SCTF PIN#5197625/CASE#6707FA001145/MICECH	855.22
90879	8/11/2016	WINTER, PAULA REIMBURSE ELECTION SUPPLIES	57.04
90880	8/12/2016	HOLY TRINITY CATHOLIC CHURCH DONATION IN MEMORY OF BEVERLY KOBER	50.00
90881	8/12/2016	MCMASTER CARR SUPPLY CO INV #72935037 / FUSE,VALVE / WWTP	140.41
90882	8/12/2016	PETTY CASH REPLENISH PETTY CASH	35.66
90883	8/23/2016	MID-MORAINNE MUNICIPAL ASSOCIATION AUG 24, 2016 DINNER MEETING x 2	34.00
90884	8/23/2016	MID-MORAINNE MUNICIPAL ASSOCIATION AUG 24, 2016 DINNER MEETING	17.00
90885	8/25/2016	5 ALARM FIRE AND SAFETY EQUIPMENT, LLC INV #159892-1 / PANTS / JFD	61.79
90886	8/25/2016	APWA - WISCONSIN CHAPTER SEPT 6-7 TRAINING x 3 / STREETS	90.00

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90887	8/25/2016	AURORA MEDICAL GROUP INV #1707193 / LAB WORK / JFD	130.00
90888	8/25/2016	BADGER STATE WASTE LLC INV #1422 / AUG BIOSOLIDS HAULING / WWTP	6,705.00
90889	8/25/2016	BMO HARRIS BANK N.A. ACCT #5599350000652060 / JULY STATEMENT	1,008.15
90890	8/25/2016	BOLDREY, DEANNA REIMURSE LODGING / CONFERENCE	342.00
90891	8/25/2016	BOUND TREE MEDICAL, LLC MED SUPPLIES / JFD	361.60
90892	8/25/2016	BRADY, JIM AUG 9, 2016 ELECTION / 11.25 HRS	106.88
90893	8/25/2016	BRESNAHAN, CAROL AUG 9, 2016 ELECTION / 8.25 HRS	78.38
90894	8/25/2016	BROKER, MARGIE ZUMBA PUNCH CARDS / JULY / REC	90.00
90895	8/25/2016	BROWNELLS, INC. INV #12855804 / SUPPLIES / JPD	454.22
90896	8/25/2016	BUTEYN-PETERSON PAY REQUEST #3 / WILSHIRE DRIVE	190,084.21
90897	8/25/2016	CARQUEST AUTO PARTS INV #295755 / MINI BULB / JFD	3.17
90898	8/25/2016	CEDAR LAKE SAND & GRAVEL, INC. INV #68363 / SAND / WWTP	140.81
90899	8/25/2016	CENTURY LINK ACCT #85419756 / INV #1383531122 / ADMIN	42.96
90900	8/25/2016	CHARTER COMMUNICATIONS ACCT #8245110560007580 / V HALL	7.76
90901	8/25/2016	CHIMERA PROMOTIONS 40% OF CIRCUS TICKET SALES / REC	238.00
90902	8/25/2016	CINTAS CORP FIRST AID / WATER, WWTP, STRTS	294.59
90903	8/25/2016	CITY OF WEST BEND INV #5597 / PHANTOM RANCH TRIP / REC	403.00
90904	8/25/2016	COPPER TREE WELLNESS CENTER YOGA-QIGONG / AUG 16-SEPT 20 / REC	196.00
90905	8/25/2016	DANCE REVOLUTION MILWAUKEE LLC INV #86 / AUG 2016 CLASSES / REC	189.00

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90906	8/25/2016	DARMODY, CAROLYN SHELTER REFUND / REC	75.00
90907	8/25/2016	DAVIS, ALAN AUG 9, 2016 ELECTION / 11.25 HRS	106.88
90908	8/25/2016	DAVIS, JACQUELYN AUG 9, 2016 ELECTION / 10.25 HRS	97.38
90909	8/25/2016	DEGNER, DARLENE AUG 9, 2016 ELECTION / 4.25 HRS	40.38
90910	8/25/2016	EBEL SALES INC. INV #8505 / UNIFORMS / WWTP,WATER	296.00
90911	8/25/2016	EICHNER, KERI PROGRAM REFUND / REC	153.00
90912	8/25/2016	EXPRESS NEWS ACCT #7076 / EVENT ADS / REC	415.00
90913	8/25/2016	FISHER, RENEE REIMBURSE PHONE / JUL 11-AUG 10 / REC	35.00
90914	8/25/2016	FIT4YOU, LLC JUL 30 - SEPT 10 CLASSES / REC	165.00
90915	8/25/2016	FRANK, KATHY AUG 9, 2016 ELECTION / 17.50 HRS	170.38
90916	8/25/2016	FRISTED, TODD A. REIMBURSE FOOD / JPD	23.59
90917	8/25/2016	GERGETZ, ADAM AUG 9, 2016 ELECTION / 4.00 HRS	38.00
90918	8/25/2016	GERKE, KARIE E. PEE WEE SPORTS / AUG 2-23 / REC	175.00
90919	8/25/2016	GILLITZER ELECTRICAL CONTRACTORS, INC. INV #15516 / AERIAL LIFT / REC	135.00
90920	8/25/2016	GLOCKE, MARY AUG 9, 2016 ELECTION / 8.25 HRS	78.38
90921	8/25/2016	GOODSON FURNITURE & EQUIPMENT INV #2585 / BACKSTOP,INSTALLATION / REC	1,800.00
90922	8/25/2016	GOSCHEY MECHANICAL INC. INV #9092 / CLEAN EVAPORATOR / WWTP	180.00
90923	8/25/2016	GREAT-WEST DEFERRED COMP / 8-22-16 PAYROLL	2,395.00
90924	8/25/2016	HEIN ELECTRIC SUPPLY CO INV #269751 / SUPPLIES / REC	20.80

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90925	8/25/2016	JACKSON EMERY INVESTMENTS, LLC REF #20160720 / JUL 21-AUG 20, 2016	6,725.17
90926	8/25/2016	JACKSON HARDWARE HEATING & AIR CONDITIONING AC REPAIR / VILLAGE HALL	96.00
90927	8/25/2016	JANZ, JESSICA AUG 9, 2016 ELECTION / 8.25 HRS	78.38
90928	8/25/2016	KORNELLI, BRITTANY AUG 9, 2016 ELECTION / 4.25 HRS	40.38
90929	8/25/2016	KREJCI-LAABS, SHIRLEY AUG 9, 2016 ELECTION / 8.25 HRS	78.38
90930	8/25/2016	KSIOSZK, AMANDA AUG 9, 2016 ELECTION / 4.25 HRS	40.38
90931	8/25/2016	LAABS, ROBERT AUG 9, 2016 ELECTION / 8.25 HRS	78.38
90932	8/25/2016	LANZA, GAIL AUG 9, 2016 ELECTION / 6.00 HRS	57.00
90933	8/25/2016	LARK UNIFORM OUTFITTERS, INC. INV #226901 / PANTS / JPD	94.95
90934	8/25/2016	LIESENER SOILS INC. INV #141020 / 6 YDS LAWN&GARDEN / PRJCT	81.00
90935	8/25/2016	LIPPOLD, SANDY AUG 9, 2016 ELECTION / 14.50 HRS	137.75
90936	8/25/2016	LIPSKI, SALLY AUG 9, 2016 ELECTION / 5.00 HRS	47.50
90937	8/25/2016	LOOMANS, JESSICA PHONE REIMBURSE / JULY 2016 / REC	35.00
90938	8/25/2016	MCCAULEY, LORRAINE AUG 9, 2016 ELECTION / 10.25 HRS	97.38
90939	8/25/2016	MEIDAM, ANDREA REIMBURSE TUITION & SUPPLIES / JFD	1,042.51
90940	8/25/2016	MENARDS - WEST BEND INV #13547 / GREASE,PUMP,HOSE / WWTP	82.87
90941	8/25/2016	MTAW FALL 2016 CONFERENCE / ADMIN	110.00
90942	8/25/2016	NORTHERN LAKE SERVICE, INC. INV #299627 / DW SAMPLE 7-20-15 / WATER	280.00
90943	8/25/2016	OFFICE DEPOT ACCT#42573612 / SUPPLIES / JPD.ADMIN,REC	122.82

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90944	8/25/2016	PAYNE & DOLAN, INC. INV #1433918 / PATCHING / STREETS	844.94
90945	8/25/2016	POSITIVE PROMOTIONS, INC. INV #5560557 / FF HATS / JFD	320.45
90946	8/25/2016	PRUITT, EKES & GEARY, S.C. INV #1635 / PATRIOT HOMES AGREEMENT	2,631.90
90947	8/25/2016	REICH, GREGORY CARTOONING / AUG 4-SEPT 1 / REC	98.00
90948	8/25/2016	REINDERS, INC. MOWER PARTS,REPAIR / WWTP,PARKS	1,363.77
90949	8/25/2016	RICOH USA, INC. INV #21720549 / SEPT 2016 / JPD	26.25
90950	8/25/2016	RUETTEN, CHARLES R. REIMBURSE PARKING / JFD	16.00
90951	8/25/2016	RW GATE COMPANY INV #2000399 / GATE / WWTP	10,602.00
90952	8/25/2016	SAM'S CLUB/GEMB ACCT #7715 0901 1564 4957 / REC	114.70
90953	8/25/2016	SCHNEIDER, DARLENE AUG 9, 2016 ELECTION / 16.50 HRS	159.88
90954	8/25/2016	SCHOENECK, DEBORAH AUG 9, 2016 ELECTION / 8.25 HRS	78.38
90955	8/25/2016	SCHOENECK, JONATHAN AUG 9, 2016 ELECTION / 8.25 HRS	78.38
90956	8/25/2016	SCHULTZ, LEANNE AUG 9, 2016 ELECTION / 6.00 HRS	57.00
90957	8/25/2016	SCHWARTZ, CASSANDRA AUG 9, 2016 ELECTION / 7.00 HRS	66.50
90958	8/25/2016	SEISER, BILLIE JO SHELTER REFUND / REC	75.00
90959	8/25/2016	SHARP ELECTRONICS CORP INV #SH165268 / COPIES, LEASE / REC	248.61
90960	8/25/2016	SONYA'S ROSE ACCT #526 / ORDER #42860 / DISHGARDEN	65.00
90961	8/25/2016	STUEBS, DIANE AUG 9, 2016 ELECTION / 8.25 HRS	78.38
90962	8/25/2016	STUEBS, RONALD AUG 9, 2016 ELECTION / 8.25 HRS	78.38

GENERAL VILLAGE CHECKING

Accounting Checks

Posted From: 8/01/2016 From Account:
 Thru: 8/31/2016 Thru Account:

Check Nbr	Check Date	Payee	Amount
90963	8/25/2016	SULLIVAN-BROUGH, INC. INV #3221278 / CALIBRATION GAS / WWTP	184.00
90964	8/25/2016	SUPERIOR CHEMICAL CORPORATION INSECT REPEL,CLEANER / PARKS, V HALL	484.62
90965	8/25/2016	TACTICAL SOLUTIONS INV #5736 / RADAR CERTIFICATION / JPD	324.00
90966	8/25/2016	TENNIES ACE HARDWARE INC. ACCT #51327 / JULY 2016 / VILLAGE	609.41
90967	8/25/2016	THOMSON REUTERS - WEST INV #834482367 / JULY 2016 / JPD	54.54
90968	8/25/2016	TOWN & COUNTRY ENGINEERING, INC. SCADA,GIS MAP / WWTP,WATER	3,460.00
90969	8/25/2016	U.S. CELLULAR ACCT #300168393 / INV #150903439 / JFD	61.30
90970	8/25/2016	VAUGHAN, BILLIE M. AUG 9, 2016 ELECTION / 20.00 HRS	190.00
90971	8/25/2016	VECHART, MORGAN AUG 9, 2016 ELECTION / 6.50 HRS	61.75
90972	8/25/2016	WALTER, JOYCE AUG 9, 2016 ELECTION / 6.00 HRS	57.00
90973	8/25/2016	WATSON, BARBARA AUG 9, 2016 ELECTION / 5.25 HRS	49.88
90974	8/25/2016	WE ENERGIES STREET LIGHTS,REC ACCTS	12,424.79
90975	8/25/2016	WEST BEND FIRE DEPT HWY 60 & G,BRIDGE RD CALLS / JFD	600.00
90976	8/25/2016	WEST BEND SCHOOL DISTRICT JULY 2016 PARKING PERMIT FEES	4,761.54
90977	8/25/2016	WI SCTF GARNISHMENTS / 8-22-16 PAYROLL	855.22
90979	8/26/2016	PETTY CASH CIRCUS TICKET RECONCILIATION / REC	2,996.50
90980	8/29/2016	FKS REALTY LLC RESOLUTION #14-11 / PAY #4	3,071.00
90981	8/29/2016	HOGAN, KATHLEEN REFUND ACCT #3920-19 / WATER	191.86
90982	8/29/2016	KERRY AMERICAS DEVELOPERS AGREEMENT / PAY #2 / TID #5	44,333.36

9/01/2016

8:13 AM

Reprint Check Register - Quick Report - Regular

Page: 12
ACCT

GENERAL VILLAGE CHECKING

Accounting Checks

Posted From: 8/01/2016 From Account:
Thru: 8/31/2016 Thru Account:

Check Nbr	Check Date	Payee	Amount
90983	8/29/2016	THREE J'S INVESTMENT, LLC RES #11-12 / TID 4 / FINAL PAY #10	8,128.00
90984	8/29/2016	WASHINGTON COUNTY DEVELOPERS AGREEMENT / PAY #2 / TID #5	15,200.01
90985	8/30/2016	KARTES, DENNIS REFUND WARRANT FEE / JPD	30.00
Grand Total			477,219.92

TREASURERS REPORT

(Depository Accounts)

August 31, 2016

	BALANCE 7/31/2016	BALANCE 8/31/2016
<u>GENERAL FUND:</u>		
GENERAL CHECKING	\$1,078,934.75	\$1,800,813.32
PARK FEES	\$94,476.42	\$95,360.74
FIRE/RESCUE RESERVE	\$5,814.18	\$5,816.28
EMS FUNDING ESCROW	\$5,883.50	\$5,885.62
HIPPA ACCOUNT	\$492,920.21	\$517,365.61
CREDIT CARD ACCOUNT	\$182,857.97	\$196,281.87
POLICE & FIRE IMPACT FEES	\$254,143.60	\$255,655.66
ANTIQUE FIRE TRUCK	\$5,000.00	\$5,000.00
	-----	-----
TOTAL GENERAL FUND	\$2,115,030.63	\$2,877,179.10
	-----	-----
<u>WATER UTILITY:</u>		
WATER SPECIAL REDEMPTION FUND	\$846.01	\$846.31
CASH	\$2,129,008.48	\$2,565,209.61
WATER UTILITY DEPRECIATION FUND	\$21,627.30	\$21,635.09
WATER UTILITY RESERVE	\$112,451.12	\$112,491.65
WATER IMPACT FEES	\$611,992.68	\$550,668.89
	-----	-----
TOTAL WATER UTILITY	\$2,875,925.59	\$3,250,851.55
	-----	-----
<u>SEWER UTILITY:</u>		
SEWER DEPRECIATION FUND	\$5,438.53	\$5,440.49
SEWER UTILITY RESERVE	\$70,229.46	\$70,254.77
DNR REPLACEMENT FUND	\$993,102.39	\$993,460.29
SEWER SPECIAL REDEMPTION FUND	\$2,364.57	\$2,365.42
CASH	\$455,612.61	\$503,655.72
SO. INTERCEPTOR IMPACT FEE	\$29,675.53	\$29,815.27
SEWER SERVICE FEES	\$1,591,925.82	\$1,537,317.25
	-----	-----
TOTAL SEWER UTILITY	\$3,148,348.91	\$3,142,309.21
	-----	-----
<u>CDA FUND:</u>		
CDA FUND	\$191,907.39	\$191,976.55
	-----	-----
TOTAL CDA FUND	\$191,907.39	\$191,976.55
	-----	-----
GRAND TOTAL:	\$8,331,212.52	\$9,462,316.41
	-----	-----



93 S. Pioneer Road
Suite 300
Fond du Lac, WI 54935
Phone (920) 924-5720
Fax (920) 924-5725

August 24, 2016

Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

Attention: Brian Kober
Director of Public Works

Subject: Industrial Drive Sidewalk
STH 60 – Tower Drive
Project No. 160622
Bid Review

Dear Mr. Kober:

We have evaluated the bids received on August 23rd, 2016 for the Industrial Drive sidewalk project from STH 60 to Tower Drive.

Six bids were received and are shown below:

<u>Company</u>	<u>Bid Total</u>
T.P. Concrete Inc.	\$46,885.50
Ptaschinski Const., Inc.	\$47,800.00
All-Ways Contractors, Inc.	\$48,874.00
D.C. Burbach, Inc.	\$53,528.75
Zenith Tech, Inc.	\$54,968.50
Forward Contractors	\$60,163.92

T.P. Concrete Inc. submitted the low bid in the amount of \$46,885.50. T.P. Concrete has been the prime contractor or a subcontractor on multiple previous projects within the Village of Jackson. Our evaluation of the experience, bid form, and bid bond for T.P. Concrete Inc. indicates that they are capable of completing the work required as shown in the contract documents. Therefore, if approved by the Board of Public Works and Village Board, we recommend the award of a contract for the Industrial Drive sidewalk project to T.P. Concrete Inc. in the amount of \$46,885.50.

Sincerely,

Jeffrey A. Chvosta, P.E.
Project Engineer
Gremmer & Associates, Inc.

Project ID: 160622
Industrial Drive Sidewalk
STH 60 - Tower Drive
Village of Jackson

Bid Tabulation
8/23/2016

Item No.	Description	Units	Total	TP Concrete, Inc.		Ptaschinski Const., Inc.		All-Ways Contractors	
				Unit Price	Bid Total	Unit Price	Bid Total	Unit Price	Bid Total
1	Clearing and Grubbing	LS	1	\$5,000.00	\$5,000.00	\$5,900.00	\$5,900.00	\$2,250.00	\$2,250.00
2	Removing Concrete	SY	60	\$12.00	\$720.00	\$9.00	\$540.00	\$10.00	\$600.00
3	Excavation Common	CY	129	\$42.00	\$5,418.00	\$40.00	\$5,160.00	\$59.50	\$7,675.50
4	Base Aggregate Dense 3/4-Inch	TON	210	\$15.00	\$3,150.00	\$15.00	\$3,150.00	\$28.40	\$5,964.00
5	Concrete Driveway 6-Inch	SY	90	\$45.00	\$4,050.00	\$45.00	\$4,050.00	\$45.00	\$4,050.00
6	Asphaltic Surface Driveways and Field Entrances	TON	4	\$220.00	\$880.00	\$100.00	\$400.00	\$350.00	\$1,400.00
7	Concrete Sidewalk 4-Inch	SF	4650	\$3.45	\$16,042.50	\$4.02	\$18,693.00	\$3.45	\$16,042.50
8	Concrete Sidewalk 6-Inch	SF	50	\$5.00	\$250.00	\$5.00	\$250.00	\$5.00	\$250.00
9	Lawn Restoration	SY	1030	\$7.50	\$7,725.00	\$6.90	\$7,107.00	\$6.90	\$7,107.00
10	Inlet Protection Type C	EACH	4	\$85.00	\$340.00	\$80.00	\$320.00	\$80.00	\$320.00
11	Traffic Control	LS	1	\$1,600.00	\$1,600.00	\$1,500.00	\$1,500.00	\$1,390.00	\$1,390.00
12	Sawing Asphalt	LF	65	\$4.00	\$260.00	\$2.00	\$130.00	\$5.00	\$325.00
13	Sawing Curb Head	LF	10	\$50.00	\$500.00	\$25.00	\$250.00	\$50.00	\$500.00
14	Adjusting Sanitary Sewer Manhole	EACH	1	\$950.00	\$950.00	\$350.00	\$350.00	\$1,000.00	\$1,000.00
				TOTAL	\$46,885.50	TOTAL	\$47,800.00	TOTAL	\$48,874.00

Item No.	Description	Units	Total	DC Burbach, Inc.		Zenith Tech, Inc.		Forward Contractors	
				Unit Price	Bid Total	Unit Price	Bid Total	Unit Price	Bid Total
1	Clearing and Grubbing	LS	1	\$5,485.00	\$5,485.00	\$3,500.00	\$3,500.00	\$5,600.00	\$5,600.00
2	Removing Concrete	SY	60	\$10.00	\$600.00	\$12.00	\$720.00	\$14.00	\$840.00
3	Excavation Common	CY	129	\$34.75	\$4,482.75	\$34.00	\$4,386.00	\$49.28	\$6,357.12
4	Base Aggregate Dense 3/4-Inch	TON	210	\$15.50	\$3,255.00	\$26.00	\$5,460.00	\$28.37	\$5,957.70
5	Concrete Driveway 6-Inch	SY	90	\$54.60	\$4,914.00	\$52.00	\$4,680.00	\$48.31	\$4,347.90
6	Asphaltic Surface Driveways and Field Entrances	TON	4	\$785.00	\$3,140.00	\$350.00	\$1,400.00	\$250.00	\$1,000.00
7	Concrete Sidewalk 4-Inch	SF	4650	\$3.70	\$17,205.00	\$4.65	\$21,622.50	\$4.61	\$21,436.50
8	Concrete Sidewalk 6-Inch	SF	50	\$5.00	\$250.00	\$4.85	\$242.50	\$5.37	\$268.50
9	Lawn Restoration	SY	1030	\$7.40	\$7,622.00	\$8.25	\$8,497.50	\$9.54	\$9,826.20
10	Inlet Protection Type C	EACH	4	\$100.00	\$400.00	\$75.00	\$300.00	\$100.00	\$400.00
11	Traffic Control	LS	1	\$4,200.00	\$4,200.00	\$2,700.00	\$2,700.00	\$2,580.00	\$2,580.00
12	Sawing Asphalt	LF	65	\$5.00	\$325.00	\$4.00	\$260.00	\$10.00	\$650.00
13	Sawing Curb Head	LF	10	\$65.00	\$650.00	\$45.00	\$450.00	\$40.00	\$400.00
14	Adjusting Sanitary Sewer Manhole	EACH	1	\$1,000.00	\$1,000.00	\$750.00	\$750.00	\$500.00	\$500.00
				TOTAL	\$53,528.75	TOTAL	\$54,968.50	TOTAL	\$60,163.92

ORDER OF SHEETS

Section No. 1	Title
Section No. 2	Typical Sections and Details
Section No. 3	Estimate of Quantities
Section No. 3	Miscellaneous Quantities
Section No. 4	Right of Way Plat
Section No. 5	Plan and Profile
Section No. 6	Standard Detail Drawings
Section No. 7	Sign Plates
Section No. 8	Structure Plans
Section No. 9	Computer Earthwork Data
Section No. 9	Cross Sections

TOTAL SHEETS = 21



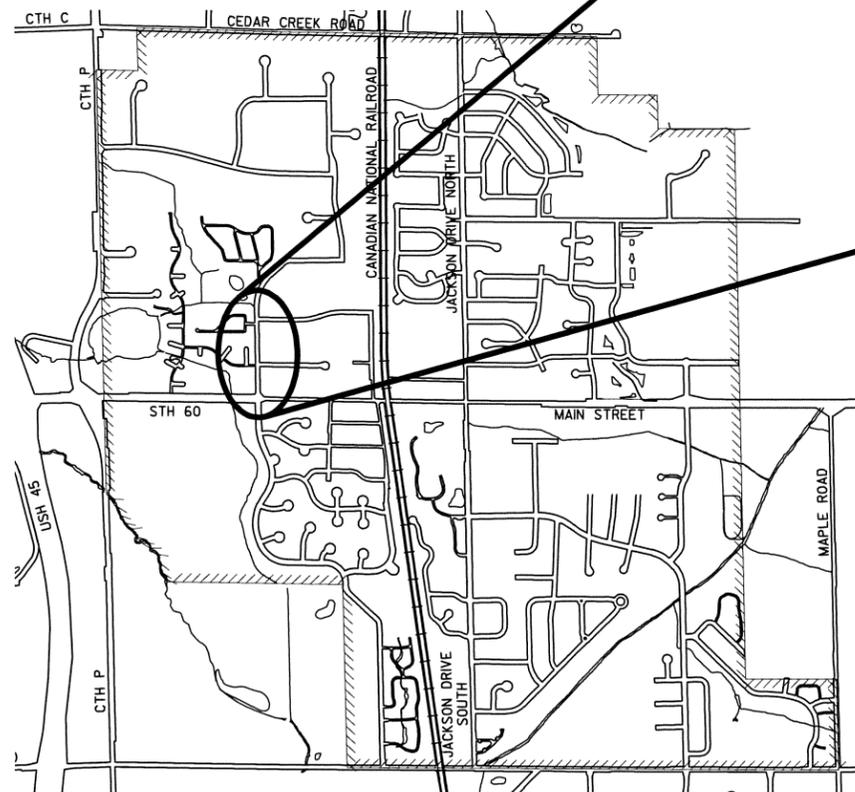
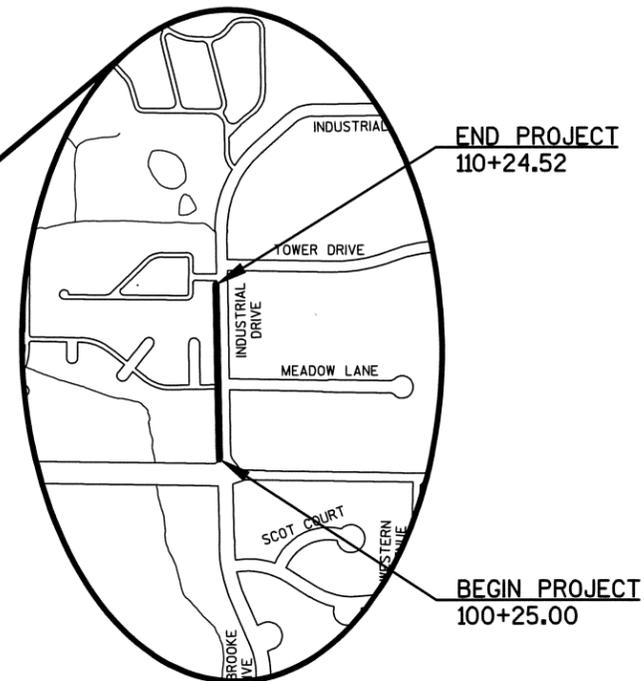
VILLAGE OF JACKSON

PLAN OF PROPOSED IMPROVEMENT

INDUSTRIAL DRIVE SIDEWALK

STH 60 - TOWER DRIVE
2016

PROJECT 160622



CONVENTIONAL SYMBOLS

PLAN	PROFILE
CORPORATE LIMITS	GRADE LINE
PROPERTY LINE	ORIGINAL GROUND
LOT LINE	MARSH OR ROCK PROFILE (To be noted as such)
LIMITED HIGHWAY EASEMENT	SPECIAL DITCH
EXISTING RIGHT OF WAY	GRADE ELEVATION
PROPOSED OR NEW R/W LINE	CULVERT (Profile View)
SLOPE INTERCEPT	UTILITIES
REFERENCE LINE	ELECTRIC
EXISTING CULVERT	FIBER OPTIC
PROPOSED CULVERT (Box or Pipe)	GAS
COMBUSTIBLE FLUIDS	SANITARY SEWER
MARSH AREA	STORM SEWER
WOODED OR SHRUB AREA	TELEPHONE
	WATER
	UTILITY PEDESTAL
	POWER POLE
	TELEPHONE POLE

LAYOUT
SCALE 0 0.5 MI

TOTAL NET LENGTH OF CENTERLINE = 0.189 MI

ORIGINAL PLANS PREPARED BY

GREMMER & ASSOCIATES, INC.
CONSULTING ENGINEERS
Stevens Point • Fond du Lac
93 South Pioneer Road, Suite 300 • Fond du Lac, WI 54935
(920) 924-5720 • fax (920) 924-5725



8/9/16
(Date) *Jeffrey A. Chvosta*
JEFFREY A. CHVOSTA, PE

GENERAL NOTES

THE LOCATIONS OF EXISTING AND PROPOSED UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE AND AFFECTED UTILITIES PRIOR TO THE START OF WORK. ANY UTILITY WHICH IS NOT A MEMBER OF THE DIGGERS HOTLINE MUST BE CONTACTED SEPARATELY.

