

## **AGENDA**

### **PLAN COMMISSION MEETING**

Thursday – March 31, 2016 – 7:00 pm

Jackson Village Hall

N168W20733 Main St

Jackson, WI 53037

1. Call to Order & Roll Call.
2. Minutes – February 25, 2016, Plan Commission Meeting.
3. Conditional Use – Piggly Wiggly – Alteration & Addition of Parking Lot, Eagle Drive.
4. Extra-territorial – Living Word Lutheran High School – Construction of Dorms, Living Word Lane.
5. Discussion and Review of Comprehensive Plan.
6. Citizens to address the Plan Commission.
7. Adjourn.

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the Village Hall at least one (1) business day prior to the meeting. It is possible that members of the Village Board may attend the above meeting. No action will be taken by any governmental body at this meeting other than the governmental body specifically referred to in this meeting notice. This notice is given so that members of the Village Board may attend the meeting without violating the open meeting law.

**DRAFT MINUTES  
PLAN COMMISSION MEETING  
Thursday – February 25, 2016 – 7:00 pm  
Jackson Village Hall  
N168W20733 Main St  
Jackson, WI 53037**

**1. Call to Order & Roll Call.**

Chairperson Mike Schwab called the meeting to order at 7:00 p.m.

Members present: Steve Schoen, Tr. Emmrich, Jeff Dalton, Tr. Kruepke, Doug Alfke, and Peter Habel.

Members excused: All Present.

Staff present: Jim Micech, John Walther, and Brian Kober.

**2. Minutes – January 28, 2016, Plan Commission Meetings.**

Motion by Peter Habel, second by Jeff Dalton to approve the minutes of January 28, 2016.

Vote: 7 ayes, 0 nays. Motion carried.

**3. Conditional Use – We Energies- Gas Regulator Station, Jackson Drive.**

Pat Adams and Ken from We Energies were present at the meeting and had received staff comments. They are resubmitting a stone aggregate building.

Chairperson Schwab liked the new submittal and was not concerned with the brown color.

Doug Alfke questioned the pitch of the roof. Ken from We-Energies said the roof will have a 4 by 12 pitch.

Motion by Chairperson Schwab, second by Peter Habel to recommend the Village Board approve the new building plan per staff comments.

Discussion continued, Administrator Walther questioned if the Commission was aware of the landscaping suggestion per staff comments. Ken from We-Energies stated the proposal is to plant three spruce trees between the Community Center and their site. Also, three spruce trees will be planted along Jackson Drive on their property.

Tr. Kruepke asked what about the north side of the We-Energies for landscaping? Administrator Walther stated the property to the north is not developed, and when the property is developed then the proper landscaping will be done on that property.

Pete Habel called the question.

Vote: 7 ayes, 0 nays. Motion carried.

**4. Certified Survey Map – Puestow – Lilly Road, extraterritorial area.**

Mr. Puestow was present. Motion by Pres. Schwab, second by Tr. Kruepke to recommend the Village Board take no exception to the Certified Survey Map for Puestow on Lilly Road, per staff comments.

Vote: 7 ayes, 0 nays. Motion carried.

**5. Planned Unit Development Amendment – Lumber Sales – Delaney Court.**

Brad Egan from Design II Construction stated there are no problems with the staff comments. The request is to use slag instead of road gravel for the driveway on the north and east side of the building. Discussion continued on the height of the block wall for the scrap lumber pile area. Jim Micech recommended only six feet in height.

Tr. Kruepke requested the block should be covered like the block installed at the company on Center Street is going to do. Discussion on the type of covering on the block continued. Brad Egan suggested fencing and working with the Inspection Department on a final solution.

Motion by Peter Habel, second by Tr. Emmrich to recommend the Village Board approve the Planned Unit Development Amendment for Lumber Sales on Delaney Court per updated staff comments.

Vote: 7 ayes, 0 nays. Motion carried.

**5. Discussion and Review of Comprehensive Plan.**

Chairperson Schwab started the discussion of the Comprehensive Plan. The plan states to review every five years. A lot of the numbers / charts have been outdated and need updated. Pres. Schwab commented with the lawsuit the Plan Commission should update the Village's portion of the plan and let the Town of Jackson review their portion.

Discussion continued on what part of the plan should be updated. Chairperson Schwab handed out a new vision statement that he wrote. Discussion continued on the wording with consensus that the new vision statement is adequate to update the plan.

Chairperson Schwab requested the Commission review chapters 1 to 3 for the next Plan Commission meeting. Additionally, Chairperson Schwab will highlight areas pertaining to the Village of the requested Chapters for review. The highlighted area will be sent to the Village Clerk for distribution.

**6. Citizens to address the Plan Commission.**

None.

**7. Adjourn.**

Motion by Peter Habel, second by Doug Alfke to adjourn.

Vote: 7 ayes, 0 nays. Meeting was adjourned at 7:49 p.m.