A VERTICAL SAW CUT SHALL BE MADE THROUGH EXISTING DRIVEWAYS, SIDEWALKS AND PAVEMENTS AT THE REMOVAL LIMITS.

SAWCUT LOCATIONS SHOWN ON THE PLANS ARE SUBJECT TO ADJUSTMENT BY THE ENGINEER IN THE FIELD.

REMOVAL OF ASPHALTIC PAVEMENT SHALL BE MEASURED AND PAID FOR AS EXCAVATION COMMON.

WHEN THE QUANTITY OF THE ITEMS OF BASE AGGREGATE DENSE, HMA PAVEMENT OR ASPHALTIC SURFACE IS MEASURED FOR PAYMENT BY THE TON, THE DEPTH OR THICKNESS OF THE MATERIAL SHOWN ON THE PLAN IS APPROXIMATE, AND THE ACTUAL THICKNESS WILL DEPEND ON THE DISTRIBUTION OF THE MATERIAL AS DIRECTED BY THE ENGINEER.

THE EXACT LOCATION AND LAYOUT OF PRIVATE ENTRANCES IS TO BE DETERMINED IN THE FIELD BY THE ENGINEER.

NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE APPROVAL OF THE ENGINEER.

TOPSOIL, FERTILIZER, SEED AND MULCH AS SHOWN IN PLANS OR AS DIRECTED BY THE ENGINEER SHALL BE PLACED ON ALL DISTURBED AREAS, EXCLUSIVE OF THE AREA OCCUPIED BY THE NEW PAVEMENTS, SIDEWALKS, ENTRANCES, AND RELATED STRUCTURES.

SECTIONS AS SHOWN ON THE CROSS-SECTIONS INCLUDE THE THICKNESS OF TOPSOIL WHERE REQUIRED.

ALL CURB RAMPS SHALL BE 6-INCH THICK AND PAID FOR AS CONCRETE SIDEWALK 6-INCH.

EROSION CONTROL ITEMS SHOWN ARE APPROXIMATE, THE EXACT LOCATION SHALL BE DETERMINED BY THE ENGINEER IN THE FIELD.

ABBREVIATIONS

AEW	APRON ENDWALL
AGG	AGGREGATE
AH	AHEAD
ASP	ASPHALT
BK	BACK
BAD	BASE AGGREGATE DENSE
BM	BENCH MARK
CC	CENTER OF CURVATURE
CE	COMMERCIAL ENTRANCE
C&G	CURB AND GUTTER
C/L	CENTER OR CONSTRUCTION LINE
CONC	CONCRETE
CP	CULVERT PIPE
CPCM	CULVERT PIPE CORRUGATED METAL
CPCS	CULVERT PIPE CORRUGATED STEEL
CPRC	CULVERT PIPE REINFORCED CONCRETE
CS	CURVE SPIRAL, THE POINT OF CHANGE IN ALIGNMENT FROM CURVE TO SPIRAL
CSD	CONCRETE SURFACE DRAIN
CY	CUBIC YARD
D	DEGREE OF CURVE
Δ	DELTA
DISCH	DISCHARGE
E	EXTERNAL DISTANCE FROM MIDPOINT OF CIRCULAR CURVE FROM ANGLE INTERSECTION
EB	EASTBOUND
ELEV	ELEVATION
FE	FIELD ENTRANCE
HMA	HOT MIX ASPHALT
HP	HIGH POINT
HT	HEIGHT
INV	INVERT
L	LENGTH OF CURVE
LHF	LEFT HAND FORWARD
LP	LOW POINT
Ls	LENGTH OF SPIRAL
LT	LEFT
MAX	MAXIMUM
MIN	MINIMUM
M/L	MATCHLINE
NB	NORTHBOUND
NC	NORMAL CROWN
NOM	NOMINAL
NORM	NORMAL
PAVT	PAVEMENT
PC	POINT OF CURVE
PCC	POINT OF COMPOUND CURVE
PE	PRIVATE ENTRANCE
PI	POINT OF INTERSECTION
PLE	PERMANENT LIMITED EASEMENT
PT	POINT OF TANGENT
R	RADIUS OF CURVE
R/L	REFERENCE LINE
R/W	RIGHT OF WAY
RC	REVERSE CROWN
RCAEW	APRON ENDWALL FOR CULVERT PIPE REINFORCED CONCRETE
RCP	REINFORCED CONCRETE PIPE
REQ'D	REQUIRED
RHF	RIGHT HAND FORWARD
RO	RUN OFF LENGTH
RT	RIGHT
SALV	SALVAGED
SB	SOUTHBOUND
SC	SPIRAL CURVE, THE POINT OF CHANGE IN ALIGNMENT FROM SPIRAL TO CURVE
SDD	STANDARD DETAIL DRAWING
SE	SUPER ELEVATION
SEG	SEGMENT
SF	SQUARE FOOT
SS	STORM SEWER
ST	SPIRAL TANGENT, THE POINT OF CHANGE IN ALIGNMENT FROM SPIRAL TO TANGENT
STA	STATION
SY	SQUARE YARD
T	TANGENT LENGTH
TLE	TEMPORARY LIMITED EASEMENT
TS	TANGENT SPIRAL, THE POINT OF CHANGE IN ALIGNMENT FROM TANGENT TO SPIRAL
TYP	TYPICAL
V	VELOCITY OR DESIGN SPEED
VC	VERTICAL CURVE
VCL	VERTICAL CURVE LENGTH
VPC	POINT OF VERTICAL CURVE
VPI	POINT OF VERTICAL INTERSECTION
VPRC	POINT OF VERTICAL REVERSE CURVE
VPT	POINT OF VERTICAL TANGENT
WB	WESTBOUND
WCL	WISCONSIN CENTRAL LTD.

UTILITIES

COMMUNICATIONS

* CHARTER COMMUNICATIONS
2312 CONTINENTAL DRIVE
WEST BEND, WI 53095
PHONE: (262) 306-8756 EXT. 20702
MOBILE: (920) 375-6194
ATTN: TOM HARYCKI
EMAIL: THARYCKI@CHARTERCOM.COM

COMMUNICATIONS

* AT&T - WISCONSIN
2005 PEWAUKEE ROAD
WAUKESHA, WI 53188
PHONE: (262) 896-7522
MOBILE: (414) 412-7047
ATTN: JEFF OLDENBURG
EMAIL: J02376@ATT.COM

SANITARY SEWER & WATER MAIN

* VILLAGE OF JACKSON
N168, W20733 MAIN STREET
JACKSON, WI 53037
PHONE: (262) 677-9001
ATTN: BRIAN KOBER
EMAIL: DIRPUBWKS@VILLAGEOFJACKSON.COM

* DENOTES MEMBER OF DIGGERS HOTLINE

ELECTRIC

* WE ENERGIES - LOCAL
245 SAND DRIVE
WEST BEND, WI 53095
PHONE: (262) 338-7662
MOBILE: (262) 322-1824
ATTN: AL SCHMITT
EMAIL: ALAN.SCHMITT@WE-ENERGIES.COM

GAS

* WE ENERGIES - LOCAL
500 S. 116TH STREET
WEST ALLIS, WI 53214
PHONE: (414) 218-2053
ATTN: JOSH MOUNT
EMAIL: JOSH.MOUNT@WE-ENERGIES.COM



DESIGN CONTACT

GREMMER & ASSOCIATES, INC.
93 S. PIONEER ROAD, SUITE 300
FOND DU LAC, WI 54935
PHONE: (920) 924-5720
ATTN: JEFFREY CHVOSTA, PE
EMAIL: J.CHVOSTA@GREMMERASSOCIATES.COM

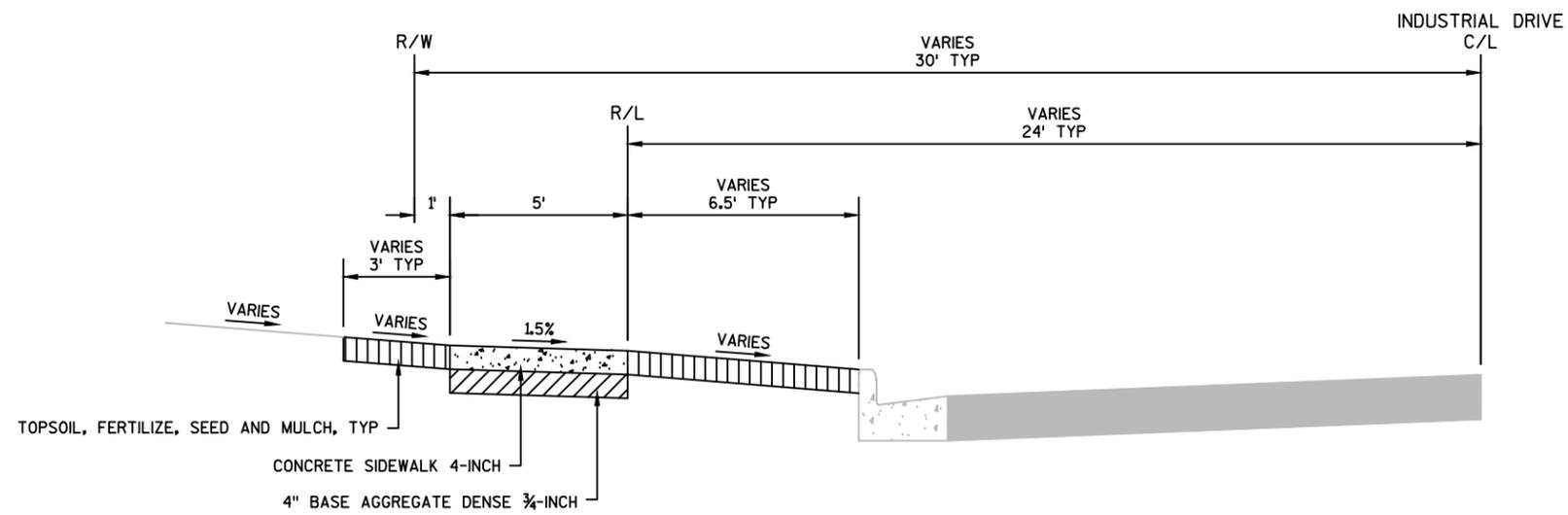
VILLAGE OF JACKSON CONTACT

N168, W20733 MAIN STREET
JACKSON, WI 53037
PHONE: (262) 677-9001
ATTN: BRIAN KOBER
EMAIL: DIRPUBWKS@VILLAGEOFJACKSON.COM

BENCH MARKS

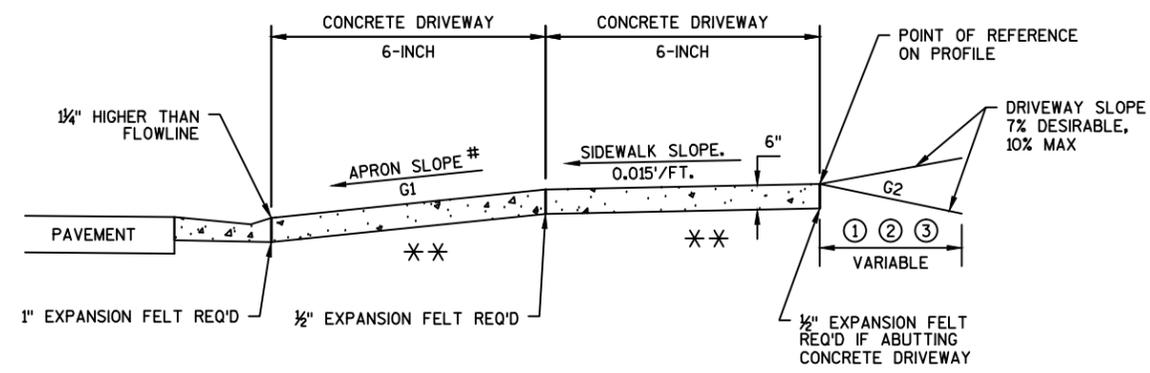
BM	DESCRIPTION	ELEVATION
B	SE BOLT ON FLANGE OF HYD, NE CORNER OF INDUSTRIAL DRIVE AND STH 60	875.78
C	NE BOLT OF FLANGE OF HYD, SE CORNER OF INDUSTRIAL DRIVE AND MEADOW LANE	872.90
D	CHISELED X ON BOLT OF FLANGE OF HYD, E. SIDE OF INDUSTRIAL DRIVE, N. OF MEADOW LANE	872.43
D-2	BURY BOLT ON FLANGE OF HYD, SE CORNER OF INDUSTRIAL DRIVE AND TOWER DRIVE	874.40

**VERTICAL DATUM REFERENCED TO NGVD29.



FINISHED TYPICAL HALF SECTION

INDUSTRIAL DRIVE SIDEWALK
STA 100+25.00 - STA 110+24.52



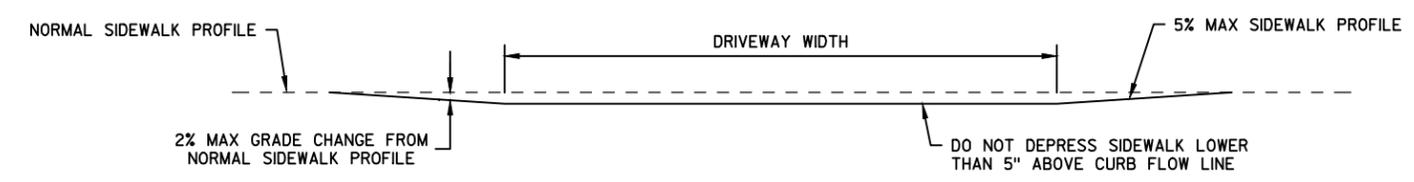
- ① - 6" CONCRETE DRIVEWAY
- ② - 6" BASE AGG. DENSE 3/4-INCH
- ③ - 6" BASE AGG. DENSE 3/4-INCH BASE WITH 3" ASPHALTIC SURFACE
- ** = 6" BASE AGG. DENSE 3/4-INCH REQ'D UNDER CONCRETE DRWY

TERRACE WIDTH	APRON SLOPE (G)		
	MIN %	DESIRABLE %	MAX %
3 FT	7.0	8.5	9.0
4 FT	5.0	7.0	9.0
5 FT	4.0	7.0	9.0
6 FT	4.0	7.0	9.0
7 FT	3.5	7.0	9.0
8 FT	3.0	7.0	9.0

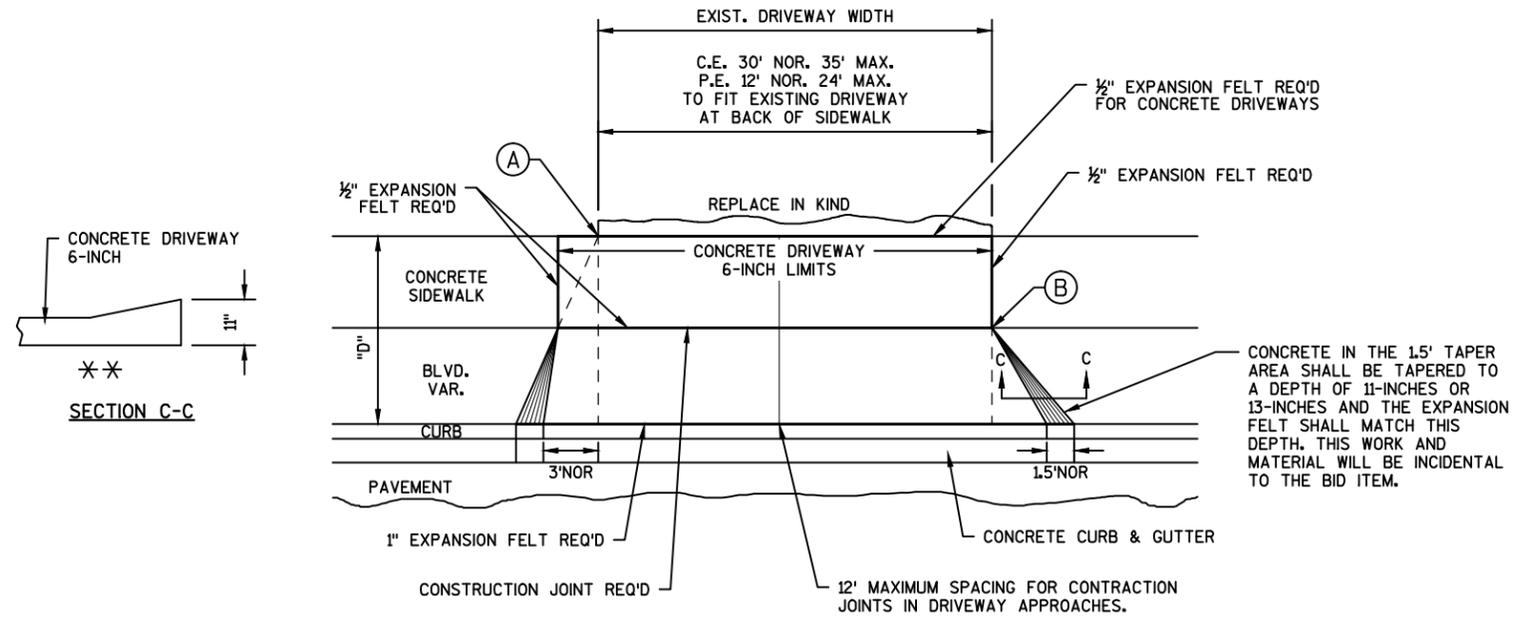
NOTE: ALGEBRAIC DIFFERENCE BETWEEN TANGENT GRADES G1 & G2 TO NOT EXCEED 15%

DEPRESS SIDEWALK PROFILE IF DRIVEWAY APRON EXCEEDS MAX SLOPE

TYPICAL SIDEWALK SECTION



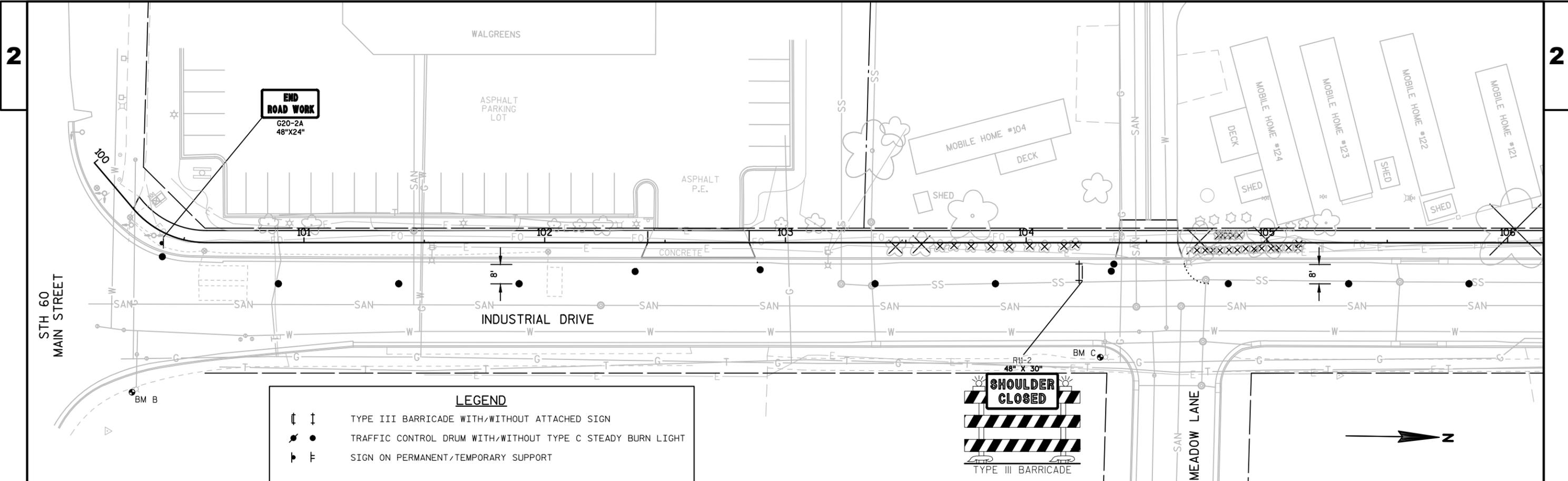
DEPRESSED SIDEWALK PROFILE DETAIL



- (A) WHEN "D" IS 13' OR LESS, ALIGN TAPER WITH BACK OF SIDEWALK
- (B) WHEN "D" IS GREATER THAN 13', ALIGN TAPER WITH FRONT OF SIDEWALK

PLAN VIEW

URBAN ENTRANCE DETAIL WITH SIDEWALK, CURB & GUTTER



TRAFFIC CONTROL GENERAL NOTES

DRAWINGS SHOW TRAFFIC CONTROL FOR A TYPICAL SITUATION. SEE SDD'S FOR ADDITIONAL INFORMATION AND THE PLACEMENT AND SPACING OF DRUMS AND SIGNS. ADDITIONAL TRAFFIC CONTROL DEVICES MAY BE REQUIRED AND/OR LAYOUT DETAILS MODIFIED DEPENDING ON METHODS OF SEQUENCE OF OPERATION.

LANE CLOSURES AND DRUMS SHALL BE ADJUSTED FOR AND LIMITED TO AREAS OF WORK ON A DAILY BASIS.

CHANNELIZING DEVICES PLACED ADJACENT TO THE WORK AREA SHALL BE PULLED BACK FROM THE TRAVEL LANE WHEN WORK IS NOT IN PROGRESS.

ADJUST SIGN SPACING TO AVOID CONFLICT WITH AND TO PROVIDE MINIMUM SPACING OF 200 FEET (500 FEET DESIRABLE) TO EXISTING SIGNS.

UNLESS NOTED, ALL WARNING SIGNS ARE 48"X48". ALL OTHER SIGNS ARE SIZE 2S.

"WO" AND "MO" ARE THE SAME AS "W" AND "M" SIGNS EXCEPT THE BACKGROUND IS ORANGE.

REMOVE OR COVER ANY TEMPORARY OR EXISTING SIGNS THAT CONFLICT WITH "IN USE" TRAFFIC CONTROL.

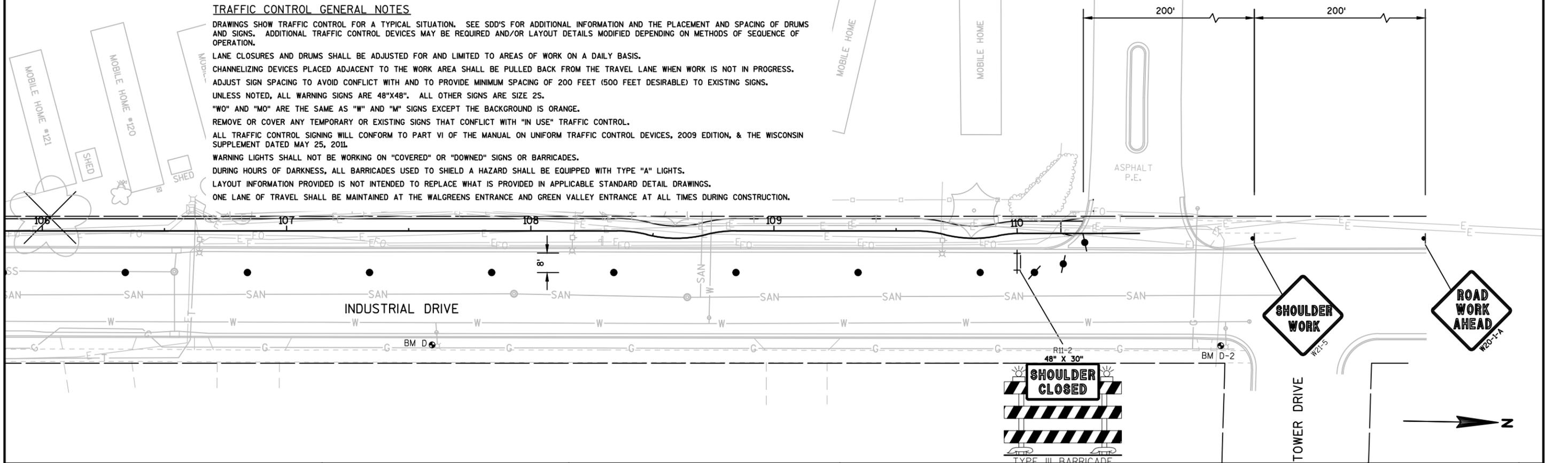
ALL TRAFFIC CONTROL SIGNING WILL CONFORM TO PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, & THE WISCONSIN SUPPLEMENT DATED MAY 25, 2011.

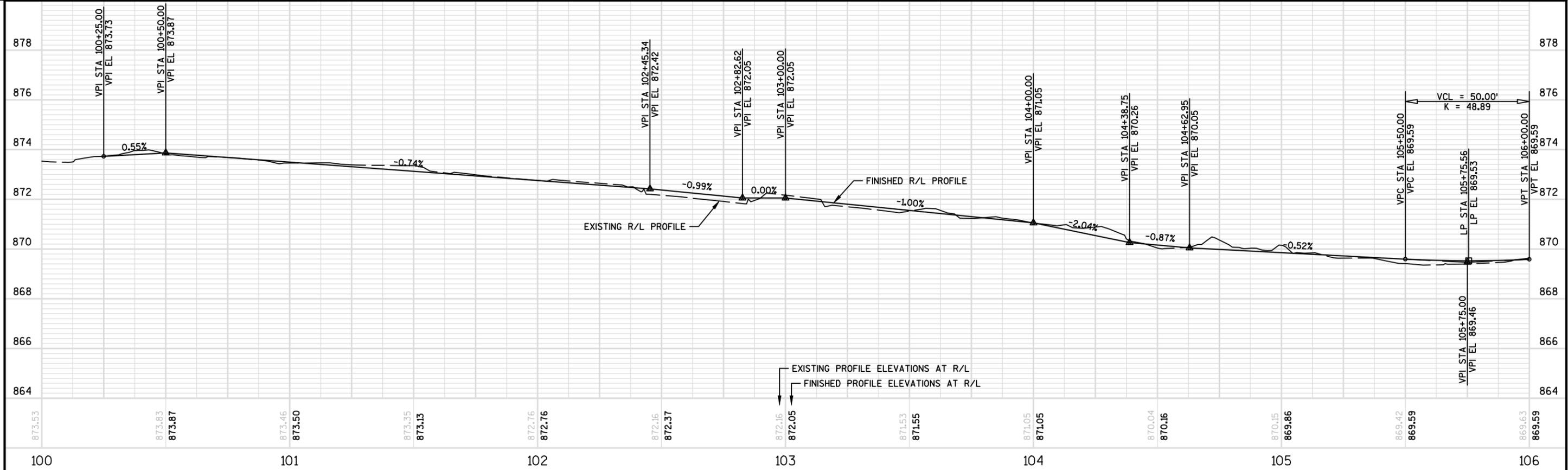
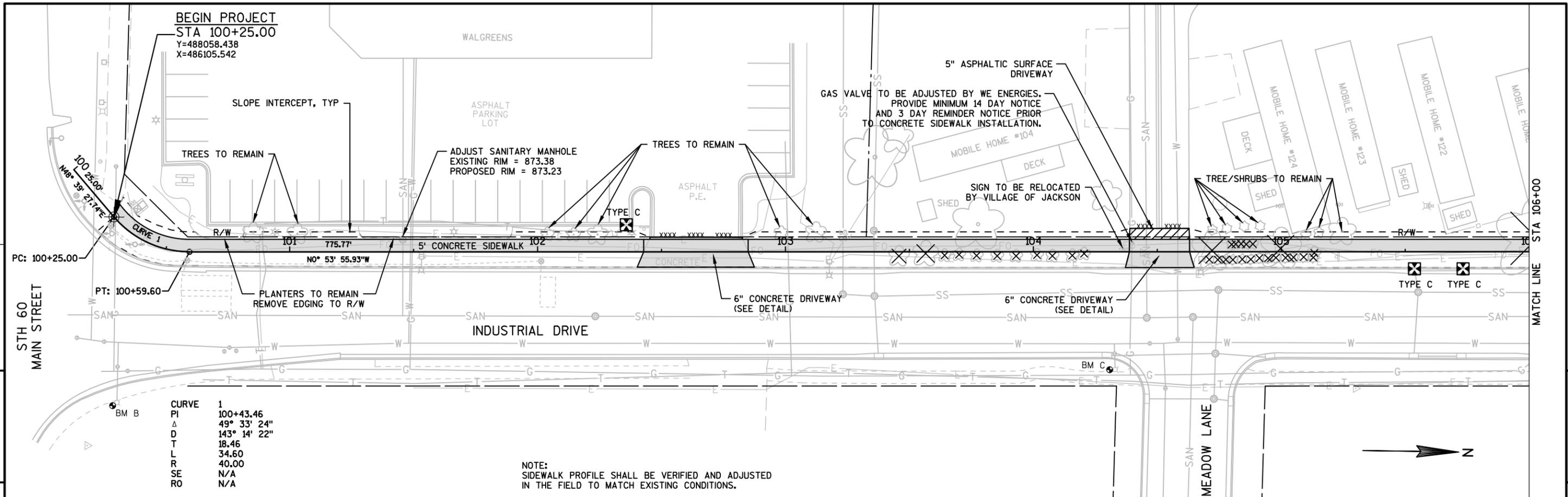
WARNING LIGHTS SHALL NOT BE WORKING ON "COVERED" OR "DOWNED" SIGNS OR BARRICADES.

DURING HOURS OF DARKNESS, ALL BARRICADES USED TO SHIELD A HAZARD SHALL BE EQUIPPED WITH TYPE "A" LIGHTS.

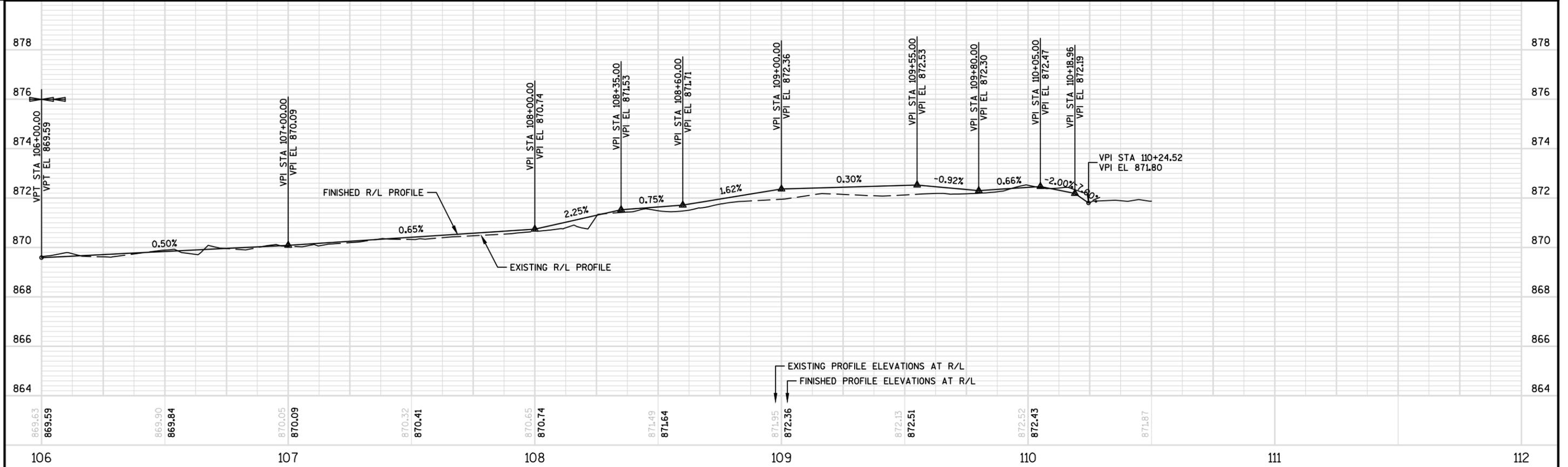
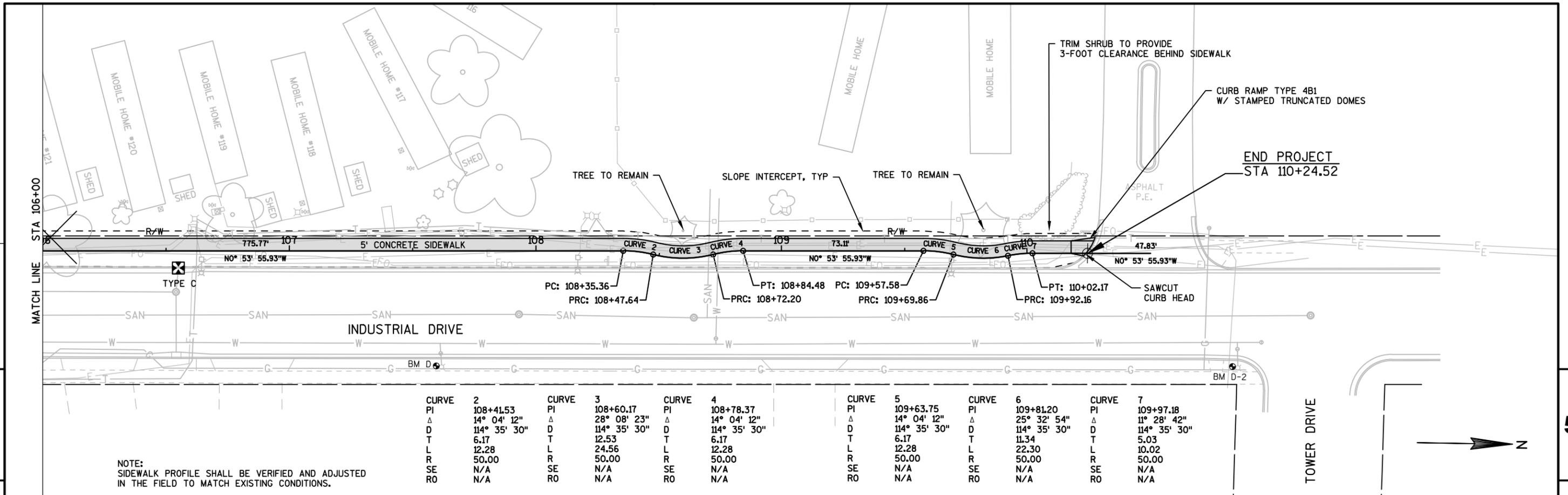
LAYOUT INFORMATION PROVIDED IS NOT INTENDED TO REPLACE WHAT IS PROVIDED IN APPLICABLE STANDARD DETAIL DRAWINGS.

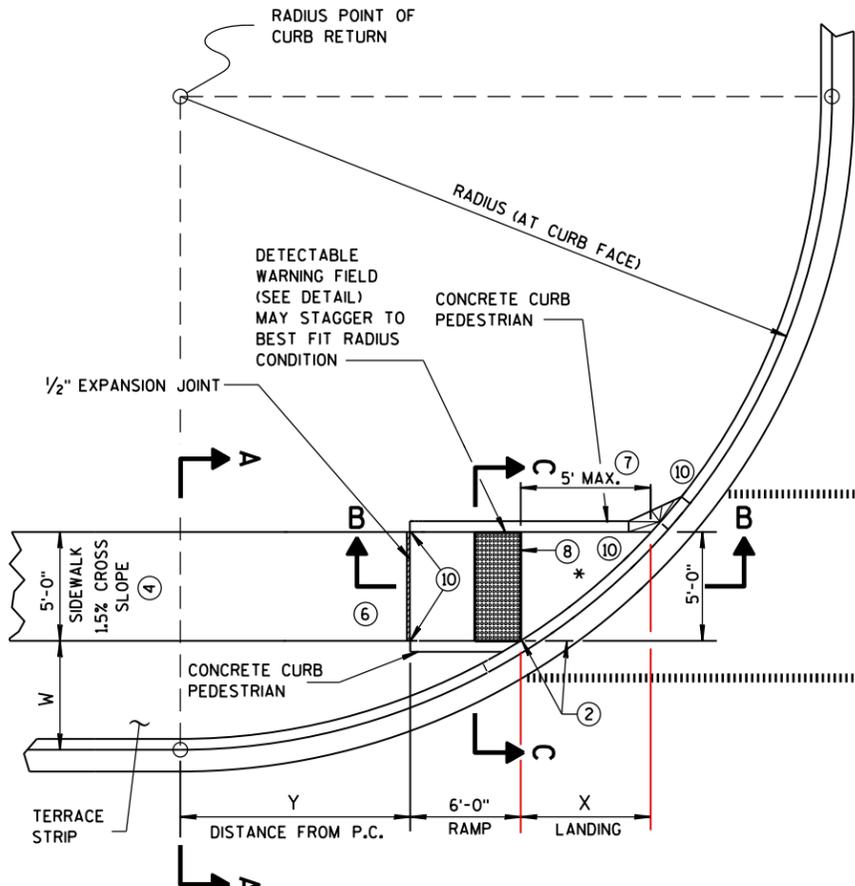
ONE LANE OF TRAVEL SHALL BE MAINTAINED AT THE WALGREENS ENTRANCE AND GREEN VALLEY ENTRANCE AT ALL TIMES DURING CONSTRUCTION.



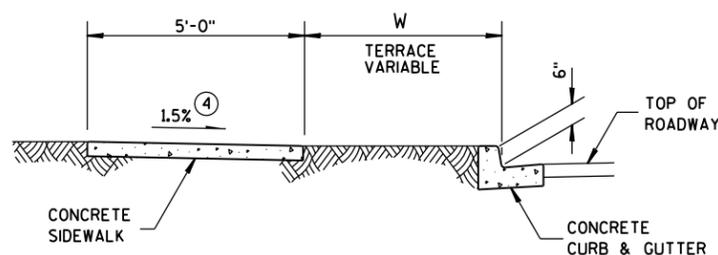


PROJECT NO: 160622 INDUSTRIAL DRIVE SIDEWALK VILLAGE OF JACKSON PLAN AND PROFILE: SHEET E

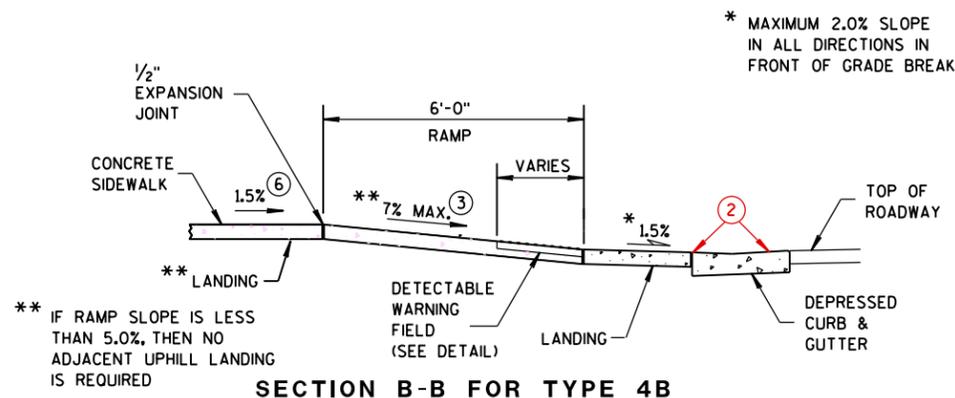




**CURB RAMP TYPE 4B
PLAN VIEW**



SECTION A-A FOR TYPE 4B



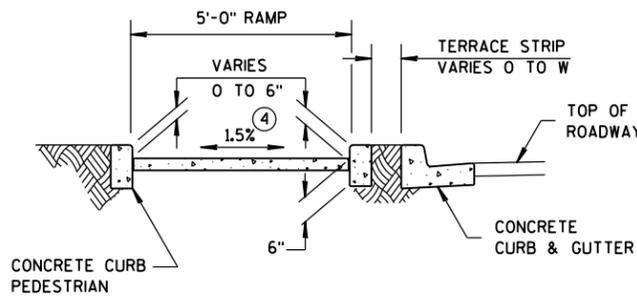
SECTION B-B FOR TYPE 4B

- LEGEND**
- 1/2" EXPANSION JOINT-SIDEWALK
 - CONTRACTION JOINT FIELD LOCATED
 - PAVEMENT MARKING CROSSWALK (WHITE)

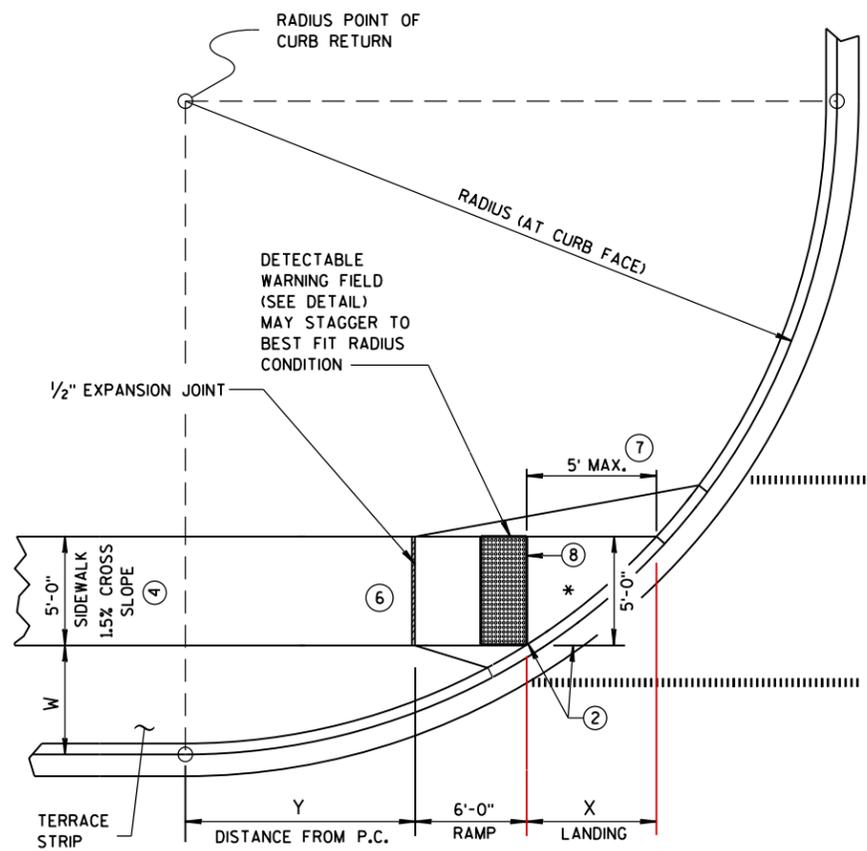
RADIUS (AT CURB FACE)	W = 3' - 0"		W = 4' - 0"		W = 5' - 0"		W = 6' - 0"		W = 7' - 0"	
	X	Y	X	Y	X	Y	X	Y	X	Y
20 FEET	5'-9 3/4"	3'-6 1/2"	4'-11 1/2"	5'-1 3/4"	4'-3 1/4"	6'-5 1/2"	3'-8 3/4"	7'-6 3/4"	3'-3"	8'-6 1/4"
30 FEET	7'-9 1/4"	5'-10 1/2"	6'-9 1/2"	7'-11 1/4"	6'-0 1/4"	9'-8"	5'-5"	11'-1 3/4"	4'-10 3/4"	12'-5 3/4"
40 FEET	9'-4"	7'-10"	8'-2 3/4"	10'-3"	7'-4 3/4"	12'-3 3/4"	6'-8 1/2"	14'-1 1/4"	6'-1 3/4"	15'-8 1/2"
50 FEET	10'-8"	9'-6 1/2"	9'-5 1/2"	12'-3 1/4"	8'-6 1/2"	14'-7 1/2"	7'-9 3/4"	16'-8 1/4"	7'-2 1/2"	18'-6 1/4"
60 FEET	11'-10 1/4"	11'-0 3/4"	10'-6 1/2"	14'-1 1/4"	9'-6 1/2"	16'-8 1/2"	8'-9 1/4"	18'-11 3/4"	8'-1 1/2"	21'-0 1/2"

GENERAL NOTES

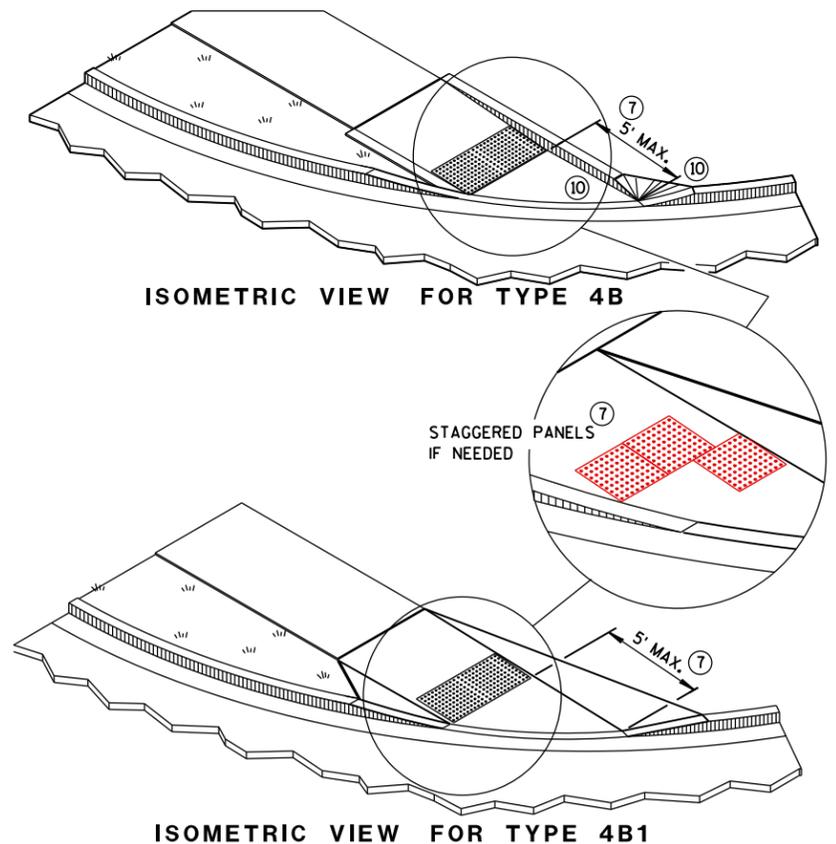
- INTERMEDIATE RADII CAN BE INTERPOLATED
- AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS.
DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL BE FROM THE SAME MANUFACTURER.
- ② GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/4-INCH ARE ALLOWED. SLOPE OF CURB HEAD OPENING SHALL NOT EXCEED 7%.
 - ③ ABSOLUTE MAXIMUM 12H:1V (8.33%) CURB RAMP SLOPE IS ALLOWABLE WITH FLATTENED GUTTER FLAG SLOPE AND NOT TO EXCEED 11% GRADE CHANGE.
 - ④ ±0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE. THE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
 - ⑥ PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD LANDING SIZE IS 5 FEET X 5 FEET (MINIMUM 4 FEET X 4 FEET).
 - ⑦ WHEN THIS DISTANCE EXCEEDS 5 FEET, STAGGER ADDITIONAL DETECTABLE WARNING PANEL FORWARD TO REDUCE THIS DISTANCE. PROVIDE MINIMUM 12-INCH ROW OVERLAP TO AVOID SIDESTEP OF DOME DETECTION. ALIGN DOMES BETWEEN OVERLAPPING ROWS AND IN DIRECTION OF PEDESTRIAN TRAVEL.
 - ⑧ PROVIDE GRADE BREAK PERPENDICULAR TO DIRECTION OF WHEELCHAIR TRAVEL.
 - ⑩ INSTALL TRANSITION NOSE. (INCIDENTAL TO OTHER PAY ITEMS). DO NOT MARK TRANSITION NOSE.