Respectfully submitted by Brian W. Kober, P.E., Director of Public Works

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
**(Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)**

Name of Applicant Piggly Wiggly  
 Contact Brad Egan Address/ZIP N174W21010 NW Passage Jackson, WI Phone # 262-677-9933  
 E-mail Address began@design2construct.com Fax # where Agenda/Staff comments are to be faxed 262-677-9934  
 Name of Owner Dale Sandberg Address/ZIP W194 N16774 Eagle Dr Phone# 262-677-4141  
 Owner Representative/Developer Design 2 Construct  
 Proposed Use of Site \_\_\_\_\_ Present Zoning \_\_\_\_\_

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u>	<u>TYPE OF INFORMATION DESCRIBED</u> (See page 5)	<u>PAPER COPIES</u>	<u>CD</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
			2) Describe what you intend to do (paragraph)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	
			4) Owner acknowledgement of the request	1	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	5) Impact Statement		XXX
			6) Location Map		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	7) Development Plan / Site Plan		XXX
			8) Preliminary Plat		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	9) Final Plat		XXX
			10) Certified survey Map		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	11) Annexation Petition		XXX
			12) Annexation Map	1	XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	13) Sketch Plan		XXX
			14) Landscape Plan	4 (24x36)	XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	<u>Engineering Review - Infrastructure</u>		
			15) Grading/Drainage Plan	4 (24x36)	XXX
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
			17) Street / Right of Way cross sections	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	18) Erosion Control Plan	4 (24x36)	XXX
			19) Proposed colors / materials		XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	20) Developers Agreement		XXX
			21) Annexation Agreement (includes pre-annex agreements)		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Brad Egan Signature \_\_\_\_\_ Date 3/4/16

Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development    Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a  **Special Use**  **Conditional Use**  **Planned Unit Development**

Permit to:

Name of Business/Applicant: Piggly Wiggly

For a property located at (address): W194 N16774 Eagle Drive

Phone number of Business/Applicant: 262-677-4141

For (land use, activity, sign, site plan, other): Alteration and addition of parking lot

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): None

Hours of Operation: 6am - 10pm Daily

Comprehensive/Master Plan Compatibility: Yes

Building Materials (type, color): Paving

Setbacks from rights-of-way and property lines: N/A

Screening/Buffering: See Plan

Landscape Plan (sizes, species, location): See Plan

Signing (dimensions, colors, lighting, location): Existing to remain

Lighting (wattage, style, pole location and height, coverage): See Plan

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s),  
(sidewalk/pedestrian way width and material): See Plan

Storm-water Management: See Plan

Erosion Control: See Plan

Fire Hydrant Location(s): Existing to remain

Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: N/A

Hazardous Material Storage: None

Alarm Systems: Existing

Site Features/Constraints: See Plan

Parking (no. of spaces, handicapped parking, and dimensions): 114 + 5 Accessible

Tree and shrub preservation: See Plan

Setbacks/height limitations: N/A

Wastewater Usage Projected: N/A gal/year      Water Usage Projected: N/A gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):  
Duration of store

# TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_ Over the Counter \_\_\_\_\_ Date \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

John Walther, Administrator

\_\_\_\_\_, Owner

Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

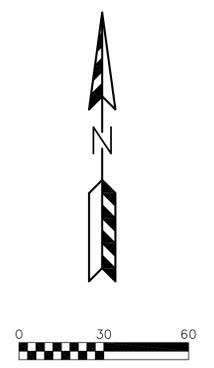
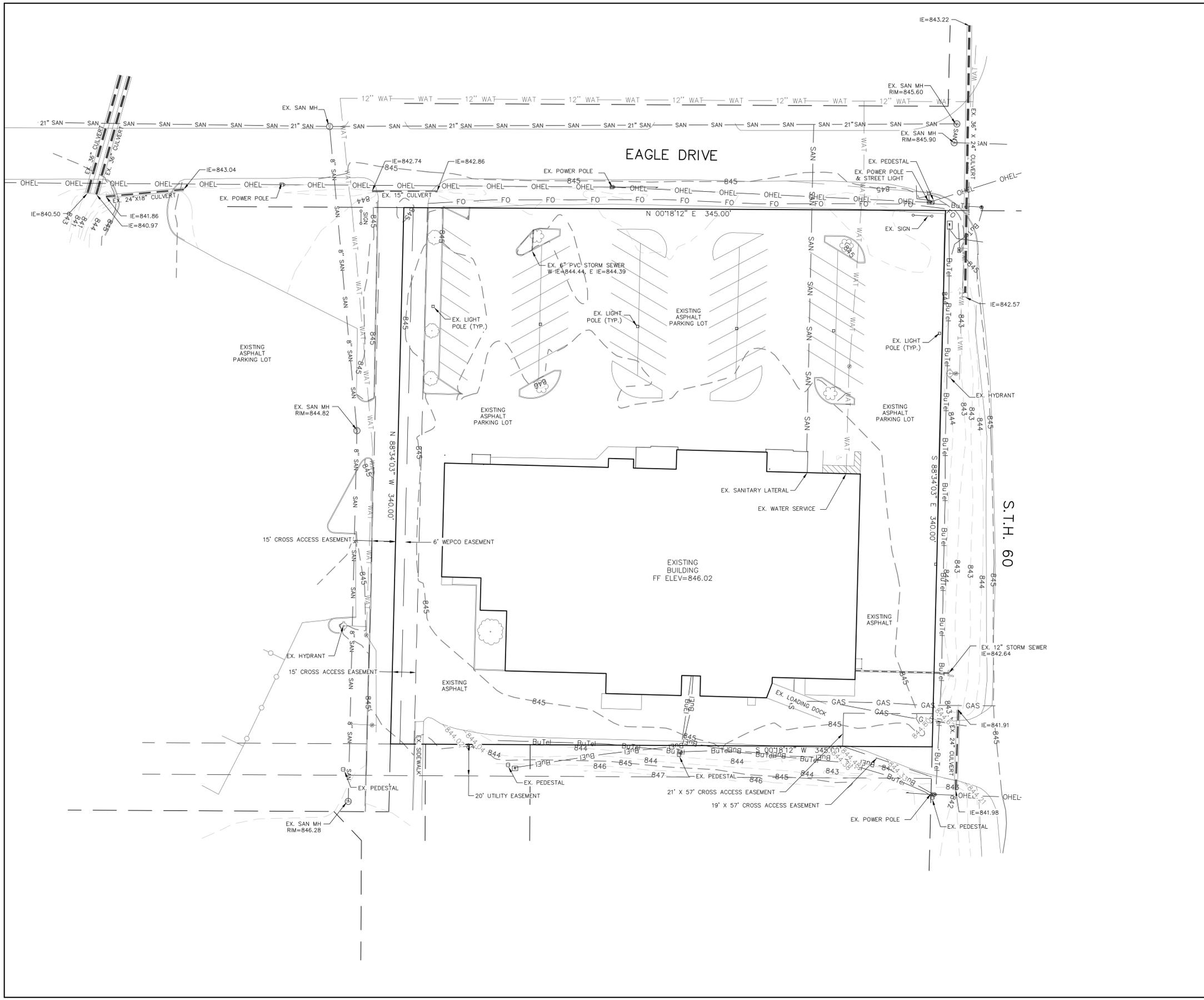
The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