SECTION C-C FOR TYPE 4B



**CURB RAMP TYPE 4B1
PLAN VIEW**



ISOMETRIC VIEW FOR TYPE 4B

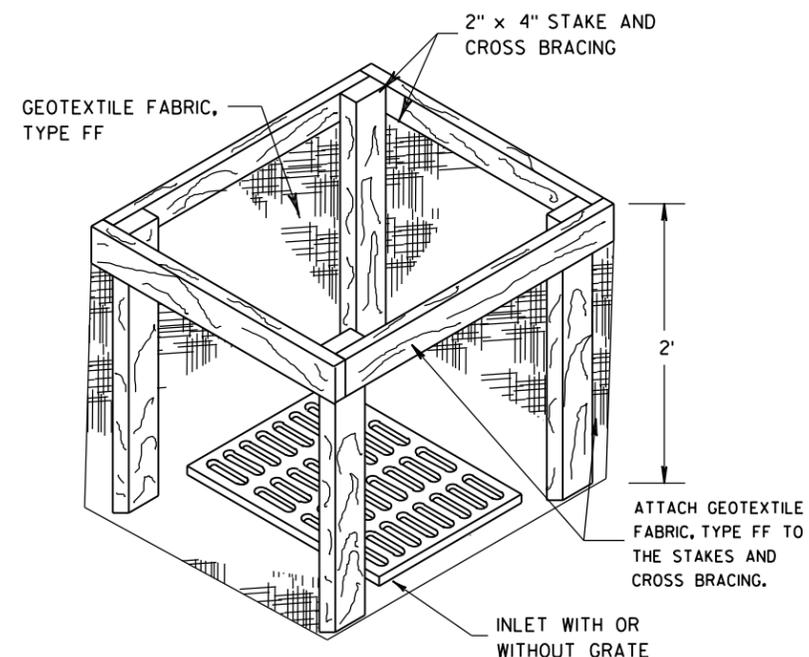
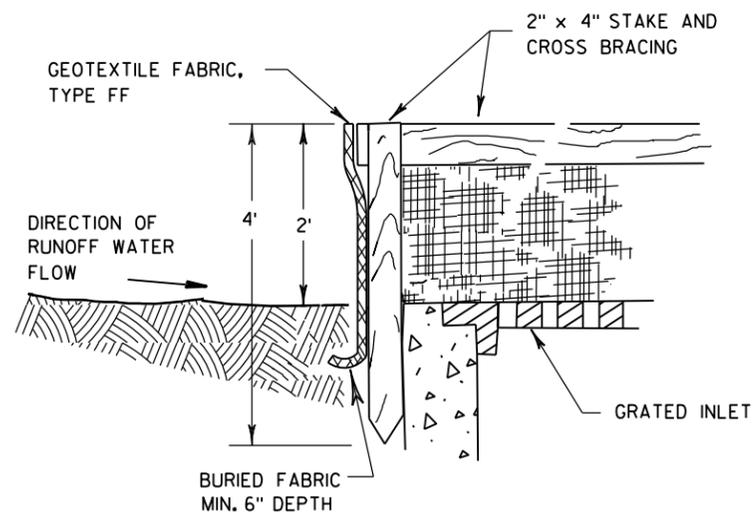
ISOMETRIC VIEW FOR TYPE 4B1

**CURB RAMPS
TYPE 4B AND 4B1**

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION



8E10: Inlet Protection Type A, B, C and D



INLET PROTECTION, TYPE A

GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

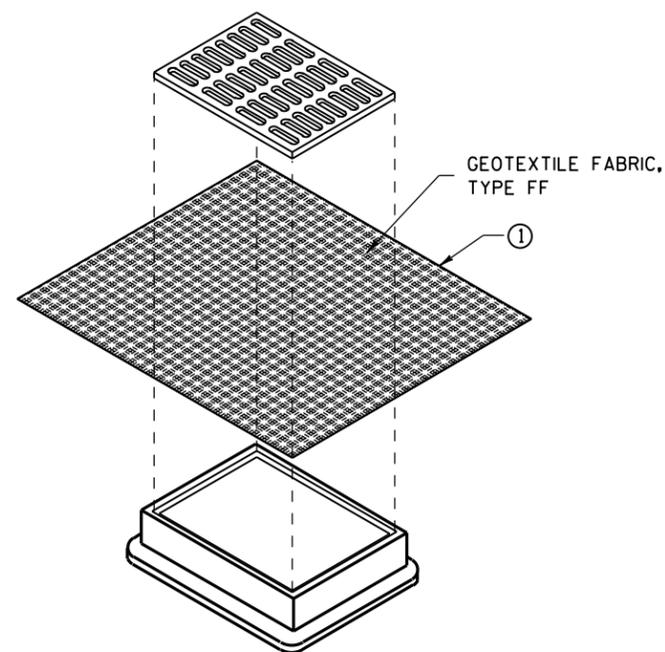
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

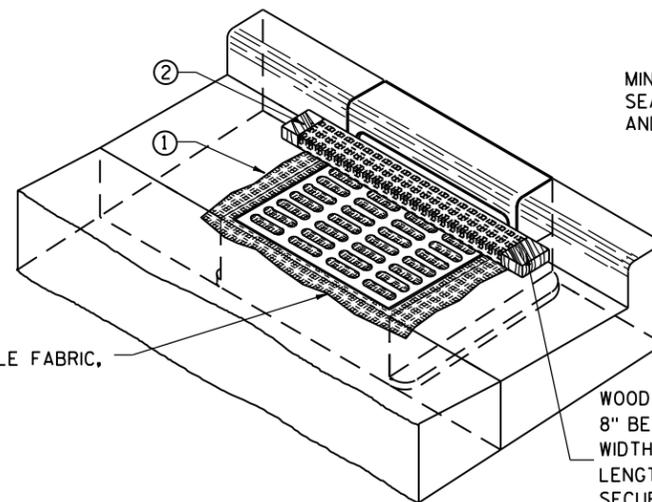
② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



INLET PROTECTION, TYPE B (WITHOUT CURB BOX)

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)

INSTALLATION NOTES

TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

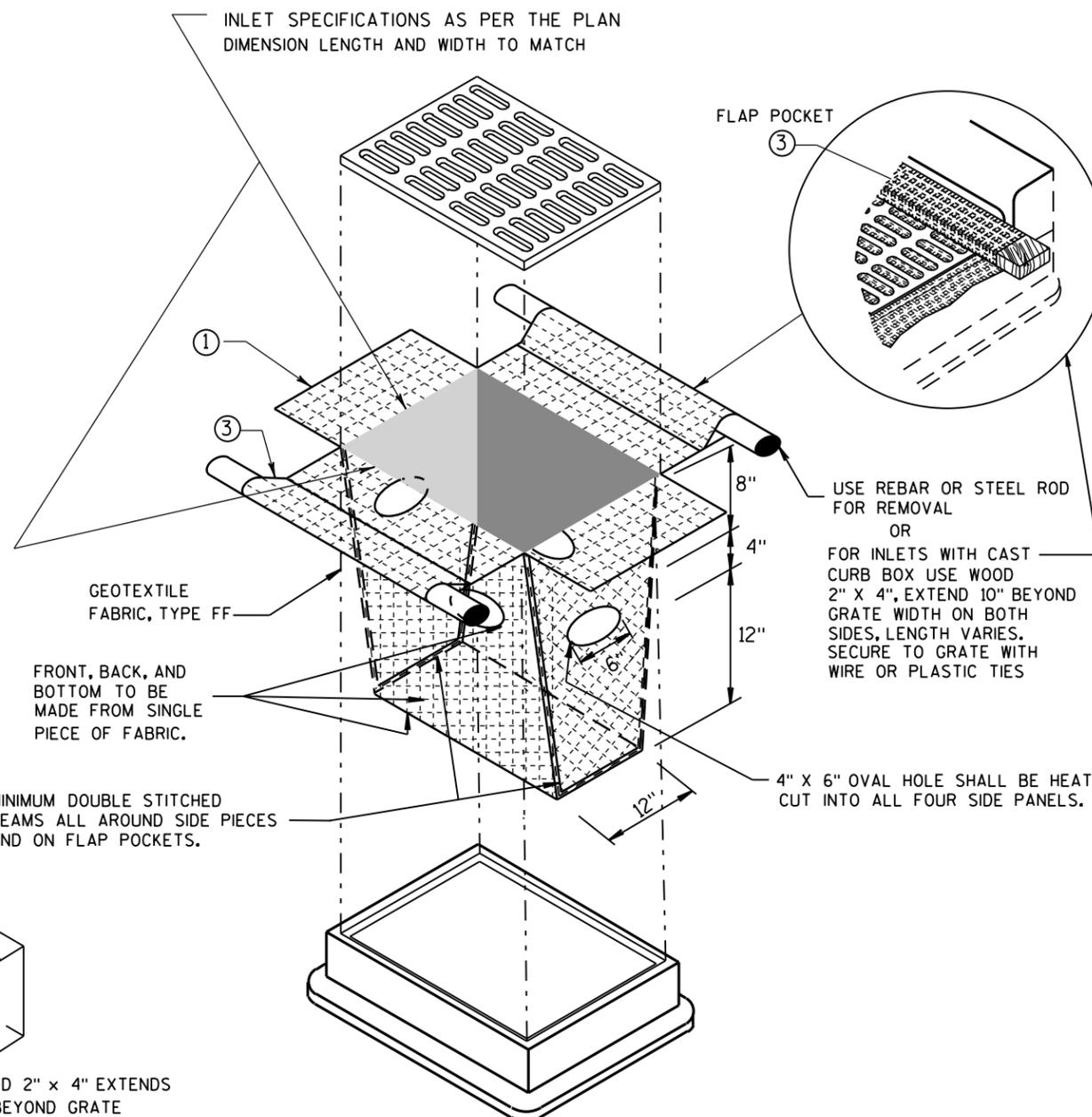
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)

INLET PROTECTION
TYPE A, B, C, AND D

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED	/S/ Beth Canestra
10-16-02	DATE
	CHIEF ROADWAY DEVELOPMENT ENGINEER
FHWA	



15D28: Traffic Control, Work on Shoulder or Parking Lane, Undivided Roadway

GENERAL NOTES

THE EXACT NUMBER, LOCATION AND SPACING OF ALL SIGNS AND DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER.

ALL SIGNS ARE 48" X 48" UNLESS OTHERWISE NOTED. IF NECESSARY DUE TO SPACE CONSTRAINTS IN URBAN AREAS, 36" X 36" SIGNS MAY BE USED IF APPROVED BY DISTRICT TRAFFIC UNIT.

"WO" SIGNS ARE THE SAME AS "W" SIGNS EXCEPT THE BACKGROUND IS ORANGE.

SIGNS THAT WILL BE IN PLACE LESS THAN 7 CONTINUOUS DAYS AND NIGHTS MAY BE MOUNTED ON PORTABLE SUPPORTS.

ANY SIGNS TEMPORARY OR EXISTING, WHICH CONFLICT WITH TRAFFIC CONTROL "IN USE" SHALL BE REMOVED OR COVERED AS NEEDED AND AS APPROVED BY THE ENGINEER.

W20-1 AND G20-2A SIGNS ARE NOT REQUIRED IF THE WORK AREA IS WITHIN A LARGER WORK ZONE WHERE THESE SIGNS ARE ALREADY PRESENT. G20-2A SIGNS MAY ALSO BE OMITTED IF DURATION OF WORK IS LESS THAN 7 CONTINUOUS DAYS AND NIGHTS.

CHANNELIZING DEVICES PLACED ADJACENT TO THE WORK AREA SHALL BE PULLED BACK FROM THE TRAVEL LANE WHEN WORK IS NOT IN PROGRESS.

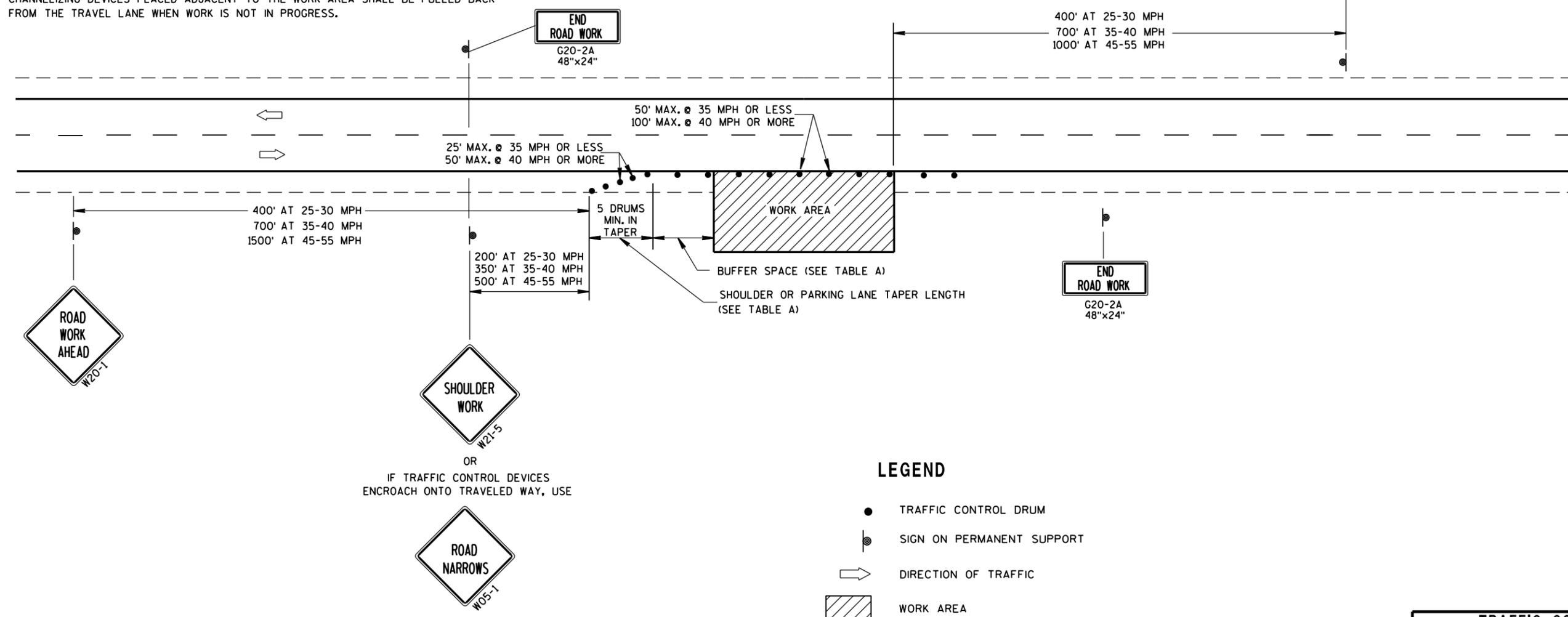
TABLE A

S	SHOULDER TAPER LENGTH (FEET)				BUFFER SPACE (FEET)
	4	6	8	10	
30	20	30	40	50	85
35	30	45	55	70	120
40	40	55	75	90	170
45	60	90	120	150	220
50	70	100	135	170	280
55	75	110	150	185	335

W = SHOULDER WIDTH (FEET)
S = NON-CONSTRUCTION SPEED LIMIT (MPH)

SHOULDER TAPER LENGTH
= WS AT 45 MPH OR GREATER

= $\frac{WS^2}{60}$ AT 40 MPH OR LESS



LEGEND

- TRAFFIC CONTROL DRUM
- ⊙ SIGN ON PERMANENT SUPPORT
- ➔ DIRECTION OF TRAFFIC
- ▨ WORK AREA

TRAFFIC CONTROL, WORK ON SHOULDER OR PARKING LANE, UNDIVIDED ROADWAY	
STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION	
APPROVED DATE	/S/ Travis Feltes STATE TRAFFIC ENGINEER OF DESIGN
FHWA	

6

6

S.D.D. 15 D 28-2

S.D.D. 15 D 28-2

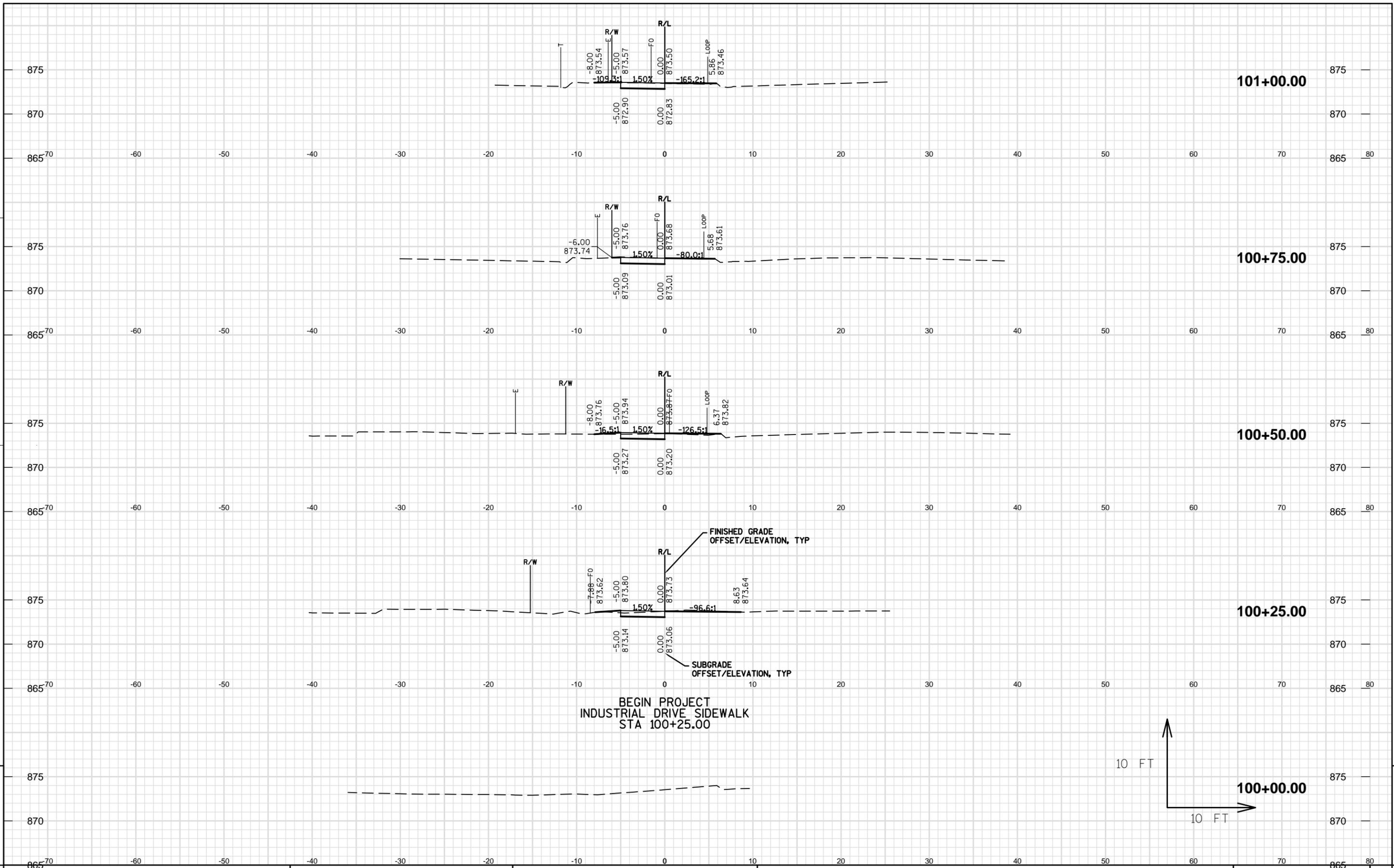
EARTHWORK SUMMARY

DIVISION	FROM/TO STATION	LOCATION	EXCAVATION COMMON (1) ITEM	AVAILABLE MATERIAL (2)	UNEXPANDED FILL	EXPANDED FILL (3) FACTOR 1.25	MASS ORDINATE +/- (4)	WASTE	COMMENT:
			CUT						
DIVISION 1									
	100+00 - 110+25	INDUSTRIAL DRIVE	129	129	15	19	110	110	
	DIVISION 1 SUBTOTAL		129	129	15	19	110	110	
	GRAND TOTAL		129	129	15	19	110	110	
TOTAL EXCAVATION COMMON			129						

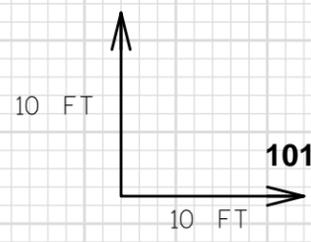
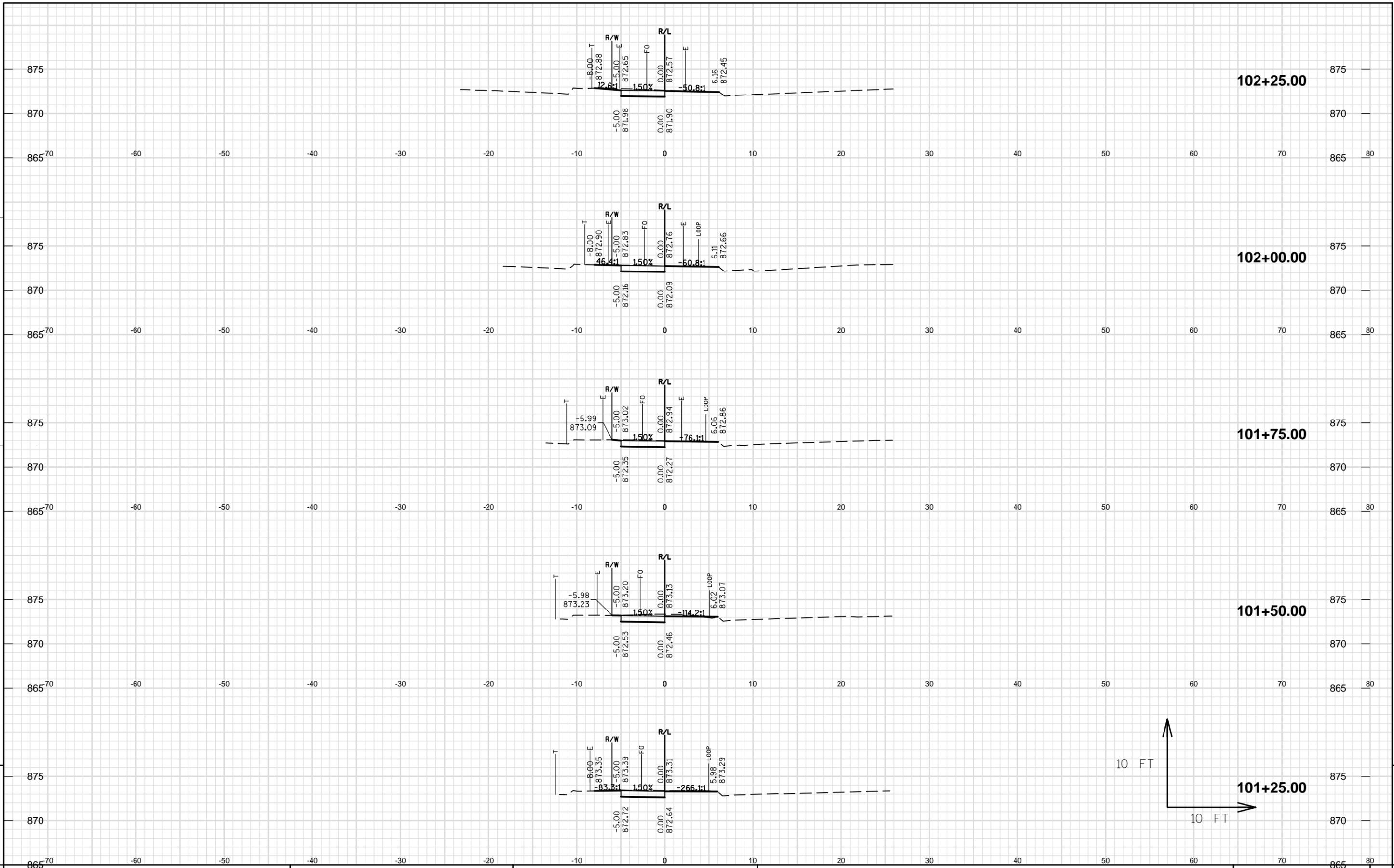
NOTES:

- 1 - EXCAVATION COMMON WILL BE PAID FOR AT THE CONTRACT PLAN QUANTITY.
- 2 - AVAILABLE MATERIAL = CUT
- 3 - EXPANDED FILL FACTOR = 1.25. EXPANDED FILL = UNEXPANDED FILL * FILL FACTOR
- 4 - THE MASS ORDINATE + OR - QTY CALCULATED FOR THE DIVISION. PLUS QUANTITY INDICATES AN EXCESS OF MATERIAL WITHIN THE DIVISION. MINUS INDICATES A SHORTAGE OF MATERIAL WITHIN THE DIVISION.

FOR INFORMATIONAL PURPOSES ONLY

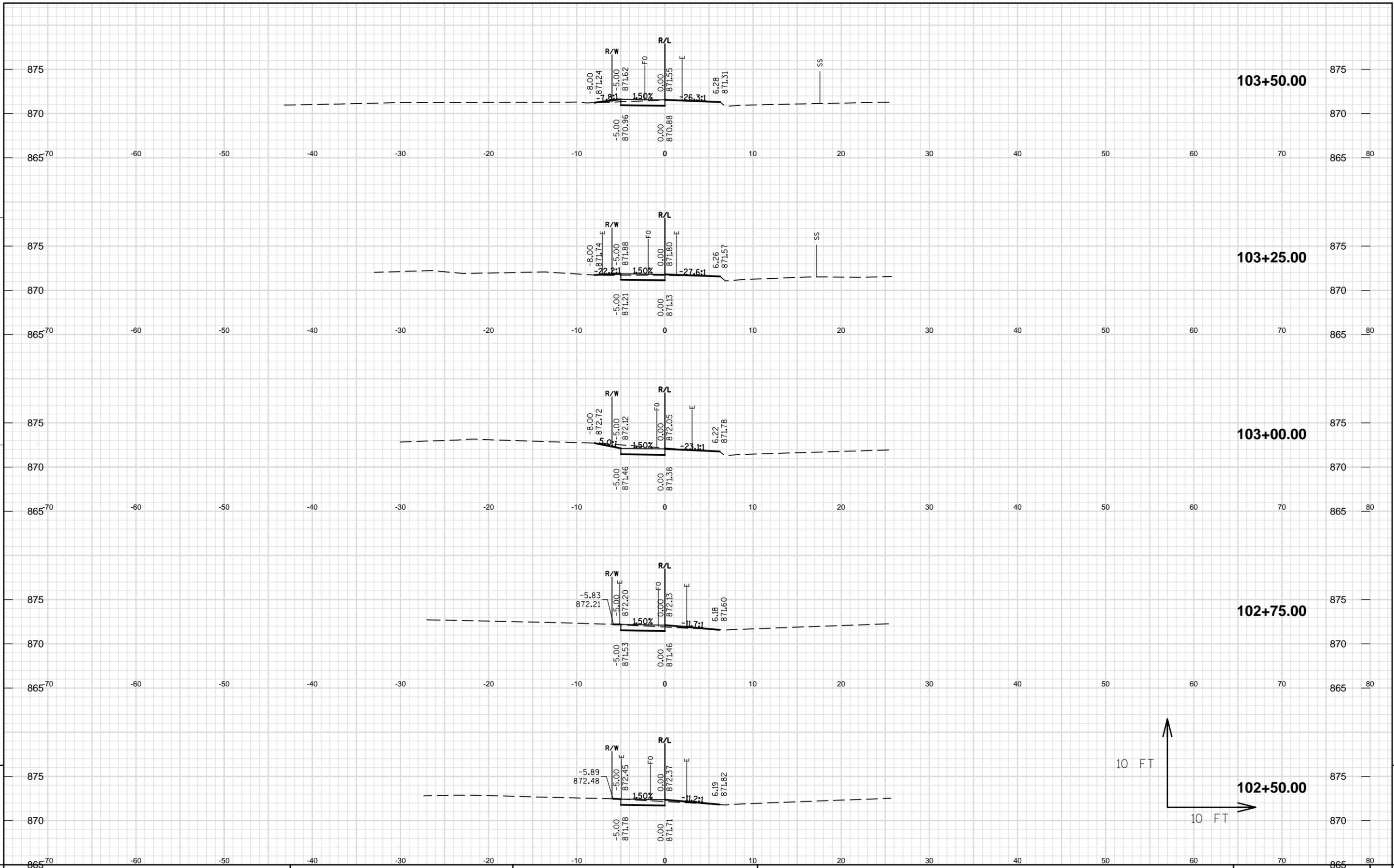


PROJECT NO:160622 INDUSTRIAL DRIVE SIDEWALK VILLAGE OF JACKSON CROSS SECTIONS: INDUSTRIAL DRIVE SHEET E

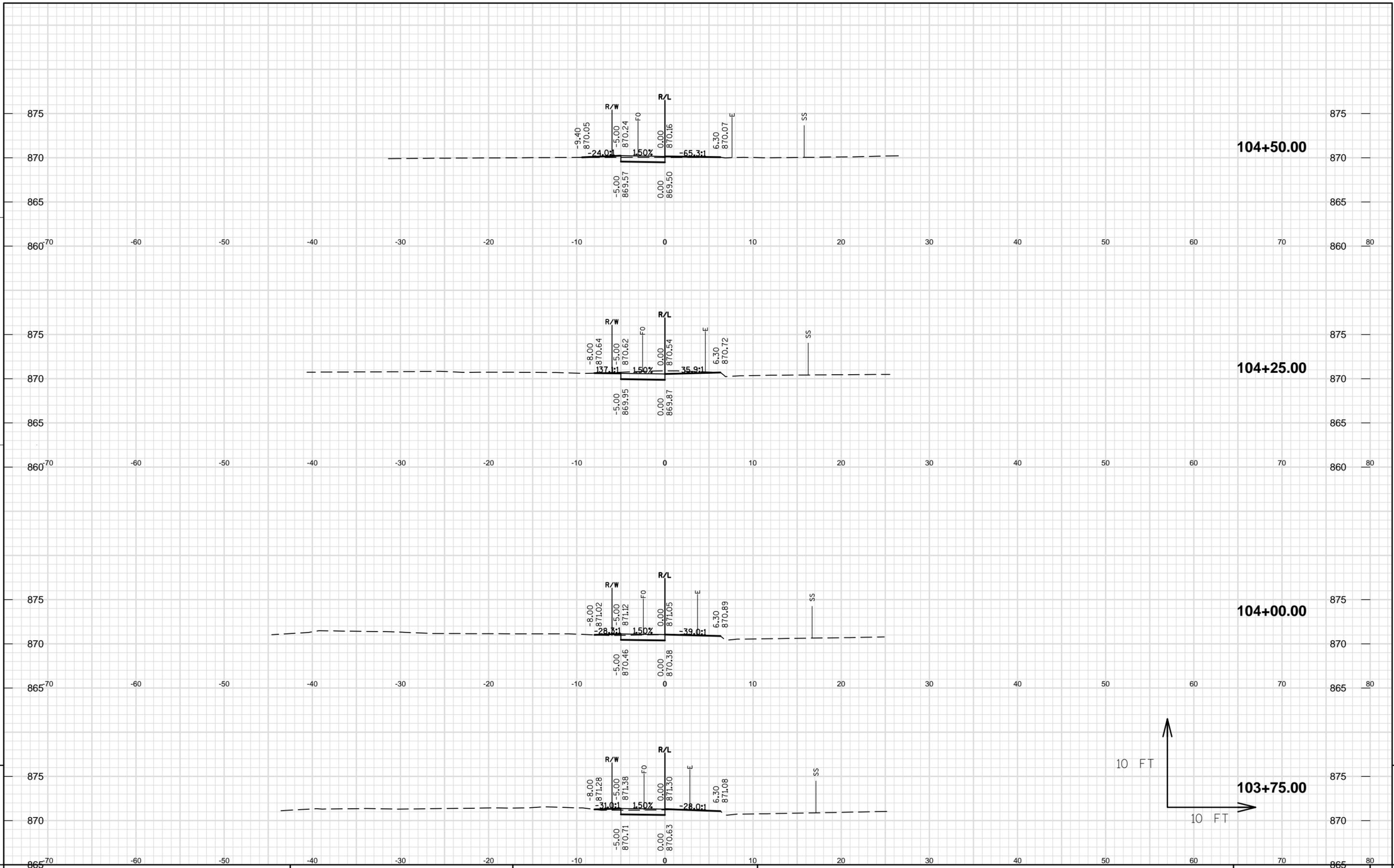


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PROJECT NO:160622 INDUSTRIAL DRIVE SIDEWALK VILLAGE OF JACKSON CROSS SECTIONS: INDUSTRIAL DRIVE SHEET E

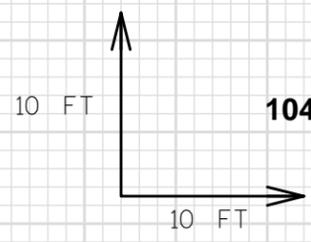
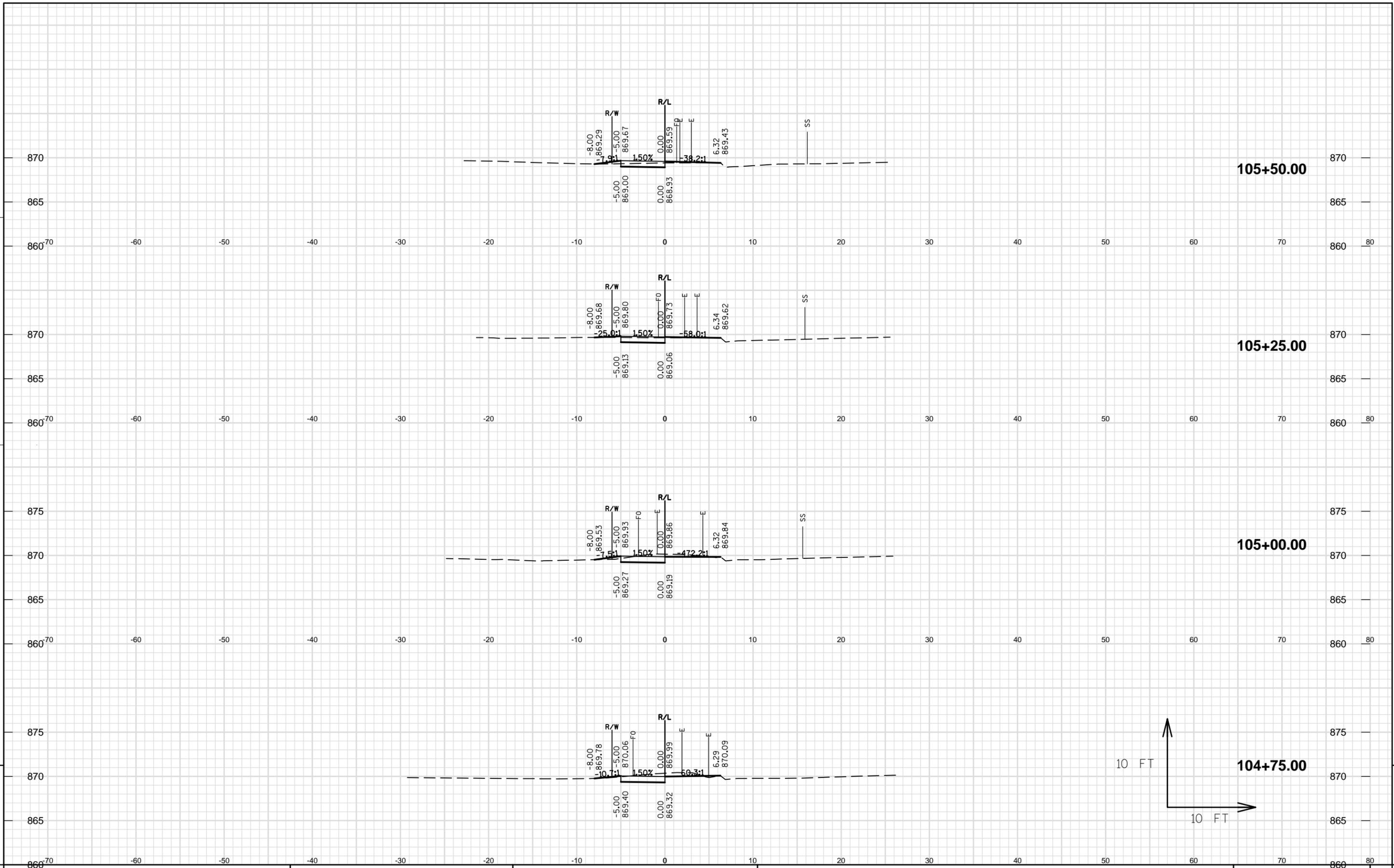


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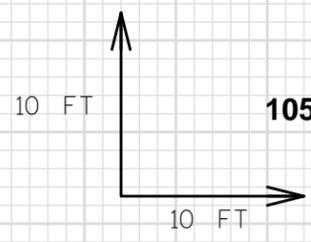
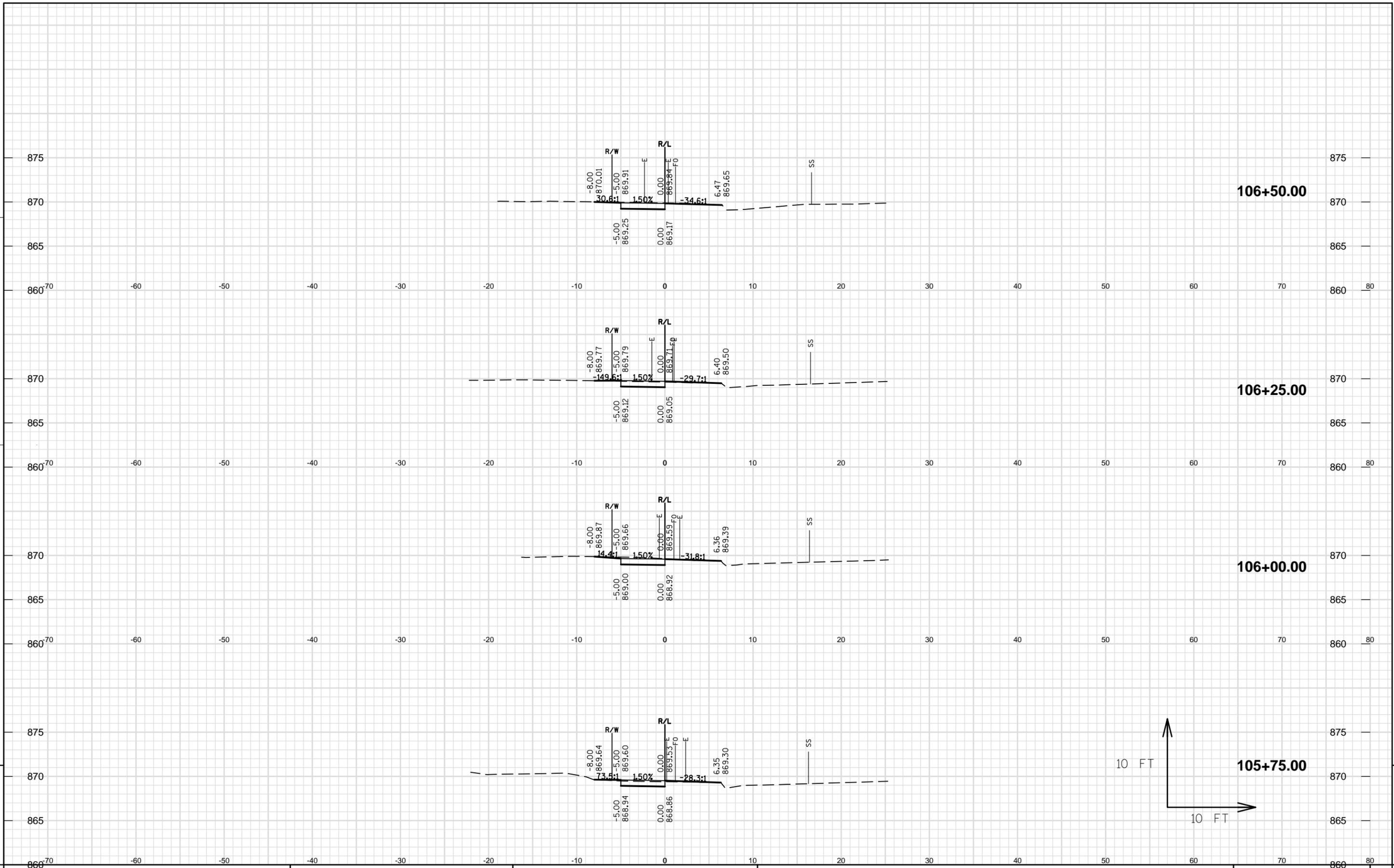
PROJECT NO:160622 INDUSTRIAL DRIVE SIDEWALK VILLAGE OF JACKSON CROSS SECTIONS: INDUSTRIAL DRIVE SHEET E

FILE NAME : S:\CURRPROJ\WASHINCO\JACKSON\INDUSTRIAL DRIVE SIDEWALK PROJECT\CIVIL3D\SHEETSPLAN\INDUSTRIAL-090201-XS.DWG PLOT DATE : 8/8/2016 1:17 PM PLOT BY : JEFF CHVOSTA PLOT NAME : ----- PLOT SCALE : ***** WISDOT/CADD SHEET 49



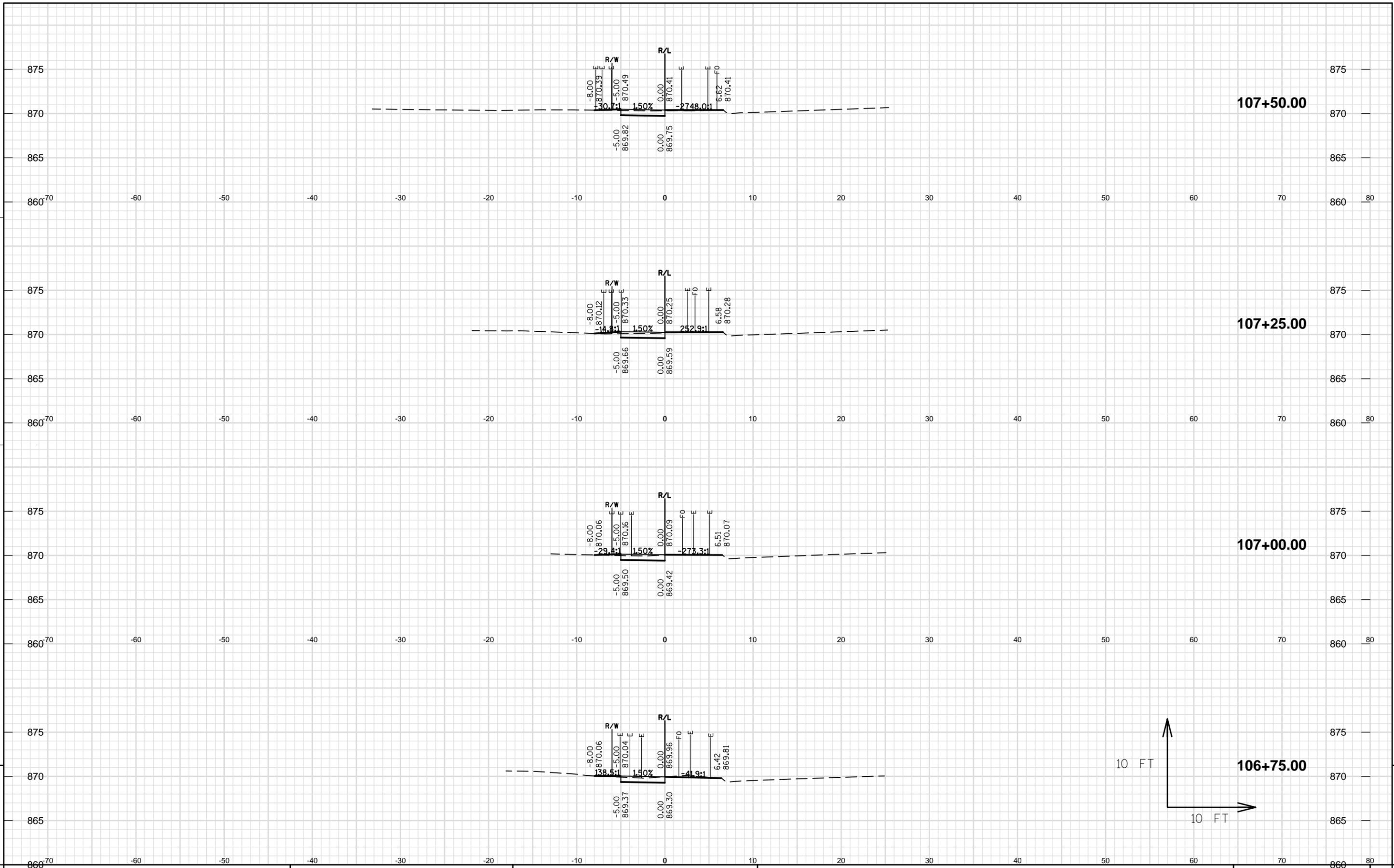
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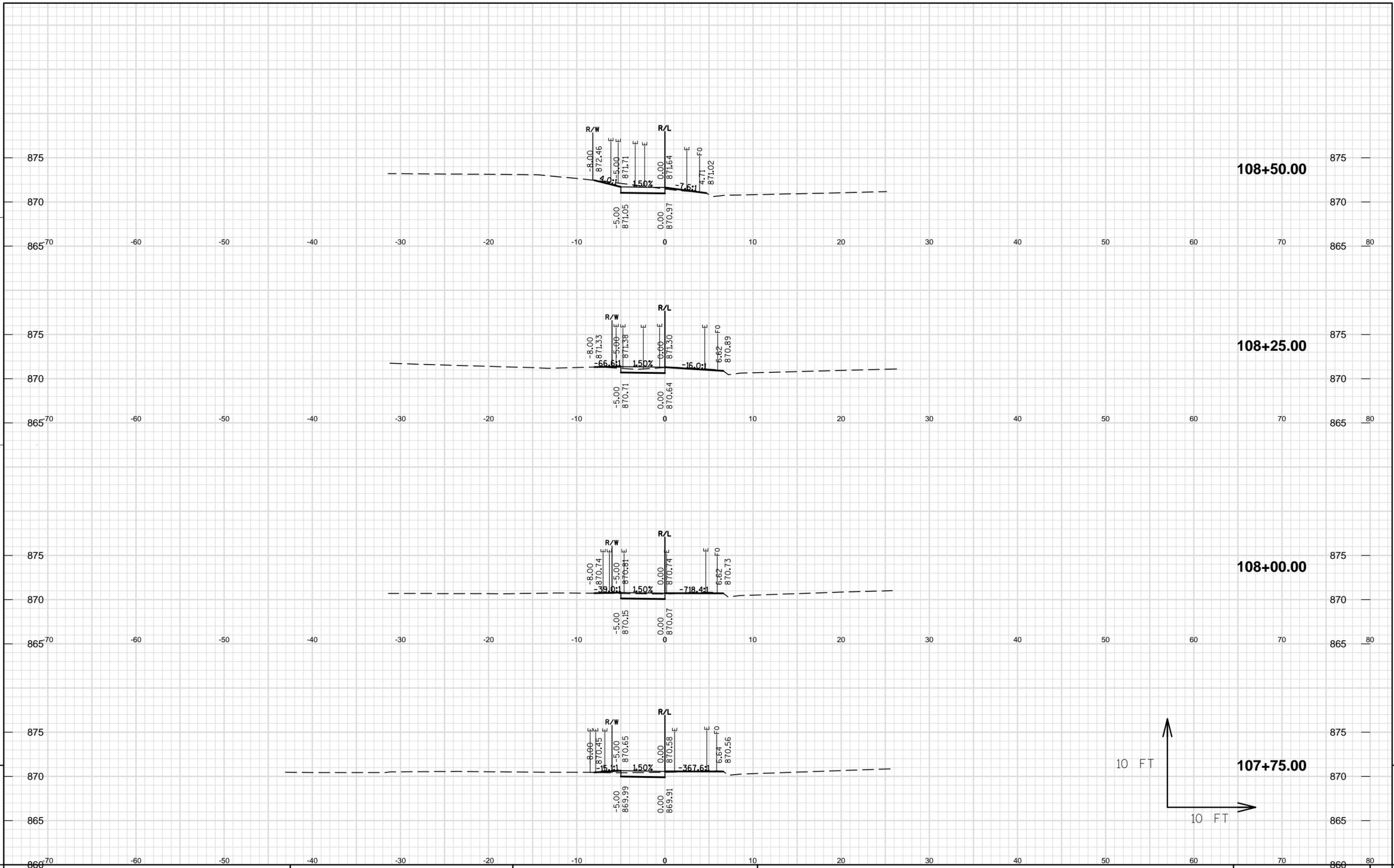
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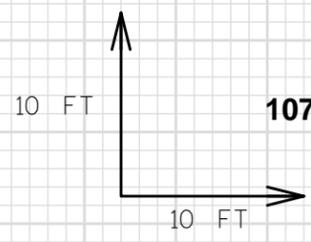
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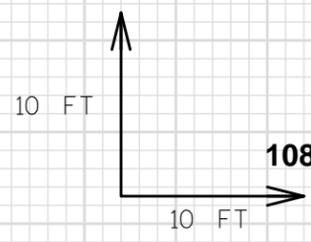
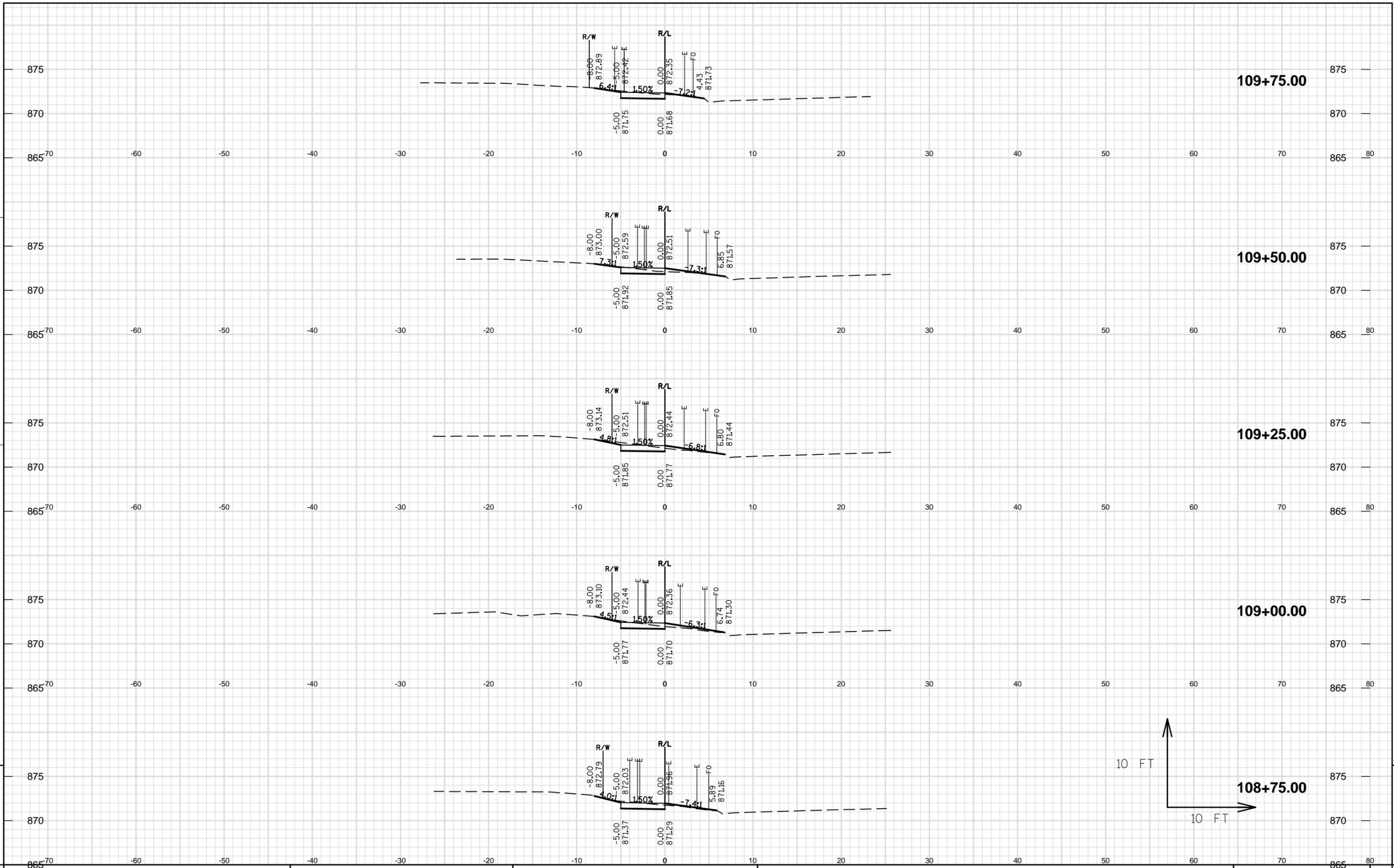
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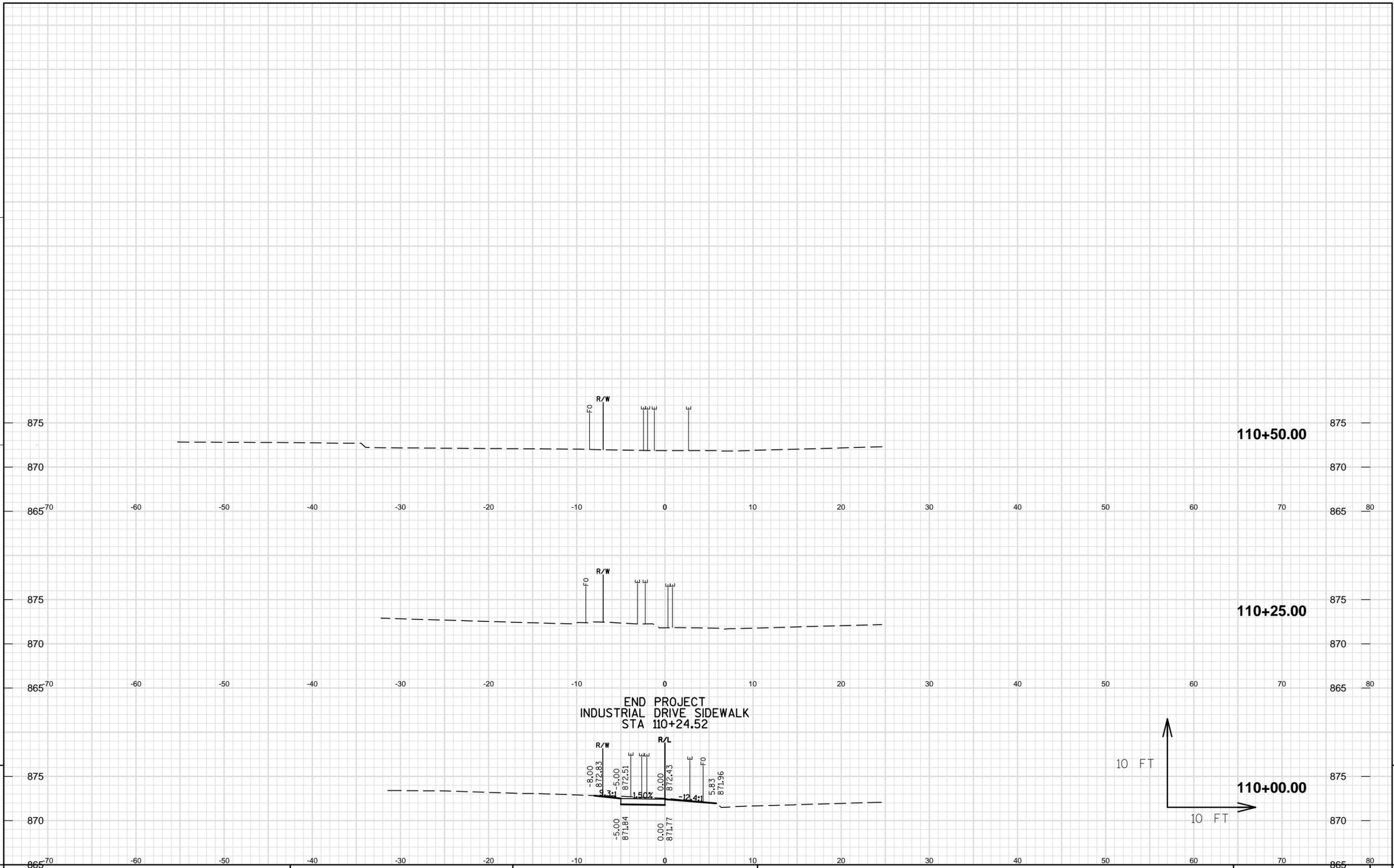
PROJECT NO:160622 INDUSTRIAL DRIVE SIDEWALK VILLAGE OF JACKSON CROSS SECTIONS: INDUSTRIAL DRIVE SHEET E