---

1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
  - A. Annual water consumption estimate (100% occupancy and build-out)
  - B. Annual sewage generation estimate (100% occupancy and build-out)
  - C. Vehicle trip generation (trips per day per unit x number of units)
  - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
  - E. Proposed sign(s) (advertising business, industry, dwelling unit)
  - F. General hours of operation
  - G. Anticipated user profiles (for residential developments)
  - H. Proposed dates of construction and completion
  - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**



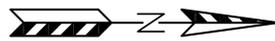
Lot One (1) of Certified Survey Map No. 2448, recorded in the office of the Register of Deeds for Washington County, Wisconsin on April 20, 1982 in Volume 13 of Certified Survey Maps at Pages 97 and 98, as Document No. 443968, and being a part of the Northwest One-quarter (1/4) of the Northeast One-quarter (1/4) of Section Twenty (20), Town Ten (10) North, Range Twenty (20) East, Village of Jackson, Washington County, Wisconsin.

PIGGLY WIGGLY – VILLAGE OF JACKSON  
 EXISTING CONDITIONS PLAN  
 DATED: MARCH 4, 2016

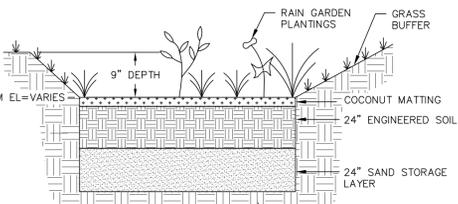
C-101

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants

544 South Main Street, Suite B; West Bend, Wisconsin 53095  
 Phone (262) 338-6641; www.quamengineering.com

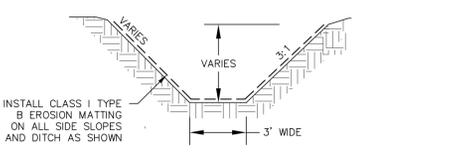


- LEGEND:**
- 844 --- EXISTING MINOR CONTOUR.
  - 845 --- EXISTING MAJOR CONTOUR.
  - 844 --- PROPOSED MINOR CONTOUR.
  - 845 --- PROPOSED MAJOR CONTOUR.
  - --- PROPOSED STORM SEWER.
  - --- EXISTING STORM SEWER.

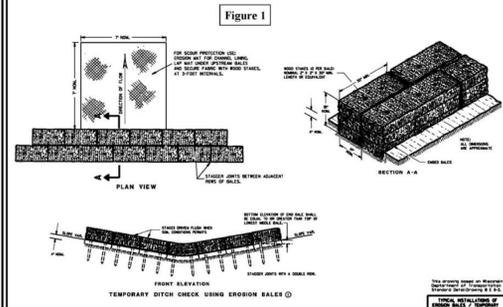


ENGINEERED SOIL SHALL CONSIST OF THE FOLLOWING:  
 70% SILICA SAND; 30% COMPOST W/ PH 5.5-6.5  
 COMPOST SHALL MEET WDR SPECIFICATION S100.  
 STORAGE/INTERFACE LAYER SHALL CONSIST OF SAND AS FOLLOWS:  
 SAND: WASHED QUARTZ OR SILICA 0.02 - 0.04 INCHES IN DIA.  
 PLANT PLUGS SHALL BE USED FOR THE RAIN GARDENS BOTTOM ACCORDING TO THE  
 "TECH STANDARD 1004" PLANTINGS AS SUPPLIED BY PRAIRIE NURSERY OR EQUIVALENT.  
 TO PREVENT COMPACTION OF ENGINEERED SOIL AND SUBSOILS, CONTRACTOR SHALL  
 PROTECT AGAINST MACHINERY ENTERING OR COMPACTING THE RAIN GARDEN AREAS.