FILE NAME : S:\CURRPROJ\WASHINCO\JACKSON\INDUSTRIAL DRIVE SIDEWALK PROJECT\CIVIL3D\SHEETSPLAN\INDUSTRIAL-090201-XS.DWG PLOT DATE : 8/8/2016 1:17 PM PLOT BY : JEFF CHVOSTA PLOT NAME : ----- PLOT SCALE : ***** WISDOT/CADD SHEET 49



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RESOLUTION 16-18

PRELIMINARY RESOLUTION DECLARING INTENT TO EXERCISE SPECIAL ASSESSMENT POLICE POWERS, UNDER SECTION 66.0703 OF THE WISCONSIN STATUTES FOR THE INDUSTRIAL DRIVE SIDEWALK PROJECT

WHEREAS, the Village Board of the Village of Jackson, Washington County, Wisconsin is pursuing the construction and reconstruction of public improvements consisting of pavement; curb and gutter; and sidewalks and the related improvements and expenses for the benefit of the properties described on Exhibit A hereto.

BE IT RESOLVED, by the Village Board of the Village of Jackson, Washington County, Wisconsin:

1. The Village Board hereby declares its intention to exercise its police power under **Section 66.0703** of the Wisconsin Statutes to levy special assessments upon the properties described in Exhibit A hereto, for special benefits conferred upon such property by the construction of public improvements consisting of water and sanitary sewer mains; storm sewers; pavement; curb and gutter; and sidewalks and the related improvements and expenses.
2. The Village Board hereby determines that the construction of such improvements is in the best interest of, and for the health and welfare of the municipality and the property benefited by the improvements, and therefore constitutes an exercise of the police power.
3. The amount of such assessments shall be determined and levied upon completion of the construction of public improvements consisting of water and sanitary sewer mains; storm sewers; pavement; curb and gutter; and sidewalks and the related improvements and expenses.
4. The number of installments, rate of interest, and the terms of payment will be included in the Final Resolution after the Public Hearing; which will be held upon completion of the project, when final costs have been determined.
5. Every Special Assessment levied under this Resolution, shall be a lien against the property assessed, from the date of the Final Resolution of the Village Board determining the levy.
6. The Village Engineer shall prepare a report consisting of the following:
 - a. Preliminary of the final plans and specifications for the Public Works.
 - b. An estimate of the entire cost of the proposed improvements.
 - c. A schedule of the proposed properties against which the assessments are to benefit.
 - d. A statement that each property against which the assessments are proposed, has been inspected and is benefited, setting forth the basis of such benefit.

e. Upon completion of the report, the Village Engineer shall file a copy with the Village Clerk, and with the Village Treasurer.

7. The Village Clerk shall make a copy of the report available for public inspection.

Introduced by: _____

Seconded by: _____

Vote: ___ Aye ___ Nay

Passed and Approved: _____

Michael E. Schwab, Village President

Attest: _____
Deanna L. Boldrey, Village Clerk-Treasurer

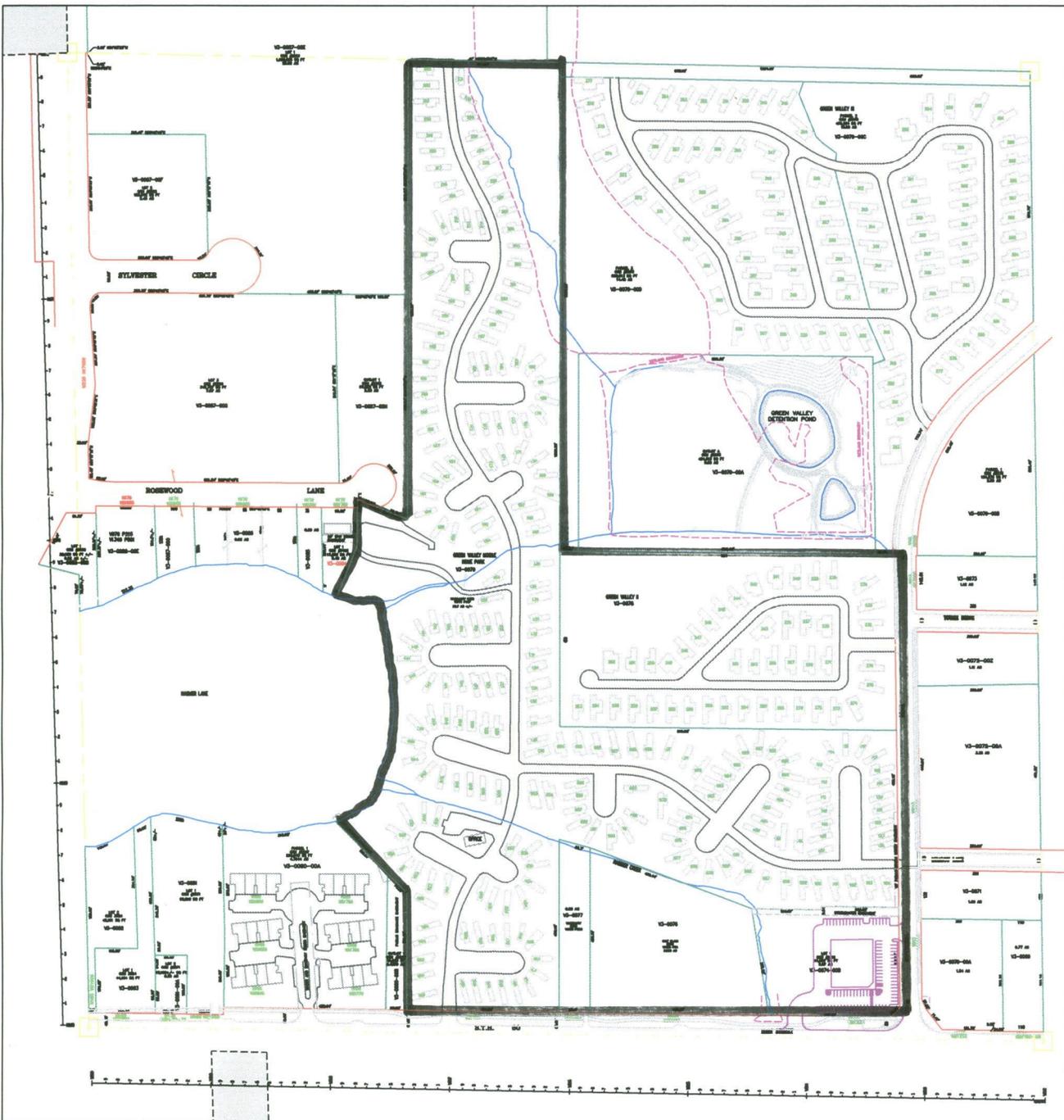
Proof of Posting:

I the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post Office, and one other location in the Village.

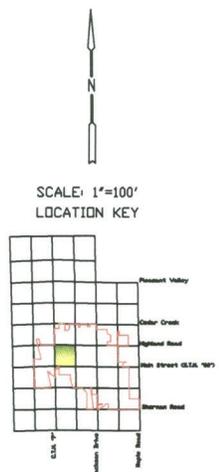
Village Official

Date

EXHIBIT A



SW 1/4 SEC. 18-10-20
Cadastral Map
183



SW 1/4 SEC. 18-10-20
Cadastral Map
183

November 20, 2015

Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

Attention: Brian Kober, P.E.
Director of Public Works

Subject: Project I.D. 150513
Jackson Drive Sidewalk
Cranberry Creek Lane – STH 60
Estimate #2

Dear Mr. Kober:

Enclosed you will find Pay Estimate # for the Jackson Drive Sidewalk project in the Village of Jackson. The total amount due to the contractor has been reduced by five percent (5%) for retainage.

Work completed, Estimate #2	= \$41,395.03
Retainage, Estimate #2 (5%)	= 2,069.75
Amount due to Contractor, Estimate #2	= \$39,325.28

If you have any questions or comments, please contact me at (920) 924-5720.

Sincerely,



Eric Stobb
Gremmer & Associates, Inc.

**Village of Jackson - Jackson Drive Sidewalk
DC Burbach - Prime Contractor**

Item No.	Description	Units	TOTAL	Unit Price	Bid Total	Estimate #1		Estimate #2		Estimate #3		Estimate #4		Estimate #5		Cumulative Totals		
						Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	
1	Clearing and Grubbing	LS	1	\$1,500.00	\$1,500.00	0.5	\$750.00	0.5	\$750.00		\$0.00		\$0.00		\$0.00	1.0	\$1,500.00	
2	Removing Curb & Gutter	LF	70	\$7.20	\$504.00	106.0	\$763.20	0.0	\$0.00		\$0.00		\$0.00		\$0.00	106.0	\$763.20	
3	Removing Concrete	SY	110	\$7.20	\$792.00	189.0	\$1,360.80	0.0	\$0.00		\$0.00		\$0.00		\$0.00	189.0	\$1,360.80	
4	Excavation Common **P**	CY	271	\$29.85	\$8,089.35	271.0	\$8,089.35	0.0	\$0.00		\$0.00		\$0.00		\$0.00	271.0	\$8,089.35	
5	Base Aggregate Dense 3/4-Inch	TON	500	\$17.65	\$8,825.00	280.1	\$4,943.77	133.0	\$2,347.45		\$0.00		\$0.00		\$0.00	413.1	\$7,291.22	
6	Concrete Driveway 6-Inch	SY	290	\$42.25	\$12,252.50	53.5	\$2,260.38	271.8	\$11,482.28		\$0.00		\$0.00		\$0.00	325.3	\$13,742.66	
7	Asphaltic Surface Driveways and Field Entrances	TON	15	\$275.00	\$4,125.00	0.0	\$0.00	14.5	\$3,987.50		\$0.00		\$0.00		\$0.00	14.5	\$3,987.50	
8	Concrete Curb & Gutter, 24-Inch Type D	LF	70	\$32.10	\$2,247.00	76.0	\$2,439.60	30.0	\$963.00		\$0.00		\$0.00		\$0.00	106.0	\$3,402.60	
9	Concrete Sidewalk 4-Inch	SF	9400	\$3.35	\$31,490.00	8124.6	\$27,217.41	780.0	\$2,613.00		\$0.00		\$0.00		\$0.00	8,904.6	\$29,830.41	
10	Concrete Sidewalk 6-Inch	SF	380	\$4.30	\$1,634.00	121.0	\$520.30	0.0	\$0.00		\$0.00		\$0.00		\$0.00	121.0	\$520.30	
11	Curb Ramp Detectable Warning Field Yellow	SF	24	\$50.00	\$1,200.00	0.0	\$0.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	0.0	\$0.00	
12	Topsoil, Seed Mix 40, Fertilizer Type B and Erosion Mat Urban Class I Type A	SY	2400	\$6.40	\$15,360.00	0.0	\$0.00	1,762.0	\$11,276.80		\$0.00		\$0.00		\$0.00	1,762.0	\$11,276.80	
13	Inlet Protection Type C	EACH	10	\$75.00	\$750.00	9.0	\$675.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	9.0	\$675.00	
14	Traffic Control	LS	1	\$4,150.00	\$4,150.00	0.5	\$2,075.00	0.5	\$2,075.00		\$0.00		\$0.00		\$0.00	1.0	\$4,150.00	
15	Sawing Asphalt	LF	135	\$2.50	\$337.50	140.5	\$351.25	0.0	\$0.00		\$0.00		\$0.00		\$0.00	140.5	\$351.25	
16	Sawing Concrete	LF	56	\$4.00	\$224.00	12.0	\$48.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	12.0	\$48.00	
17	Sawing Curb Head	LF	20	\$30.00	\$600.00	10.0	\$300.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	10.0	\$300.00	
18	Adjusting Sanitary Sewer Manhole	EACH	1	\$1,200.00	\$1,200.00	1.0	\$1,200.00	0.0	\$0.00		\$0.00		\$0.00		\$0.00	1.0	\$1,200.00	
	Extra: Remove Loading Dock at Ray's Automotive as Authorized	LS	1	\$1,500.00	\$1,500.00	1.0	\$1,500.00		\$0.00		\$0.00		\$0.00		\$0.00	1.0	\$1,500.00	
	Extra: Option #5 - Remove & Replace Asphalt on Jackson Drive per DC Burbach proposal	LS	1	\$5,900.00	\$5,900.00	0.0	\$0.00	1.0	\$5,900.00		\$0.00		\$0.00		\$0.00	1.0	\$5,900.00	
					SUBTOTAL	\$102,680.35		\$54,494.05		\$41,395.03		\$0.00		\$0.00		\$0.00		\$95,889.08



Work completed, previous estimates	\$54,494.05
Work completed, this estimate	\$41,395.03
Total work completed	\$ 95,889.08
Retainage, this estimate	\$ 2,069.75
Retainage, total all estimates	\$ 4,794.45
Amount due to contractor, this estimate	\$ 39,325.28

RESOLUTION #16-19

FINAL RESOLUTION AUTHORIZING THE LEVY OF SPECIAL ASSESSMENTS AGAINST BENEFITED PROPERTY ASSOCIATED WITH WILSHIRE DRIVE PROJECT 2016

WHEREAS, the Village Board of the Village of Jackson, Washington County, Wisconsin, on the 12th day of April, 2016, adopted a Preliminary Resolution declaring its intention to levy special assessments pursuant to Section 66.0703, Wisconsin Statutes upon the property benefited by the installation of Storm Sewer Laterals and Sidewalk; and

WHEREAS, the governing body held a public hearing at the Jackson Village Hall, located at N168 W20733 Main Street at 7:30 p.m. on the 13th day of September, 2016 for the purpose of hearing all interested persons who desired to speak concerning the project's improvements and assessments; and

WHEREAS, the governing body has examined the report relating to the improvements and assessments (contained therein) and has considered the statements of those persons appearing at the public hearing.

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of the Village of Jackson, Washington County, Wisconsin, as follows:

1. The report pertaining to the construction of the above-described public improvements, including plans and specifications, therefore, is adopted and approved.
2. The improvements were carried out in accordance with such report, and payment for assessing the cost to the property shall make the improvements, benefited those properties as indicated in the report.
3. The assessments shown on the report represent an exercise of police power, have been determined and completed on a reasonable basis, and are hereby confirmed. The total amount assessed is \$66,966.05. The amount assessed against each of the affected properties is enumerated in the Assessment Report contained herein.
4. The assessments for all projects included in the report, are hereby combined as a single assessment, but any interested property owner may object to each assessment separately or to all of the assessments jointly, for any purpose.
5. The property owners may, at their option, pay the assessment to the Treasurer of the Village of Jackson, in one single total payment, or have the amount added as a Special Assessment to their annual property tax statement for the tax year 2016.

6. The Village Clerk shall publish this Resolution as a Class 1 notice, an Installment Assessment Notice, in accordance with Section 66.0703, Wisconsin Statutes.
7. The Village Treasurer shall mail to every interested person whose post office address is known or can with reasonable diligence be ascertained, including each property owner whose name appears on the property tax roll, a copy of this resolution, an invoice for the final assessment against the benefited property, and a contract agreement form in which the interested party shall elect their option of payment for such assessment, sign, and return to the Village Treasurer.

Introduced by: _____

Seconded by: _____

Vote: _____ ayes _____ nays

Passed and Approved: _____

Michael E. Schwab - Village President

Attest: _____
Deanna L. Boldrey, Village Clerk-Treasurer

Proof of Posting:

I the undersigned, certify that I posted this Resolution on bulletin boards at the Village Hall, Post Office, and one other location in the Village.

Village Official

Date

Gremmer and Associates, Inc.

93 S. Pioneer Road, Suite 300
Fond du Lac, WI 54935
(920) 924-5720
fax (920)924-5725

Buteyn-Peterson - Prime Contractor

Village of Jackson - Wilshire Drive

Item No.	Description	Units	TOTAL	Unit Price	Bid Total	Previous Estimates		Estimate #4		Cumulative Totals		% Complete
						Actual Quantity	Total	Actual Quantity	Total	Actual Quantity	Total	
100.01	Removing Concrete	SY	1885	\$3.47	\$6,540.95	1,903.90	\$6,606.53		\$0.00	1,903.90	\$6,606.53	101%
100.02	Removing Curb & Gutter	LF	2595	\$2.75	\$7,136.25	2,618.00	\$7,199.50		\$0.00	2,618.00	\$7,199.50	101%
100.03	Excavation Common	CY	2535	\$13.00	\$32,955.00	2,596.50	\$33,754.50		\$0.00	2,596.50	\$33,754.50	102%
100.04	Base Aggregate Dense 3/4-Inch	TON	830	\$17.43	\$14,466.90	819.04	\$14,275.87		\$0.00	819.04	\$14,275.87	99%
100.05	Base Aggregate Dense 1 1/4-Inch	TON	3400	\$10.60	\$36,040.00	3,197.03	\$33,888.52	90.26	\$956.76	3,287.29	\$34,845.27	97%
100.06	Breaker Run	TON	100	\$9.23	\$923.00	104.68	\$966.20		\$0.00	104.68	\$966.20	105%
100.07	Concrete Driveway 7-Inch	SY	1310	\$43.00	\$56,330.00	1,267.00	\$54,481.00		\$0.00	1,267.00	\$54,481.00	97%
100.08	HMA Pavement, Type E-0.3	TON	1520	\$49.20	\$74,784.00	1,318.39	\$64,864.79		\$0.00	1,318.39	\$64,864.79	87%
100.09	Asphaltic Surface Driveway	TON	10	\$84.50	\$845.00	19.00	\$1,605.50		\$0.00	19.00	\$1,605.50	190%
100.10	Concrete Curb & Gutter 30-Inch Type D	LF	2600	\$11.30	\$29,380.00	2,654.00	\$29,990.20		\$0.00	2,654.00	\$29,990.20	102%
100.11	Concrete Sidewalk 4-Inch	SF	10300	\$3.51	\$36,153.00	10,477.00	\$36,774.27		\$0.00	10,477.00	\$36,774.27	102%
100.12	Lawn Restoration	SY	4150	\$5.25	\$21,787.50	3,066.90	\$16,101.23	16.20	\$85.05	3,083.10	\$16,186.28	74%
100.13	Erosion Control	LS	1	\$2,300.00	\$2,300.00	1.00	\$2,300.00		\$0.00	1.00	\$2,300.00	100%
100.14	Traffic Control	LS	1	\$1,800.00	\$1,800.00	0.90	\$1,620.00	0.10	\$180.00	1.00	\$1,800.00	100%
100.15	Sawing Asphalt	LF	365	\$2.00	\$730.00	326.50	\$653.00		\$0.00	326.50	\$653.00	89%
100.16	Sawing Concrete	LF	480	\$3.00	\$1,440.00	381.00	\$1,143.00		\$0.00	381.00	\$1,143.00	79%
200.01	Removing Manholes	EACH	5	\$350.00	\$1,750.00	5.00	\$1,750.00		\$0.00	5.00	\$1,750.00	100%
200.02	Removing Inlets	EACH	8	\$200.00	\$1,600.00	8.00	\$1,600.00		\$0.00	8.00	\$1,600.00	100%
200.03	Removing Storm Sewer	LF	1150	\$5.00	\$5,750.00	1,105.00	\$5,525.00		\$0.00	1,105.00	\$5,525.00	96%
200.04	Storm Sewer Pipe PVC SDR-35 4-Inch	LF	1671	\$18.00	\$30,078.00	1,693.00	\$30,474.00		\$0.00	1,693.00	\$30,474.00	101%
200.05	Storm Sewer Pipe Reinforced Concrete 12-Inch	LF	167	\$60.00	\$10,020.00	167.00	\$10,020.00		\$0.00	167.00	\$10,020.00	100%
200.06	Storm Sewer Pipe Reinforced Concrete 15-Inch	LF	812	\$54.50	\$44,254.00	803.50	\$43,790.75		\$0.00	803.50	\$43,790.75	99%
200.07	Storm Sewer Pipe Reinforced Concrete 18-Inch	LF	54	\$70.50	\$3,807.00	54.00	\$3,807.00		\$0.00	54.00	\$3,807.00	100%
200.08	Storm Sewer Pipe Reinforced Concrete 24-Inch	LF	434	\$66.50	\$28,861.00	486.00	\$32,319.00		\$0.00	486.00	\$32,319.00	112%
200.09	Catch Basins 2.5x3-FT w/ Casting	EACH	7	\$1,157.00	\$8,099.00	7.00	\$8,099.00		\$0.00	7.00	\$8,099.00	100%
200.10	Manholes 4-FT Diameter w/ Casting	EACH	6	\$823.00	\$4,938.00	6.00	\$4,938.00		\$0.00	6.00	\$4,938.00	100%
200.11	Manholes 5-FT Diameter w/ Casting	EACH	3	\$1,220.00	\$3,660.00	3.00	\$3,660.00		\$0.00	3.00	\$3,660.00	100%
200.12	Manholes 6-FT Diameter Doghouse w/ Casting "	EACH	1	\$1,789.00	\$1,789.00	1.00	\$1,789.00		\$0.00	1.00	\$1,789.00	100%
200.13	Inlets 2.5x3-FT w/ Casting	EACH	3	\$1,058.00	\$3,174.00	3.00	\$3,174.00		\$0.00	3.00	\$3,174.00	100%
200.14	Concrete Collar	EACH	3	\$500.00	\$1,500.00		\$0.00		\$0.00	0.00	\$0.00	0%
300.01	Removing Sanitary Sewer Manholes	EACH	1	\$1,388.30	\$1,388.30	1.00	\$1,388.30		\$0.00	1.00	\$1,388.30	100%
300.02	Abandoning Sanitary Sewer	LS	1	\$500.00	\$500.00	1.00	\$500.00		\$0.00	1.00	\$500.00	100%
300.03	Adjusting Sanitary Manhole	EACH	7	\$669.00	\$4,683.00		\$0.00	7.00	\$4,683.00	7.00	\$4,683.00	100%
300.04	Connect to Existing Sanitary Sewer	EACH	2	\$500.00	\$1,000.00	2.00	\$1,000.00		\$0.00	2.00	\$1,000.00	100%
300.05	Sanitary Sewer PVC SDR-35 6-Inch	LF	165	\$93.00	\$15,345.00	159.50	\$14,833.50		\$0.00	159.50	\$14,833.50	97%
300.06	Sanitary Sewer PVC SDR-35 8-Inch	LF	400	\$93.87	\$37,548.00	397.00	\$37,266.39		\$0.00	397.00	\$37,266.39	99%
300.07	Sanitary Sewer Manhole w/ Casting	EACH	2	\$3,920.00	\$7,840.00	2.00	\$7,840.00		\$0.00	2.00	\$7,840.00	100%
400.01	Removing Hydrant	EACH	3	\$1,014.00	\$3,042.00	3.00	\$3,042.00		\$0.00	3.00	\$3,042.00	100%
400.02	Abandoning Water Main	LS	1	\$600.00	\$600.00	1.00	\$600.00		\$0.00	1.00	\$600.00	100%
400.03	Water Main Pipe HDPE 1 1/4-Inch	LF	855	\$74.00	\$63,270.00	893.50	\$66,119.00		\$0.00	893.50	\$66,119.00	105%
400.04	Water Main Pipe PVC C-900 6-Inch	LF	35	\$72.00	\$2,520.00	32.50	\$2,340.00		\$0.00	32.50	\$2,340.00	93%
400.05	Water Main Pipe PVC C-900 8-Inch	LF	1420	\$73.33	\$104,128.60	1,429.50	\$104,825.24		\$0.00	1,429.50	\$104,825.24	101%
400.06	Gate Valve 6-Inch	EACH	3	\$1,800.00	\$5,400.00	3.00	\$5,400.00		\$0.00	3.00	\$5,400.00	100%
400.07	Gate Valve 8-Inch	EACH	5	\$2,240.00	\$11,200.00	5.00	\$11,200.00		\$0.00	5.00	\$11,200.00	100%
400.08	Reducer 8-Inch x 6-Inch	EACH	2	\$924.00	\$1,848.00	2.00	\$1,848.00		\$0.00	2.00	\$1,848.00	100%
400.09	Anchor Tee 8-Inch x 6-Inch	EACH	3	\$1,071.00	\$3,213.00	4.00	\$4,284.00		\$0.00	4.00	\$4,284.00	133%
400.10	Cross 8-Inch x 8-Inch	EACH	1	\$1,329.00	\$1,329.00	1.00	\$1,329.00		\$0.00	1.00	\$1,329.00	100%
400.11	Bend 11.25 Degree 8-Inch	EACH	8	\$950.00	\$7,600.00	8.00	\$7,600.00		\$0.00	8.00	\$7,600.00	100%
400.12	Bend 22.5 Degree 8-Inch	EACH	2	\$961.00	\$1,922.00	4.00	\$3,844.00		\$0.00	4.00	\$3,844.00	200%
400.13	Bend 45 Degree 8-Inch	EACH	6	\$965.00	\$5,790.00	5.00	\$4,825.00		\$0.00	5.00	\$4,825.00	83%
400.14	Connect to Existing Water Main	EACH	4	\$929.00	\$3,716.00	4.00	\$3,716.00		\$0.00	4.00	\$3,716.00	100%
400.15	Hydrant	EACH	3	\$4,076.00	\$12,228.00	3.00	\$12,228.00		\$0.00	3.00	\$12,228.00	100%
400.16	Temporary 6 Cap w/ 2" Blowoff "	EACH	1	\$2,221.00	\$2,221.00	1.00	\$2,221.00		\$0.00	1.00	\$2,221.00	100%
400.17	Polystyrene Insulation 4-Inch	SF	96	\$9.00	\$864.00	96.00	\$864.00		\$0.00	96.00	\$864.00	100%
SUBTOTAL						\$772,087.50	\$756,283.27		\$5,904.81	\$762,188.08	99%	