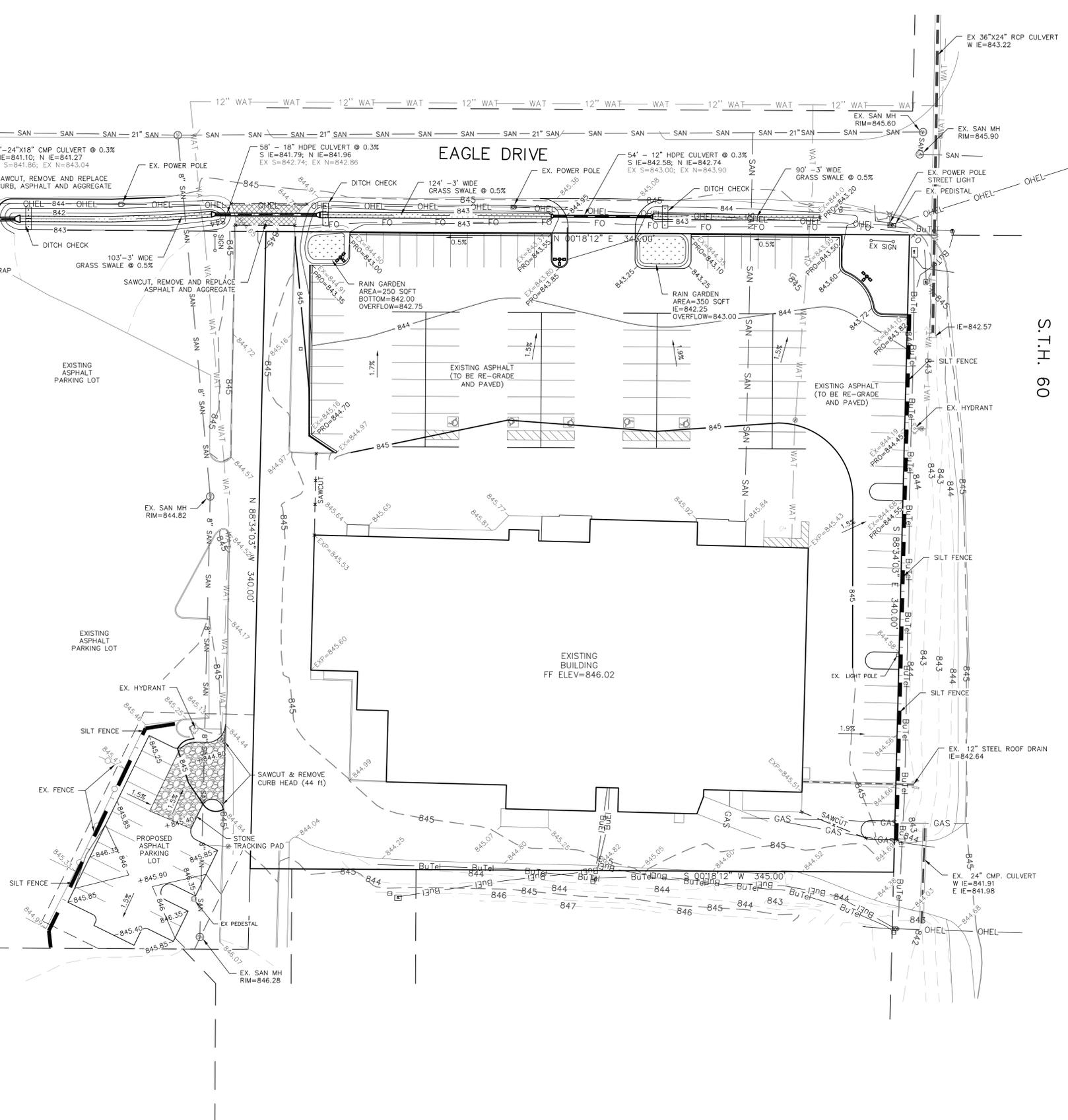
**RAIN GARDEN DETAIL**



**3' WIDE SWALE CROSS SECTION**



**DITCH CHECK DETAIL**



**EROSION NOTES:**  
 THE EXISTING ASPHALT WILL FUNCTION AS THE STONE TRACKING PAD THROUGHOUT THIS PROJECT. THE ASPHALT IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED BY THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

RAIN GARDENS WILL MAINTAIN 20 PERCENT SEDIMENT CONTROL FOR THE REDEVELOPED AREA OF THE PARKING LOT.

**TIME SCHEDULE:**

APRIL 1, 2016	INSTALL INITIAL EROSION CONTROL DEVICES.
APRIL 2 - JUNE 15, 2016	RECONSTRUCT PARKING LOT, EAGLE DRIVE DITCH WITH CULVERTS AND EMPLOYEE PARKING LOT.
JUNE 16 - 30, 2016	COMPLETE FINAL LANDSCAPING INCLUDING RAIN GARDENS AND RESTORE ALL PVIOUSLY DISTURBED AREAS.

**RESTORATION NOTES:**  
 ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.

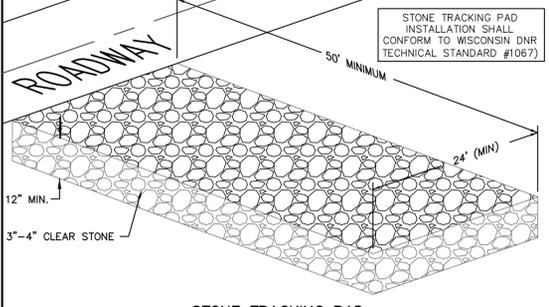
AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.

ALL FINISH GRADED AREAS SHALL BE SEED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059. FOR SEEDING RATES OF COMMONLY USED SPECIES, THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.