93 South Pioneer Road, Suite 300 • Fond du Lac, WI 54935 • (920) 924-5720

Work completed, previous estimates	\$756,283.27
Work completed, this estimate	\$5,904.81
Total work completed	\$762,188.08
Retainage, this estimate	\$5,000.00
Total Retainage, previous estimates	\$15,384.09
Total Retainage, final	\$5,000.00
Amount due to contractor, this estimate	\$16,288.90

Village of Jackson
Wilshire Drive Reconstruction Project 2016
Reconstruction of Wilshire Drive from Jackson Drive to Georgetown Drive
Final Property Assessment
August 30, 2016

Title	First Name	Last Name	Second Name	City	State	ZIP Code	Physical Address	Mailing Address	Tax Key No	Phone Number	Email Address	Onsite Inspection Completed	Linear Frontage	Estimated Sidewalk Installed	Sidewalk Installation Unit Price (\$/S.F.)	Estimated Sidewalk Cost (S.F.)	Storm Sewer Lateral Cost	Private Driveway Cost	Total Assessment Amount
Mr.	Justin	Bernhardt		Jackson	WI	53037	N169 W20370 Wilshire Drive	N169 W20370 Wilshire Drive	V3 0013 00A	262-623-7743		05/03/16	90.00	90.00	\$3.51	\$315.90	\$0.00		\$315.90
Mr. & Mrs.	Scott & Debra	Kurtz		Jackson	WI	53037	N169 W20375 Wilshire Drive	N169 W20375 Wilshire Drive	V3 0013 00B	677-4989			90.00	90.00	\$3.51	\$315.90	\$0.00		\$315.90
Mr.	Steven	Becker		Jackson	WI	53037	N169 W20350 Wilshire Drive	N169 W20350 Wilshire Drive	V3 0013 026	677-2284		4/6/2016	75.00	75.00	\$3.51	\$263.25	\$1,432.29	\$2,376.06	\$4,071.60
Mr.	Peter	Roy		Jackson	WI	53037	N169 W20349 Wilshire Drive	N169 W20349 Wilshire Drive	V3 0013 025			4/11/2016	75.00	75.00	\$3.51	\$263.25	\$1,432.29	\$5,643.06	\$7,338.60
Mr. & Mrs.	Anthony & Pamela	Ettmayer		Jackson	WI	53037	N169 W20328 Wilshire Drive	N169 W20328 Wilshire Drive	V3 0013 027	262-677-3529	pam-runner@live.com	4/6/2016	75.08	75.08	\$3.51	\$263.53	\$1,432.29		\$1,695.82
Mr. & Mrs.	John & Salleyann	Wahlgren		Jackson	WI	53037	N169 W20327 Wilshire Drive	N169 W20327 Wilshire Drive	V3 0013 024	677-3862		5/3/2016	75.07	75.07	\$3.51	\$263.50	\$1,432.29	\$4,059.06	\$5,754.84
Mr. & Mrs.	Jimmy & Michelle	Bruvold		Jackson	WI	53037	N169 W20308 Wilshire Drive	N169 W20308 Wilshire Drive	V3 0013 028	414-526-7488		4/13/2016	75.09	75.09	\$3.51	\$263.57	\$1,432.29		\$1,695.85
Ms.	Kris	Musil		Jackson	WI	53037	N169 W20307 Wilshire Drive	N169 W20307 Wilshire Drive	V3 0013 023	262-893-2973		5/3/16	75.00	75.00	\$3.51	\$263.25	\$1,432.29		\$1,695.54
Mr.	Daniel	Zorn		Jackson	WI	53037	N169 W20284 Wilshire Drive	N169 W20284 Wilshire Drive	V3 0013 029	262-227-3967	daniel_zorn@att.net	4/25/2016	75.09	75.09	\$3.51	\$263.57	\$1,432.29	\$4,752.06	\$6,447.91
Mr. & Mrs.	Clint & Brittany	Gerner		Jackson	WI	53037	N169 W20283 Wilshire Drive	N169 W20283 Wilshire Drive	V3 0013 022	262-483-8885			75.00	75.00	\$3.51	\$263.25	\$1,432.29		\$1,695.54
Mr. & Mrs.	Joseph & Karen	King		Jackson	WI	53037	N169 W20262 Wilshire Drive	N169 W20262 Wilshire Drive	V3 0013 030	677-4667			75.09	75.09	\$3.51	\$263.57	\$1,432.29	\$3,415.56	\$5,111.41
Ms.	Cheryl	Mike		Jackson	WI	53037	N169 W20261 Wilshire Drive	N169 W20261 Wilshire Drive	V3 0013 021	414-581-0051			75.00	75.00	\$3.51	\$263.25	\$1,432.29		\$1,695.54
Mr. & Mrs.	Brandon & Cheri	Barnett		Jackson	WI	53037	N169 W20242 Wilshire Drive	N169 W20242 Wilshire Drive	V3 0013 031	414-418-8791		4/22/2016	68.57	68.57	\$3.51	\$240.68	\$1,432.29	\$3,415.56	\$5,088.53
Mr. & Mrs.	Paul & Cheryl	Liepert		Jackson	WI	53037	N169 W20241 Wilshire Drive	N169 W20241 Wilshire Drive	V3 0013 020	262-483-9994	pliepert@yahoo.com	4/19/2016	78.68	78.68	\$3.51	\$276.17	\$1,432.29	\$3,613.56	\$5,322.01
Mr. & Mrs.	Paul & Nancy	Novak		Jackson	WI	53037	N169 W20218 Wilshire Drive	N169 W20218 Wilshire Drive	V3 0013 032	677-2390			66.00	66.00	\$3.51	\$231.66	\$1,432.29	\$1,287.06	\$2,951.01
Mr. & Mrs.	Daniel & Emily	Anderson		Jackson	WI	53037	N169 W20217 Wilshire Drive	N169 W20217 Wilshire Drive	V3 0013 019	Dan 262-370-4401 Emily 262-573-		5/3/16	90.19	90.19	\$3.51	\$316.57	\$1,432.29		\$1,748.85
Mr. & Mrs.	Steven & Kim	Trevisan		Jackson	WI	53037	N169 W20198 Wilshire Drive	N169 W20198 Wilshire Drive	V3 0013 033	262-443-0383			66.00	66.00	\$3.51	\$231.66	\$1,432.29		\$1,663.95
	Chisa	Romundstad	Robby Scarseth	Jackson	WI	53037	N169 W20187 Wilshire Drive	N169 W20187 Wilshire Drive	V3 0013 018	262-685-7689		5/3/2016	125.22	125.22	\$3.51	\$439.52	\$0.00		\$439.52
	Thomas	Nosacek	Rosanne Rivard-Nosacek	Jackson	WI	53037	N169 W20176 Wilshire Drive	N169 W20176 Wilshire Drive	V3 0013 034	677-4595		5/3/16	66.00	66.00	\$3.51	\$231.66	\$1,432.29		\$1,663.95
Mr. & Mrs.	Adam & Angela	Busalacchi		Jackson	WI	53037	N169 W20172 Wilshire Drive	N169 W20172 Wilshire Drive	V3 0013 035	414-426-6452			66.00	66.00	\$3.51	\$231.66	\$0.00		\$231.66
Mr. & Mrs.	Jason & Kristin	Stewart		Jackson	WI	53037	N169 W20165 Wilshire Drive	N169 W20165 Wilshire Drive	V3 0013 017	262-674-6563		5/17/16 5:00 PM	112.80	112.80	\$3.51	\$395.93	\$0.00		\$395.93
Mr. & Mrs.	Frederick & Gail	Gauger		Jackson	WI	53037	N169 W20142 Wilshire Drive	N169 W20142 Wilshire Drive	V3 0013 036	677-2157		5/3/2016	123.82	123.82	\$3.51	\$434.61	\$1,432.29		\$1,866.89
Mr. & Mrs.	Michael & Linda	Hansen		Jackson	WI	53037	N169 W20157 Chateau Drive	N169 W20157 Chateau Drive	V3 0013 00C	Cell 262-384-1206 262-677-1295		5/17/16 2:00 PM	129.92	129.92	\$3.51	\$456.02	\$1,432.29		\$1,888.30
	Denco Properties LLC			Germantown	WI	53022	W201 N16934/36 Wilshire Drive	W164 N11897 Fond Du Lac Ave	V3 0009 015			5/3/16	70.20	70.20	\$3.51	\$246.40	\$1,432.29		\$1,678.69
	Tyler	Handel	Bradley Handel	Menomonee F	WI	53051	W201 N16930/32 Wilshire Drive	N82 W15698 Valley View Drive	V3 0009 014	Tyler 262-224-4633		5/20/16 12:00 PM	70.02	70.02	\$3.51	\$245.77	\$1,432.29		\$1,678.06
Mr.	Darrell	Wobig		West Bend	WI	53095	W201 N16924/26 Wilshire Drive	4851 Anna Road	V3 0009 013	262-305-0393		4/6/2016	75.00	75.00	\$3.51	\$263.25	\$1,432.29		\$1,695.54
Mr. & Mrs.	Daniel & Jane	Ziolkowski		Jackson	WI	53037	W201 N16917 Wilshire Drive	W201 N16917 Wilshire Drive	V3 0013 00D	677-3111		5/12/16 2:00 PM	76.00	76.00	\$3.51	\$266.76	\$0.00		\$266.76
Mr.	Steven	Cruft		Jackson	WI	53037	W201 N16911/13 Wilshire Drive	W201 N16911 Wilshire Drive	V3 0009 010	414-721-1677	scruff@brookdale.com		122.26	122.26	\$3.51	\$429.13	\$0.00		\$429.13
Ms.	Sue	Nicholson		Van Dyne	WI	54979	N169 W20058 Georgetown Drive	N8871 Ridge Road	V3 0009 012	Sue 920-527-0669			125.00	125.00	\$3.51	\$438.75	\$0.00		\$438.75
Mr. & Mrs.	Scot & Darlene	Schneider		Jackson	WI	53037	W200 N16885/87 Park Court	W200 N16885 Park Court	V3 0008 010				0.00	0.00	\$3.51	\$0.00	\$0.00		\$0.00
			Willow Tree Investment LLC	Jackson	WI	53037	W200 N16886/90 Park Court	N144 W16267 Pioneer Road	V3 0008 007				0.00	0.00	\$3.51	\$0.00	\$0.00		\$0.00

Totals 2372.10 \$8,326.07 \$30,078.00 \$28,561.98 \$66,966.05

Storm Sewer Lateral Pipe	Feet 1,671	Unit Price \$18.00	Total \$30,078.00	Number of Laterals 21	Cost per lateral \$1,432.29
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93 South Pioneer Road, Suite 300 • Fond du Lac, WI 54935 • (920) 924-5720

September 7, 2016

Village of Jackson
N168 W20733 Main Street
Jackson, WI 53037

Attention: Brian Kober, P.E.
Director of Public Works

Subject: Project I.D. 151021
Wilshire Drive
Utility Construction Project
Estimate #4

Dear Mr. Kober:

Enclosed you will find Pay Estimate #4 for the Wilshire Drive project in the Village of Jackson. The total amount, due to the contractor, has not been reduced by five percent (5%) for retainage due to the fact that the work is beyond 50% completion. This is per Article 6.02.A.1 Progress Payments; Retainage, of Contract Document 00500, Agreement. All previously retained money shall be paid to the contractor minus \$5,000. This is per Article 6.02.A.2 Progress Payments; Retainage, of Contract Document 00500, Agreement. The remainder of retained money will be paid upon final acceptance of all contract work. This is per Article 6.03.A Final Payment, of Contract Document 00500, Agreement.

Work completed, Estimate # 4	= \$5,904.81
Retainage Due, Estimate #4	= \$10,384.09
Retainage Remaining, Estimate #4	= \$5,000
Amount due to Contractor, Estimate #4	= \$16,288.90

If you have any questions or comments, please contact me at (920) 924-5720 or cell (414) 397-8100.

Sincerely,

Kevin Schmidt
Gremmer & Associates, Inc.



Taking the lead in Washington County.

Assessment Report for Wilshire Drive Reconstruction Project 2016

Attached is the following information regarding the Wilshire Drive Reconstruction Project 2016 from Jackson Drive to Georgetown Drive:

1. Plans and Specifications used to bid the project and construct.
2. The cost of the project was \$762,188.08, the base bid was \$772,087.50 and the amount being special assessed for the project is \$38,404.07. Some property owners took advanced of having their private driveways replaced and the amount being assessed is \$28,561.98, which is not included in the cost of the project.
3. Schedule of the proposed assessment.

Staff takes the position that the schedule of proposed assessment is a fair and equitable allocation of cost and that each property list in the report is benefiting. All other properties have been reviewed and the allocation is been deemed fair and benefiting. The project consisted of the following items:

- Replacement of existing sanitary sewer and laterals
- Replacement of existing water main and service
- Installation of new storm sewer
- Provide storm sewer laterals for sump pump discharge, per Village Code
- Replacement and installation of new curb and gutter
- Replacement and installation of new sidewalk
- Resurface roadway

The Village Board has approved to special assess properties along Wilshire Drive, which benefit from the project. The Village along the Jackson Sewer and Water Utilities will be paying for the majority of the project, although, the Village has determined the following parts of the project will be assessed to the benefiting properties: **Sidewalk, and Storm Laterals.**

This report was compiled by Brian W. Kober, P.E., Village Engineer.

Date: September 2, 2016

NI 68 W20733
Main Street
Jackson, WI 53037
Phone: 262-677-9001
Fax: 262-677-1710

Mailing Address:
P.O. Box 637

www.villageofjackson.com



Taking the lead in Washington County.

September 2, 2016

Mr. Daniel Zorn
N169 W20284 Wilshire Drive
Jackson, WI 53037

RE: Wilshire Drive Reconstruction Project 2016
Wilshire Drive from Jackson Drive to Georgetown Drive
Final Assessment Letter

Dear Mr. Zorn:

This letter is a notice for your property described with **Tax Key No. V3 0013 029** and located at **N169 W20284 Wilshire Drive**, Jackson, WI.

The Village of Jackson has completed the final construction costs for the Wilshire Drive Reconstruction Project 2016 from Jackson Dr to Georgetown Dr. The project consisted of the following items:

- Replacement of existing sanitary sewer and laterals
- Replacement of existing water main and services
- Installation of new storm sewer
- Provide storm sewer laterals for sump pump discharge, per Village Code
- Replacement and installation of new curb and gutter
- Replacement and installation of new sidewalk
- Resurface roadway

The Village of Jackson has approved through the passage of Resolution 16-05 to special assess properties along Wilshire Dr that benefit from the project. The following items were determined to be assessed to the benefiting properties: **Sidewalk, Storm Laterals, and requested private driveways.**

The following assessment amount will be levied against your property: **\$6,447.91**

A Public Hearing has been scheduled for **Tuesday, September 13, 2016** during the Village Board meeting starting at **7:30 PM**. The Village Board meeting will be held at the Village Hall located at **N168 W20733 Main Street, Jackson WI 53037**. At the Public Hearing, you can express any concerns or questions about the project or assessment, and thereafter the amount of the assessment will be finalized. The project assessment report is available for viewing at the Village Hall.

If you have any questions please do not hesitate to ask by calling 262-677-9001 or email: dirpubwks@villageofjackson.com.

Sincerely,

Brian W. Kober

Brian W. Kober, P.E.
Director of Public Works/ Village Engineer

C: John Walther, Village Administrator
Village Board

N168 W20733
Main Street
Jackson, WI 53037
Phone: 262-677-9001
Fax: 262-677-1710

Mailing Address:
P.O. Box 637

www.villageofjackson.com



SHEET NO. 1 OF 4

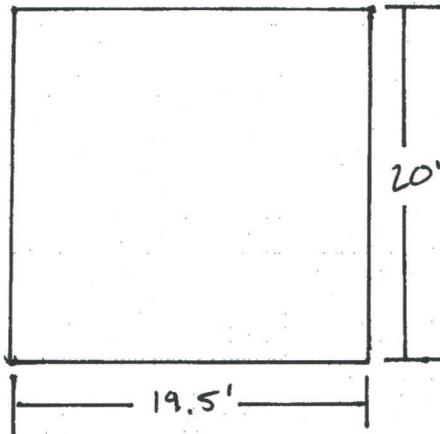
CALC. BY _____ DATE _____

MEAS. BY _____ DATE _____

JOB NO. _____ CLIENT _____ CHECKED BY _____ DATE _____

SUBJECT WILSHIRE DR. PRIVATE DRIVEWAY RECONSTRUCTION

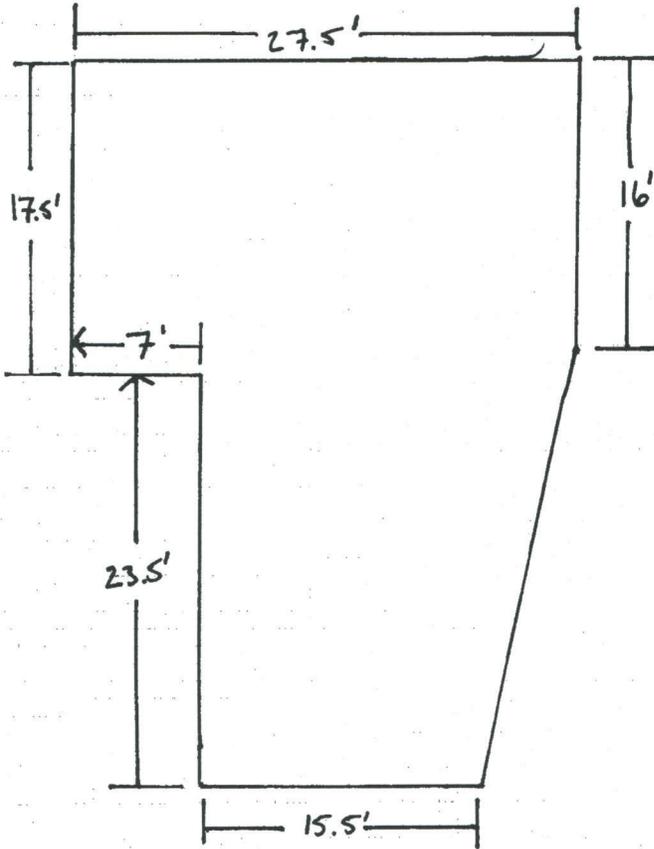
① N 169 W 20350 - STEVE BECKER



43 SY

NOTE: ALL SHOWN W/O SECTION OF DRIVEWAY THAT IS INCLUDED IN PROJECT
SCALE: 1" = 10'

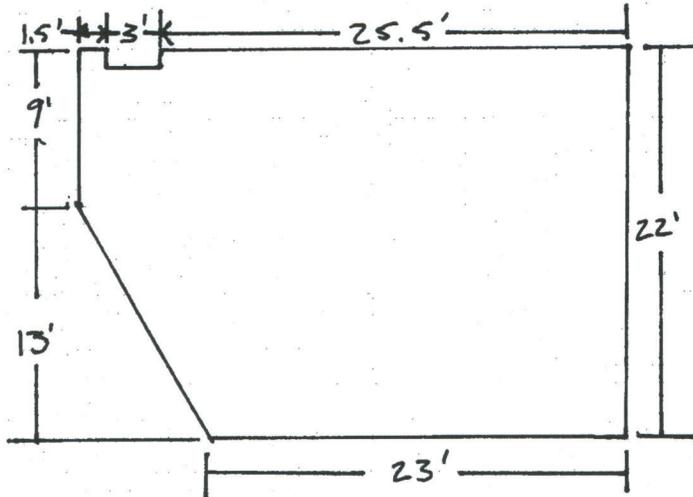
② N 169 W 20349 - PETER ROY



100 SY

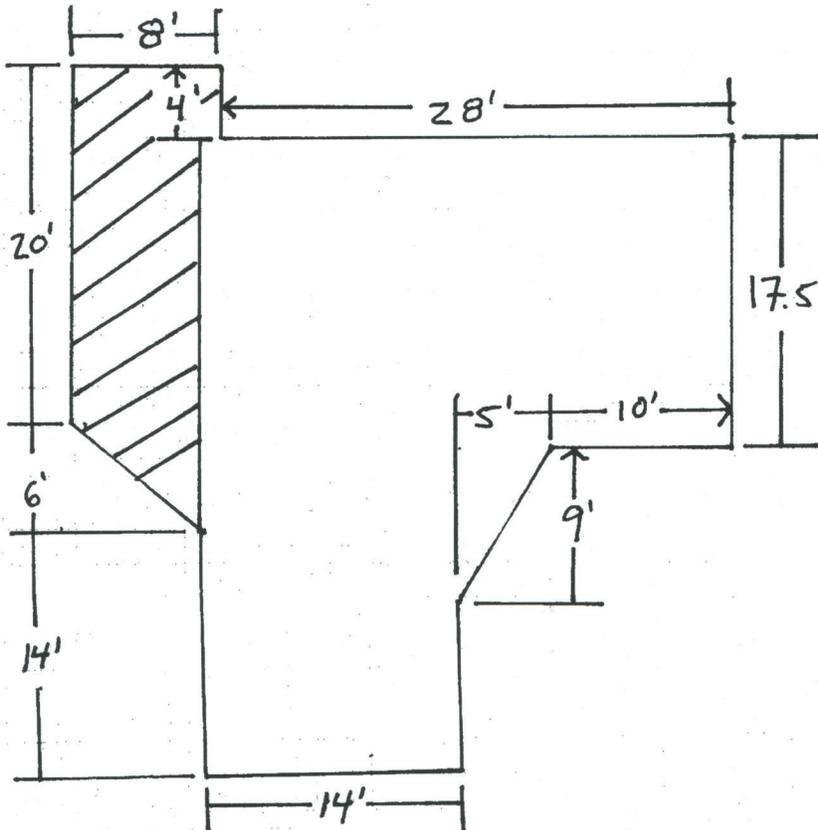
SUBJECT WILSHIRE DR. PRIVATE DRIVEWAY REPLACEMENT

③ N169 W20327 - JOHN + SALLY WAHLGREN



68 SY

④ N169 W20284 - DAN ZORN



88 SY

*NOTE: HATCHED
 AREA IS INCLUDED
 IN PROJECT +
 IS NOT COUNTED
 IN THE 88 SY.