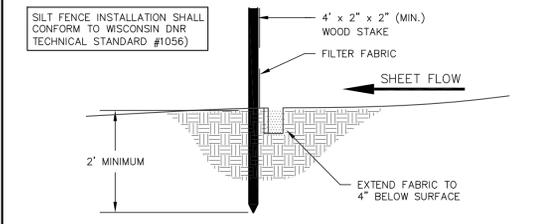
THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDD AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

**OWNER:**  
 HANSENS MANAGEMENT SERVICES LLC  
 PO BOX 781  
 WEST BEND, WI 53095

**ENGINEER:**  
 QUAM ENGINEERING, LLC  
 ATTN: KEVIN PARISH  
 544 SOUTH MAIN STREET, SUITE B  
 WEST BEND, WI 53095



**STONE TRACKING PAD**



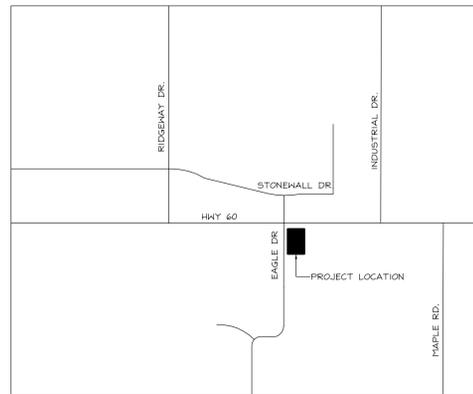
**SILT FENCE CONSTRUCTION**

JACKSON-PIGGLY WIGGLY  
 GRADING AND EROSION CONTROL PLAN  
 DATED: MARCH 4, 2016

C-102

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants

544 South Main Street, Suite B, West Bend, Wisconsin 53095  
 Phone (262) 338-6641; www.quamengineering.com

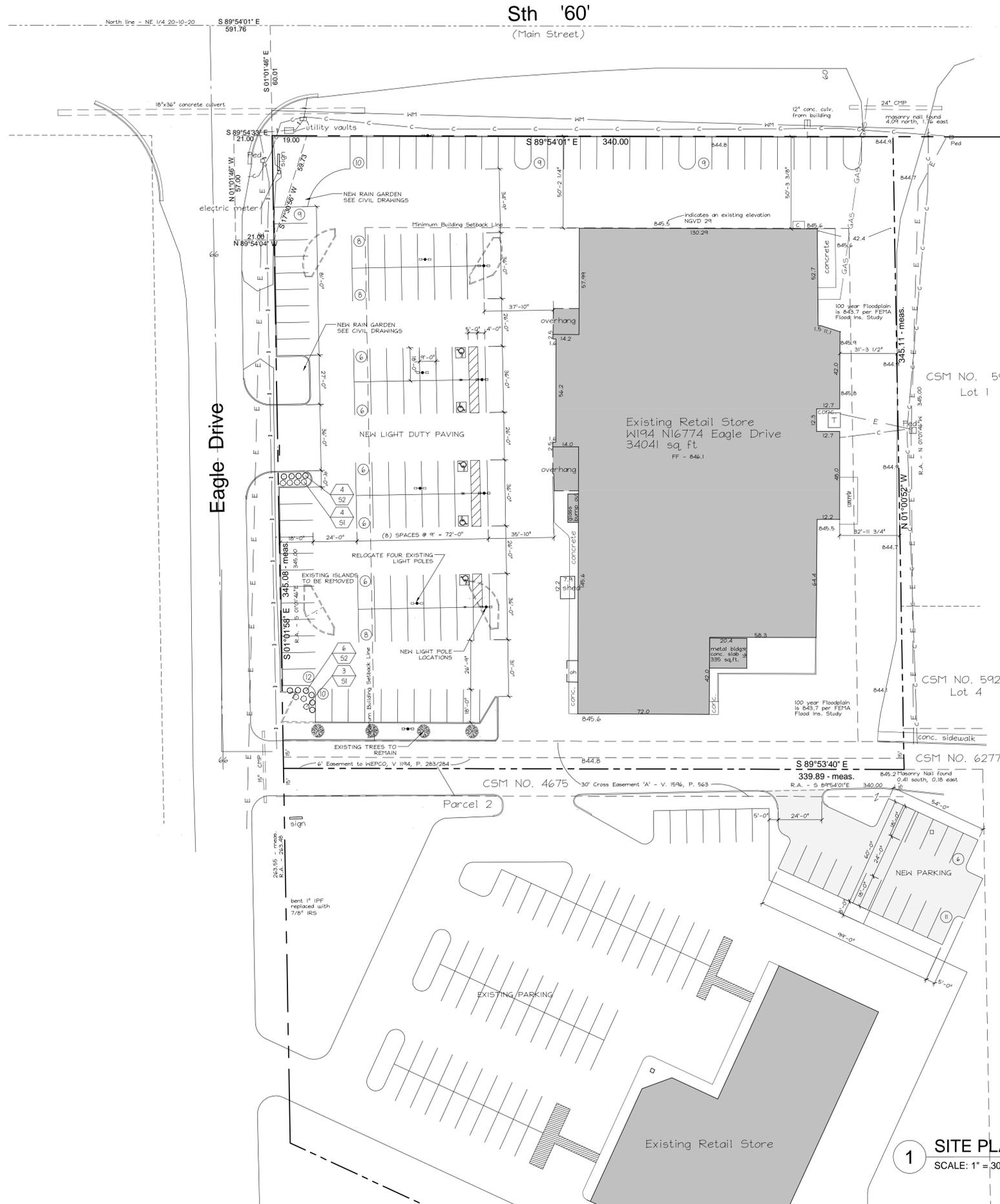


**2 LOCATION PLAN**  
NOT TO SCALE

**SITE DATA:**

SITE AREA:	117,290 S.F.
	2.69 ACRES
TOTAL BUILDING FOOTPRINT:	34,041 S.F.
EXISTING PAVEMENT	77433 S.F.
PROPOSED PAVEMENT:	75,236 S.F.
TOTAL PAVEMENT REDUCTION:	2,197 S.F.