SHEET NO. 3 OF 4

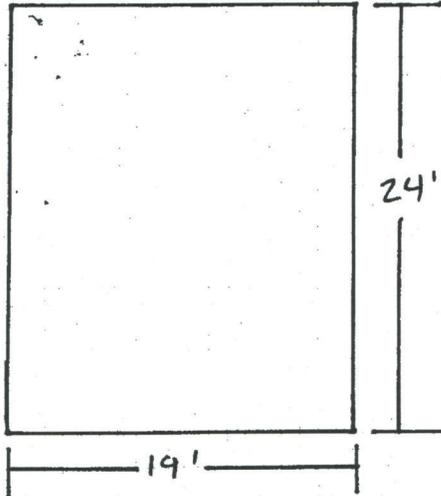
CALC. BY KJS DATE 6/29/16

MEAS. BY _____ DATE _____

JOB NO. _____ CLIENT _____ CHECKED BY _____ DATE _____

SUBJECT WILSHIRE DR. PRIVATE DRIVEWAY REPLACEMENT

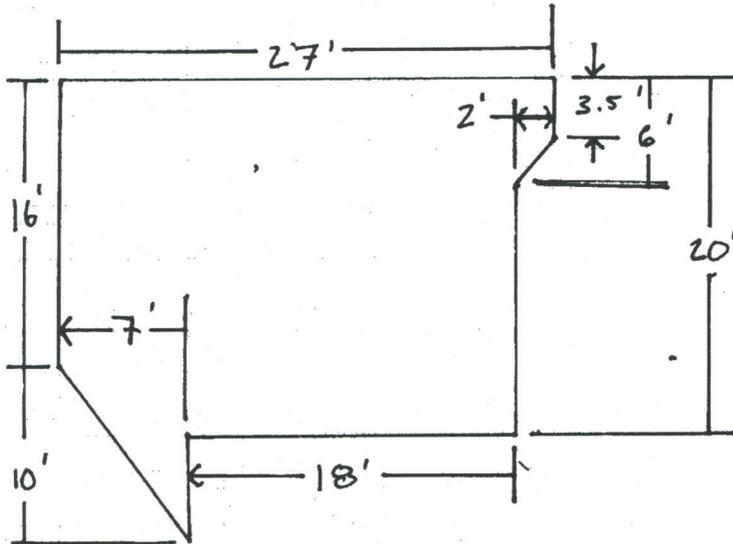
⑤ N169 W20262 - JOE + KAREN KING



51 SY

ADD LEFT WALKER
↳ RIGHT 2 SLABS

⑥ N169 W20242 - BRANDON + LHERI BARNETT



57 SY



SHEET NO. 4 OF 4

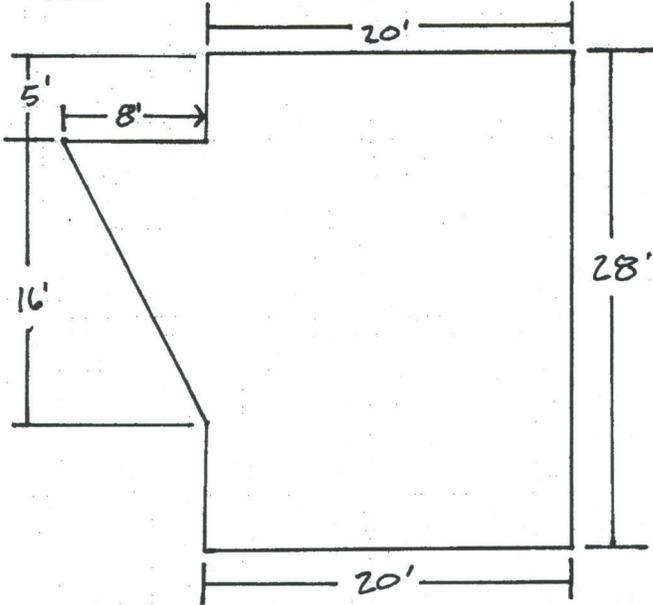
CALC. BY KJS DATE 6/29/16

MEAS. BY _____ DATE _____

JOB NO. _____ CLIENT _____ CHECKED BY _____ DATE _____

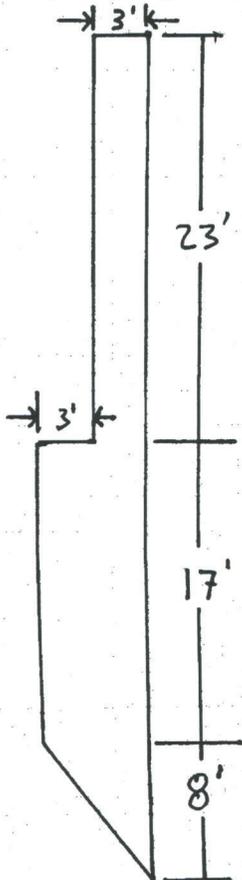
SUBJECT WILSHIRE DR. PRIVATE DRIVEWAY RECONSTRUCTION

⑦ N169 W20241 - PAUL LIPERT



69 SY

⑧ N169 W20218 - PAUL + NANCY NOVAK



22 SY

Wilshire Drive Private Driveway Replacement 2016

As-Built Quantites		
Name	Address	Area (SY)
Steve Becker	N169 W20350	39
Peter Roy	N169 W20349	105
John & Sally Wahlgren	N169 W20327	73
Dan Zorn	N169 W20284	87
Joe & Karen King	N169 W20262	60
Brandon & Cheri Barnett	N169 W20242	60
Paul Lipert	N169 W20241	64
Paul & Nancy Novak	N169 W20218	17

Village of Jackson
Wilshire Drive Reconstruction Project 2016
Private Driveway Replacement

No.	Property Owner	Address	Area (SY)	Concrete Unit Price (SY)	Concrete Cost	Excavation Cost (Lump Sump)	Total Cost
1	Steve Becker	N169 W20350 Wilshire Drive	39	\$49.50	\$1,930.50	\$445.56	\$2,376.06
2	Peter Roy	N169 W20349 Wilshire Drive	105	\$49.50	\$5,197.50	\$445.56	\$5,643.06
3	John & Sally Wahlgren	N169 W20327 Wilshire Drive	73	\$49.50	\$3,613.50	\$445.56	\$4,059.06
4	Dan Zorn	N169 W20284 Wilshire Drive	87	\$49.50	\$4,306.50	\$445.56	\$4,752.06
5	Joe & Karen King	N169 W20262 Wilshire Drive	60	\$49.50	\$2,970.00	\$445.56	\$3,415.56
6	Brandon & Cheri Barnett	N169 W20242 Wilshire Drive	60	\$49.50	\$2,970.00	\$445.56	\$3,415.56
7	Paul Lipert	N169 W20241 Wilshire Drive	64	\$49.50	\$3,168.00	\$445.56	\$3,613.56
8	Paul & Nancy Novak	N169 W20218 Wilshire Drive	17	\$49.50	\$841.50	\$445.56	\$1,287.06
					\$24,997.50	\$3,564.48	

Wollner Plumbing & Excavating LLC
 (Removal of Driveways)

\$3,564.49

\$445.56 cost per driveway

August 20, 2016

Memorandum

From: Grota Appraisals

To: Village Board

Dear Village Board Members,

During the past few years many changes have been made where Assessors statewide must add even more duties to their already long list of responsibilities. Although most of the changes are small when measured individually, the accumulation of these changes makes an impact on our business.

Grota Appraisals continues to work diligently to maintain a high level of service while performing assessment services. In performing annual assessments we will continue to make every effort to arrange for the interior inspection of new construction and properties with a permit taken out for an interior change. Others in our industry have taken another path in an effort to conserve resources and do not actually view these properties, a mistake in my opinion. Some just change the assessments according to the information on the building permit. This data is not always accurate as the projects change from their initial scope, some are never started or take years to complete. This leads to very sloppy and inaccurate assessments. Following the USPAP reporting requirements Grota Appraisals will document using Market Drive CAMA software all of the effort and considerations put forth each year in providing assessment services.

We feel it is very important at a time when most properties are once again seeing increases in value that the Assessor work with taxpayers to explain the situation and examine their concerns while being proactive in the analysis of the current trends within the community. Our contact with taxpayers and requests for property reviews have seen a decrease in the past year since the market seems to be rebounding after bottoming out. Educating taxpayers is always an important yet time consuming part of our job.

The Department of Revenue (DOR) is also going through major changes that have impacted communities and the way they and their Assessors process information in the annual reporting required by law. As DOR staff has dwindled, the DOR is passing unfunded mandates/requirements onto local Communities and their Assessors. Several instances are: 1) The DOR has almost no review of reports such as the Assessors Final Report (MAR) and Tax Incremental District reports (TAR). 2) The processing of sales information has fallen onto the assessor to enter a myriad of home amenity data for all sales directly to the DOR website (this was previously performed by DOR staff internally).

These major issues were signed into law in the recent past. The following is a brief summary of these issues:

County Assessment

Grota Appraisals and its sister company Assessment Technologies have been aware of this proposal since first suggested, further we have been very active in addressing the strengths and weaknesses. While the proposal was removed from the 2016-17 budget bill, according to many legislators the idea will surface again in the coming months. We will continue to monitor any proposal that may surface and address the many items of concern that are important to a community like yours.

Notifications in a Revaluation Year

The taxpayer notification of a change in a revaluation year has increased from 15 days prior to the BOR to 30 days before the BOR. This adds another consideration in the already complex job of setting up Open Book and BOR dates.

AAR Required

Since 2015 the Assessors Annual Report is now required for each assessment jurisdiction. Each year the DOR makes a great many changes to this report trying to gather more information. This report which averages 90-110 pages takes time to create and any changes add to the Assessor workflow throughout the year. This report is intended to show the Assessors work to the individual community, DOR and any other interested party. Grota Appraisals goes above and beyond by not only filling out the report, but including absolute support for the work performed which is taken right from our body of work.

Digital Records

In 2014 the DOR required that all property records and photos be in a digital format. We abided by this requirement as exterior or interior revaluations were performed

Paperless Reporting to DOR

While this might not sound like added work, it has significantly changed the process of data entry and added hidden costs. CAMA software needed to be changed to the stringent requirements of the DOR in a short period of time. Reports from the CAMA program were compiled and then exported to the DOR website. This added time and cost without any benefit to the Assessor.

USPAP and the AAR

USPAP reporting requires the Assessor to narrate the details of your community, the philosophy and value considerations for all property types and locations. This is no small undertaking and is now required for all communities state-wide. Although Grota Appraisals conforms to these standards, it must now substantiate how we do this in the form of a detailed narrative document called the Assessor Annual Report (AAR) which is given to both the municipality and the DOR for one assessment jurisdiction.

Use Value and Conversion Fee

Use Value continues to be a problem, the application to include all lands that qualify under program guidelines is a constant struggle. With no application requirement it is difficult to track all 23,000 acres in each town. As a member of WAAO's Rural Concerns sub-committee we have been working towards a solution where an application form would be filled out by all landowners who wish to be included in Use Value.

A list of properties is compiled in which a conversion fee will be issued for those landowners changing the use of their property from agricultural to developed lands or lands that support a building. This list is sent to the County Treasurer to calculate and issue the conversion fee to the respective party. Once collected, 50% of the conversion fee amount will be distributed to the local municipality. The DOR now requires that the Assessor report this within 2 weeks of the conclusion of the Board of Review.

Questions pertaining to Use Value and the conversion fee are taking a greater amount of time than originally anticipated. In most cases our office hears from both the current or prior owner and many times agents for these parties as well. This year we are hoping that all parties are more knowledgeable than last year as to the ramifications of Use Value and the resulting conversion fee.

Personal Property

Grota Appraisals continues its commitment to assure personal property accounts as listed in the assessment roll are accurate and to the best of our knowledge is complete. Our Assessors drive through each municipality verifying existing businesses and look for new/or closed businesses. We do ask for the help of the Clerk to review our preliminary roll, as an extra set of eyes helps to perfect the assessment roll with our goal of collecting all accounts as valued.

Undeveloped & Agricultural Forest

This was created as an adjunct to Use Value, all acres classified as Undeveloped received a 50% reduction in their assessment. Lands classified as woods could also receive a 50% reduction in their assessment if these lands met the requirements as Agricultural Forest. (These are properties with identical ownership with land used agriculturally that also contain wooded lands or wooded lands contiguous to lands used agriculturally).

Manufacturing Property

Thanks to the significant efforts of the Wisconsin Association of Assessing Officers (WAAO) the assessment of Manufacturing property is still a state function (until the next biennium). I was part of a special committee chosen to work with the Governor's aides to facilitate the transition to local assessment. After carefully weighing the facts, our committee made recommendations on how to reduce the Department of Revenue's budget without shifting the assessment of Manufacturing property to local municipalities.

Grota Appraisals, like your Village, must work towards doing business in the most efficient manner possible. This is especially important with the budget status of the State and local municipalities. With health and property insurance rates rising exponentially, vehicle prices increasing, gas prices continually changing and our good employee's expecting wage increases, municipalities and their contractors must find a way to accomplish all our functions without busting the budget. As if that were not enough, the growth-taking place in your municipality and the increased workload make the task even more difficult. Any increase in fees is far less than the rate of inflation plus the percent increase in new parcels.

I believe that Grota Appraisals has done a great job containing costs, growing the knowledge of its staff and using cutting edge technology to perform the necessary assessment functions. Our staff is highly experienced and most of our employees have been with Grota Appraisals in excess of 12-years. This longevity provides an in-depth history with your municipality that cannot be duplicated. Also, no other Assessor has the experience we have in using the Market Drive assessment software to its fullest capacity. It is our goal to provide an environment where full time service is available at the cost of a part time position.

We look forward to a long prosperous relationship for many years to come.

Sincerely,

A handwritten signature in cursive script that reads "Michael L. Grota".

Michael L. Grota
Grota Appraisals



August 31, 2016

Village of Jackson
Deanna Boldrey, Village Clerk
PO Box 637
Jackson, WI 53037

RECEIVED
SEP 06 2016

BY:

Village Board,

We at Grota Appraisals appreciate your confidence in our performing assessment services for your Village and look toward to a continued long lasting relationship.

We are certain that we can perform at a level to meet or exceed your expectations while performing the annual assessment duties as requested.

The fee for annual services has changed from the past 3-year contract. The pace of new developments, changes in description, new construction and remodeling are up dramatically since 2008 the last price change for annual assessment services. Because of these factors, the level of time and effort in performing the assessment functions has increased substantially over the last few years. The costs involved in performing these services are competitive with others performing the same services.

Grota Appraisals using the professional version of the Market Drive PC assessment software will perform the annual assessment functions and assign uniform and equitable assessments for all properties in the Village. The Village incurs no additional fees or expenses to use or maintain this version of the software and derives all the benefits this program provides.

Grota Appraisals helps to provide property information for display to the general public using the AssessorData.Org website.

Should any questions arise regarding this contract and supporting information, please call.

Sincerely,

Michael L. Grota
Grota Appraisals



**CONTRACT FOR A 2018
MARKET UPDATE AND 100% VALUATION AND
MAINTENANCE OF ASSESSMENT RECORDS**

2017 - 2019

THIS AGREEMENT: by and between Grota Appraisals LLC, hereinafter called the "Assessor", and the Village of Jackson, Washington County, Wisconsin, hereinafter called the "Village".

WITNESSETH: the Assessor and the Village for the compensation stated herein, agree as follows:

ARTICLE I

SCOPE OF WORK: the Assessor, having familiarized himself with the local conditions affecting the cost of the work to be done, and the Standard Specifications for the Annual Maintenance of Real and Personal Property Records in the State of Wisconsin pursuant to Chapter 70, Wisconsin State Statutes, hereby agrees to perform everything required to be performed and to complete in a professional manner everything required to be completed to comply with State Statutes regarding the assessment of Real and Personal Property on behalf of the Village and in accordance with the General Agreements as stated in Article Three of this contract.

ARTICLE II

COMPENSATION: the Village shall pay to the Assessor for the performance of the contract the following compensation of \$87,480 (Eighty Seven Thousand Five Hundred Dollars), such amount to be paid as follows: (\$49,500 Annual Services, \$28,980 Market Update, \$9,000 100% Annual Valuation)

2017-2019 - \$29,160 annually

\$2,430 per month

ARTICLE III

GENERAL AGREEMENTS:

- 1) The contract shall begin January 1, 2017 and end December 31, 2019, provided that the Contract continues thereafter for purposes of completing the Board of Review and other appeal processes applicable to assessments made during the term.
- 2) All normal duties and functions of the Assessor as described and set forth in the Wisconsin State Assessors Manual, including required meetings, will be performed in a timely manner, and in accordance with the Chapter 70 Laws of the State.
- 3) All services requested over and above the normal yearly assessment functions will be charged extra at a mutually agreed upon rate which shall be subject to a separate written addendum to this Agreement that is entered before such work is performed. Nothing in this subsection shall limit or reduce the Assessor's performance obligations of this Contract or increase the compensation therefore.
- 4) The Assessor will provide his own equipment, work space, storage and security of records while in his possession.
- 5) The Assessor shall provide proof of at least \$1,000,000 in general liability, records liability, automobile liability, and statutory amount of worker's compensation insurance and must name the Village as an additional insured.
- 6) The Assessor is to be considered an Independent Contractor hired to fill an Appointed Statutory Position, and is not subject to withholding tax, insurance programs or benefits.
- 7) Implement use value to assure fair and equal treatment of lands used for agricultural purposes regardless of parcel size.
- 8) Assessor will maintain an assessment ratio as determined by the WI Department of Revenue of at least 95% and no higher than 105% annually for the duration of this contract

SUBMITTED TO THE VILLAGE OF JACKSON THIS 31st DAY OF
AUGUST, 2016

Michael L. Grota
Michael L. Grota

ACCEPTANCE BY VILLAGE:

The above contract, terms and general agreements are hereby accepted, this

_____ day of _____, 2016

BY GOVERNING BODY OF THE VILLAGE OF JACKSON

ATTEST:

Authorized Official Signatures and Titles:

Administrator

Clerk

NOTARY OR
VILLAGE SEAL

DRAFT MINUTES
Board of Public Works Meeting
Tuesday, August 30, 2016 – 7:00 P.M.
Jackson Village Hall
N168W20733 Main Street

1. Call to Order and Roll Call.

Chairman Tr. Don Olson called the meeting to order at 7:00 p.m.

Members present: Brian Heckendorf, Scott Thielmann, Linda Granec, Gloria Teifke, Tr. Kufahl, and Tr. Jack Lippold.

Members excused: None.

Staff present: Brian Kober & John Walther.

2. Approval of Minutes for July 26, 2016 meeting.

Motion by Scott Thielmann, second by Brian Heckendorf to approve the minutes of the July 26, 2016, Board of Public Works meeting.

Vote: 7 ayes, 0 nays. Motion carried.

3. Space Needs Analysis Presentation – Cedar Corp.

Brian Kober introduced the item as a facility needs assessment. Both Cory Scheidler and Ron Dalton of Cedar Corp were present. Cory Scheidler is the director of architecture.

Cory presented a slide show presentation. He discussed the existing facilities, space recommendations, available sites for future growth, recommendation of the sites, and schedule and final summary. In approximately 2008, there was a plan for a public safety facility.

The Village of Jackson is the fastest growing community in Washington County.

The Police Department currently has eleven sworn officers and a Police Chief.

Current officer to population is 1.6 per 1,000. Bureau of Justice recommends 2.2 officers per 1,000 for populations of 2,500 to 9,999.

The Fire Department membership is at 44 volunteers. 2014 NFPA average it is 6.43 per 1,000.

The Village Hall facility deficiencies included safety concerns, accessibility issues, limited stormwater treatment, antiquated phone system, HVAC comfort issues, IT climate control and storage.

The Police Station key point deficiencies include insufficient space, inefficient HVAC system, security concerns, accessibility issues, and no stormwater treatment. They do not have a good interview area. The holding area is in the basement and weapon room has limited space.

The Fire Department key point deficiencies include insufficient space, potential safety concerns and limited space for trucks, limited truck position, limited stormwater treatment, lack of exhaust, HVAC issues, limited training space and locker / shower rooms, lack of conference and office rooms.

The Community Center was also reviewed. The space is full. There will be opportunity for expansion in the future. There was a roof leak that may have been repaired. The walls need to be more durable. The gym was quite loud and needs proper acoustics.

Modern requirements for each facility were reviewed. The Police Department and Fire Department were considered deficient in space.

Sites for Police and Fire Departments were discussed and reviewed. The space needs analysis will be reviewed and discussed at the Village Board meeting. The Village Board may decide to continue.

Motion by Tr. Olson, second by Tr. Lippold to send the Draft Space Needs Analysis to the Village Board.

Vote: 7 ayes, 0 nays. Motion carried.

4. Review of Bids for Industrial Drive Sidewalk Project.

Brian Kober reported that there were six bidders for the Industrial Drive Sidewalk project. T.P. Concrete had the lowest bid at \$46,885.50. The engineers estimate was \$54,760. The properties to be assessed are Walgreens and Green Valley. An information meeting will be planned in the near future. The sidewalk project is on the West Side of Industrial Drive, from Main Street to Green Valley #2. At the North Entrance of Green Valley there are homes that will be within five feet of the sidewalk. The Village Ordinance calls for a 50 foot sidewalk for mobile homes from a primary road. The Village could restrict a mobile home going back in its place. Motion by Tr. Kufahl, second by Linda Granec to recommend approval of the T.P. Concrete bid in an amount not to exceed \$46,885.50.

Vote: 7 ayes, 0 nays. Motion carried.

5. Resolution Preliminary Assessment Area Industrial Dr. Sidewalk Project.

Brian Kober reported that the property is Green Valley 1, 2, and Walgreens based on the assessment area. Green Valley will divide up. Motion by Tr. Kufahl, second by Linda Granec to recommend approval of Resolution 16-19 Setting the Preliminary Assessment Area Industrial Drive Sidewalk Project. Brian will mail to property owners.

Vote: 7 ayes, 0 nays. Motion carried.

6. Final Pay Request – Jackson Drive Sidewalk Project.

The final landscaping and reseeding has been done. Brian Kober reported that the sidewalk concrete has been holding up and the pitting is not seen anymore. There is one more year of warranty left. The Final pay request is \$4,794.45.

Motion by Brian Heckendorf, second by Tr. Kufahl to recommend approval of the final pay request for the Jackson Drive Sidewalk Project in an amount not to exceed \$4,794.45.

Vote: 7 ayes, 0 nays. Motion carried.

7. Pay Request #4 – Wilshire Drive Reconstruction Project.

Brian Kober reported that the Pay Request #4 – Wilshire Drive Reconstruction Project is \$16,288.90. Street light poles will be installed in approximately three weeks. Motion by Tr. Kufahl, second by Tr. Olson to recommend approval of Pay Request #4 – Wilshire Drive Reconstruction Project in an amount not to exceed \$16,288.90.

8. Review of Final Assessment Wilshire Drive Reconstruction Project.

Brian Kober reported that the Public Hearing will be at the September Village Board Meeting. Brian reviewed the final assessments. Brian will publish the notice in the paper. Motion by Tr. Olson, second by Tr. Lippold, to recommend approval of the final assessment of Wilshire Drive Reconstruction Project.
Vote: 7 ayes, 0 nays. Motion carried.

9. Stonewall Path Project Update Plan.

Brian Kober gave an update of the Stonewall Path Project. He had a meeting with the DOT. The plan needs to say sidewalk all the way through the project. The item will come back with new prices.

10. Director of Public Works Report.

Motion by Linda Granec, second by Scott Thielmann to place the report on file.
Vote: 7 ayes, 0 nays. Motion carried.

11. Citizens/Village Staff to address the Board.

Tr. Lippold commented that there was a heavy rain about one month ago that caused ponding by the fire house. Brian reported that the erosion control matting was still in the catch basins. The matting will be removed and the catch basins will be cleaned.

Gloria Teifke commented that Cedar Corp gave a great explanation on the Space Needs Analysis. She questioned what will happen with the Public Works and could it happen at the same time as the Police and Fire Department.

Brian Heckendorf questioned if Brian Kober had met with Cobblestone Builders. Brian Kober reported that he had met with the Cobblestone developer and Jim Micech on site in regards drainage.

12. Adjourn.

Motion by Linda Granec, second by Tr. Kufahl to adjourn at 8:15 p.m.
Vote: 7 ayes, 0 nays. Motion carried.

Respectfully submitted by: Deanna L. Boldrey, Village Clerk-Treasurer