<b>PARKING STALL REQUIREMENTS:</b>	
PARKING PROVIDED:	113
HANDICAP PARKING REQUIRED:	5
HANDICAP PARKING PROVIDED:	5
TOTAL PARKING PROVIDED:	118



**1 SITE PLAN**  
SCALE: 1" = 30'-0"



**DESIGN 2 CONSTRUCT**  
DEVELOPMENT CORPORATION  
N173 W21010  
NORTHWEST PASSAGE WAY  
JACKSON, WI 53037  
PHONE 262.677.9933  
FAX 262.677.9934  
info@design2construct.com

PARKING LOT DESIGN FOR:  
**PIGGLY WIGGLY**  
W194 N16774 EAGLE DRIVE  
JACKSON, WI 53037

**SHEET TITLE**  
PROPOSED SITE PLAN

**REVISIONS**

<b>PROJECT DATA</b>	
DATE	03.04.2016
JOB NO.	14-00204
SET USE	PLAN COMMISSION
FILE NAME	C1-A1.0
DRAWN BY	BW
SHEET NO.	

**A1.0**

**VILLAGE OF JACKSON DEVELOPMENT APPLICATION FORM**  
**(Due 1<sup>st</sup> Friday of the month for that month's Planning Commission Meeting)**

Name of Applicant Quasius Construction, Inc.  
 Contact Todd Wagner Address/ZIP 1716 North 16th Street, Sheboygan, WI 53081 Phone # 920-287-0397  
 E-mail Address twagner@quasius.com Fax # where Agenda/Staff comments are to be faxed 920-457-1045  
 Name of Owner Living Word Lutheran High School Address/ZIP 2230 Living Word Lane Phone# 262-677-9353  
 Owner Representative/Developer Shepherd Hao - Blue Ribbon Management  
 Proposed Use of Site Construction of a new student dorm building Present Zoning \_\_\_\_\_

<u>ACTION REQUESTED</u>	<u>FEE</u>	<u>SUBMITTAL REQUIREMENTS</u>	<u>TYPE OF INFORMATION DESCRIBED</u> (See page 5)	<u>PAPER COPIES</u>	<u>CD</u>
CONCEPT PLAN	\$50	1,2,6,13	1) Complete Application (all pages)		XXX
CONDITIONAL USE	\$150	1,2,3,4,5,6,7,14,15,16,18,19,20	2) Describe what you intend to do (paragraph)		XXX
			3) Address Labels of adjacent owners to be notified (500' / 200') *	Labels*	
PLANNED UNIT DEVELOPMENT	\$150	1,2,3,4,5,6,7,8,9,10,14,15,16,17,18,20	4) Owner acknowledgement of the request	1	
			5) Impact Statement		XXX
REZONING	\$200	1,2,(3),4,6,9 or 10 (500' for rezoning 200' for Cond. Use or PUD Site Plan)	6) Location Map		XXX
			7) Development Plan / Site Plan		XXX
CERTIFIED SURVEY MAP (CSM)	\$150	1,2,6,10,20	8) Preliminary Plat		XXX
			9) Final Plat		XXX
MINOR SUBDIVISION	\$150	1,2,3,5,6,10,15,16,17,18,20	10) Certified survey Map		XXX
			11) Annexation Petition		XXX
Extra-territorial Plat or CSM	\$150	1,2,6,9 / 10	12) Annexation Map	1	XXX
			13) Sketch Plan		XXX
Extra-territorial Plat outside Sanitary Service Area	\$50	1,2,6,9 / 10	14) Landscape Plan	4 (24x36)	XXX
			<u>Engineering Review - Infrastructure</u>		
PRELIMINARY PLAT	\$300	1,2,3,5,6,9,15,16,17,18	15) Grading/Drainage Plan	4 (24x36)	XXX
			16) Water / Sewer / Storm Sewer Plans	4 (24x36)	XXX
FINAL PLAT / Final Plat Reappl..	\$100	1,2,3,5,6,9,15,16,17,18,20	17) Street / Right of Way cross sections	4 (24x36)	XXX
			18) Erosion Control Plan	4 (24x36)	XXX
ANNEXATION / ATTACHMENT	\$200	1,2,3,4,5,6,11,12,21	19) Proposed colors / materials		XXX
			20) Developers Agreement		XXX
STREET EASEMENT/ VACATION	\$150	1,2,3,4,6,9	21) Annexation Agreement (includes pre-annex agreements)		XXX
			22) other -		XXX
VARIANCE	\$150	1,2,3,4,6,7			
* Labels	\$25		If not included with submittal & prepared by the Village.		

I certify the information and exhibits submitted are true and correct to the best of my knowledge, and that in filing this application I am acting with knowledge and consent of those persons listed above and owner(s) without whose consent the requested action cannot be lawfully acted upon.

Name Todd Wagner Signature Todd J Wagner Date 3/8/16  
 Office Use: Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid \$ \_\_\_\_\_

# VILLAGE OF JACKSON

Special Use     Conditional Use     Planned Unit Development    Permit # \_\_\_\_\_

The Village of Jackson, hereby grants a  **Special Use**  **Conditional Use**  **Planned Unit Development**

Permit to:

Name of Business/Applicant: Quasius Construction, Inc. / Todd Wagner

For a property located at (address): 2230 Living Word Lane, Jackson, WI 53037

Phone number of Business/Applicant: 920-287-0397 (Office) 920-547-0773 (Cell)

For (land use, activity, sign, site plan, other): Student Dorm Building - 21 beds (20 student beds, 1 Resident assistant bed).

Impact Mitigation (noise, smoke, dust, odors, etc. affecting adjacent properties): N/A

Hours of Operation: 24 hours / 7 days per week throughout the school year (August to May)

Comprehensive/Master Plan Compatibility: N/A

Building Materials (type, color): Match existing school buildings - masonry exterior, with siding above, shingled roof. Colors to match existing school.

Setbacks from rights-of-way and property lines: N/A

Screening/Buffering: N/A

Landscape Plan (sizes, species, location): Grass seeding and small plantings to match existing campus landscape. Planting will be set along walkway and along south side of building.

Signing (dimensions, colors, lighting, location): N/A

Lighting (wattage, style, pole location and height, coverage): N/A

Traffic flow, pedestrian circulation (curb to street width), (parking one/both/neither side(s), (sidewalk/pedestrian way width and material): N/A - no public streets affected

Storm-water Management: Gutters and downspouts on east and west side of building. East side will surface drain. West side will deposit into underground pipe and carry rain water to the north to the existing swale.

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Erosion Control: Silt fence will be erected throughout construction, Grass seeding will take place after construction

Fire Hydrant Location(s): Existing hydrant locations.

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Knox Box, Posting Site (No Trespass signing), Emergency Telephone #'s: N/A

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Hazardous Material Storage: N/A

Alarm Systems: Fire alarm connected to existing school system. No - security alarm.

Site Features/Constraints: Site features - existing site is a slightly sloped grass field. Swale to the north side and an existing swale/ditch on the east side.

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Parking (no. of spaces, handicapped parking, and dimensions): Use existing parking lot

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Tree and shrub preservation: N/A - no existing trees or shrubs present

---

Setbacks/height limitations: N/A

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Wastewater Usage Projected: 219,000 gal/year      Water Usage Projected: 219,000 gal/year

Duration and Review of Conditional Use (expiration, when reviewed: upon complaint, specified period):

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# TERMS OF THIS PERMIT

1. This permit shall become effective upon the execution and recording by the owners of the premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. The permit shall be void unless: (a) pursuant to the Building and Zoning Codes of the Village, the approved use is commenced or (b) the building permit is obtained within 12 months of the date of Village Board approval.
3. The permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of the Village of Jackson.
4. Construction and operation of the use permit shall be in strict conformity to the approval site, building, and operation plans which were filed in connection with the application for this permit (as attached and /or referenced).
5. Any of the conditions of this permit which would normally be the responsibility of the tenants of the premises, shall be made a part of their lease by the owner.

Granted by: Village Board \_\_\_\_\_ Date \_\_\_\_\_ Over the Counter \_\_\_\_\_ Date \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

John Walther, Administrator

\_\_\_\_\_, Owner

Please print name

Applications shall be submitted by 4:00 PM on the Friday of the month to be considered by the Planning Commission that month. In some cases, more than the number of copies on the face of this form will be required. Only complete applications shall be presented to the Planning Commission and the Village Board for action. Applications submitted without a pre-submittal conference risk delay by being incomplete.

The Planning Commission meets on the last Thursday of each month unless there is a conflict with a holiday. The Village Board meets on the second Tuesday of each month, and will conduct a public hearing. A decision on the request could be made at that meeting.

EXPLANATION OF TYPES OF INFORMATION (From face of application form):

---

1. **Application Form: Must be submitted on CD.**
2. Letter of Intent: What you are requesting in your own words. (Be brief)
3. Mailing Labels: It is your responsibility to provide the Village with current owner addresses. If mailed notification is required for your application, an incorrect address may cause you a delay. If the Village prepares the labels for you, there will be an additional charge of \$25.00
4. Proof of Property Ownership: A copy of a deed, tax notice, title insurance policy (first page), recorded plat, etc.
5. Impact Statement: In general, the following points represent most of the topics to be addressed in the impact statement. Specific points will be designated at the pre-submittal conference by staff.
  - A. Annual water consumption estimate (100% occupancy and build-out)
  - B. Annual sewage generation estimate (100% occupancy and build-out)
  - C. Vehicle trip generation (trips per day per unit x number of units)
  - D. Estimated numbers of vehicles and recreational vehicles to be stored and/or parked on site.
  - E. Proposed sign(s) (advertising business, industry, dwelling unit)
  - F. General hours of operation
  - G. Anticipated user profiles (for residential developments)
  - H. Proposed dates of construction and completion
  - I. Unusual conditions which warrant special attention (hazardous materials storage, fire hazards, odors, noise generation, etc.
6. Location Map: Show where the site is relative to a Village map.
7. Development Plan: Shows entire proposal on the site. Includes edge of pavement and/or back of the curb line, sidewalks (existing and proposed), footprints of the structure, drives, parking spaces and fencing, locations of accessory uses, dimensions, etc. Landscape plans and water/sewer/storm plans may be shown combined on the plan if the composition is easily read and understood.
- 8/9. Plat Map: Prints of the preliminary and final (recordable plat), with proper signature blocks.
10. Certified Survey Map: A recordable instrument showing the legal and mapped description of the land division.
11. Annexation Petition/Attachment Request: Shows owner is supporting the annexation.
12. Annexation Map: A recordable map having the legal and mapped description of the parcel to be annexed.
13. Sketch Plan: An informal drawing depicting the proposal for discussion purposes.
14. Landscape Plan: Shows location, size, type, botanical name & common name of proposed trees & shrubs. Also calls out surface treatments. Shows walls, fences & details.
15. Grading/Drainage Plan: Shows original & proposed grades& runoff calculations based on a 10-year storm. It is usually combined with a Storm Sewer Plan. (storm sewer system, ditches, culverts, etc.)
16. Water/Sewer/Storm Sewer Plans: Shows size and location of proposed water mains & fire hydrants; size and location of the proposed sanitary sewer collection system with gradient profiles and invert elevations; shows the proposed storm drainage system as in 15.
17. Street Crossing Sections: Section shows curb, gutter, paving, and sidewalk relative to the right-of-way width.
18. Erosion Control Plan: A map of existing site conditions on a scale of at least 1 inch equals 100 feet showing the site, boundaries and immediately adjacent areas which accurately identify site locations.
19. Proposed Colors and Materials: Submit samples of exterior colors and materials.
20. Improvement Agreement: An agreement between the developer and the Village determining park dedications and the responsibilities for street, water, sewer, and the storm sewer improvements and extensions.
21. Annexation Agreement.

**MEETINGS AT WHICH THE REQUEST IS BEING HEARD SHOULD BE ATTENDED BY THE APPLICANT OR A REPRESENTATIVE IN ORDER TO RESPOND TO QUESTIONS AND AVOID DELAYS IN THE APPROVAL PROCESS.**

3/8/16

Village of Jackson  
ATTN: Brian Kober – Director of Public Works  
N168 W20733 Main Street  
Jackson, WI 53037

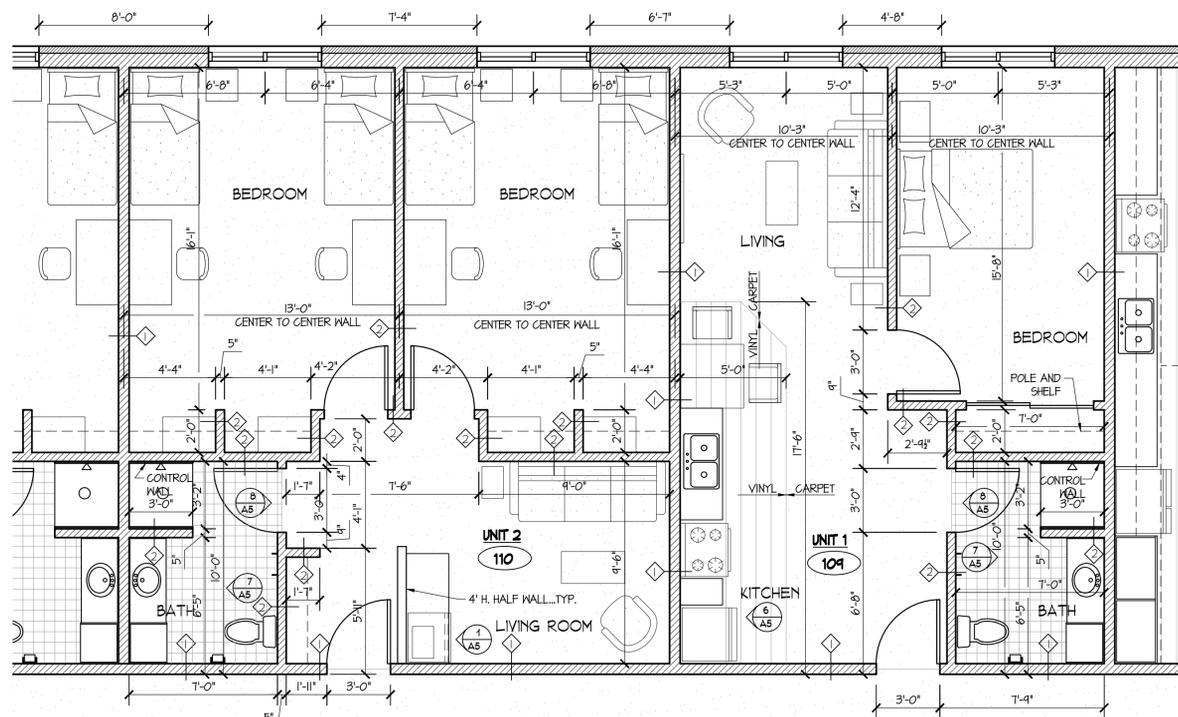
RE: Living Word Lutheran School International Dorm House  
2230 Living Word Lane  
Jackson, WI 53037

- Letter of Intent

Our intent is to construct a 7,500 square foot dorm building on the Living Word Lutheran School property. The dorm building will have 21 beds total. We are requesting permission to tie-in to the existing sanitary sewer and water.

See supporting documents for further information.

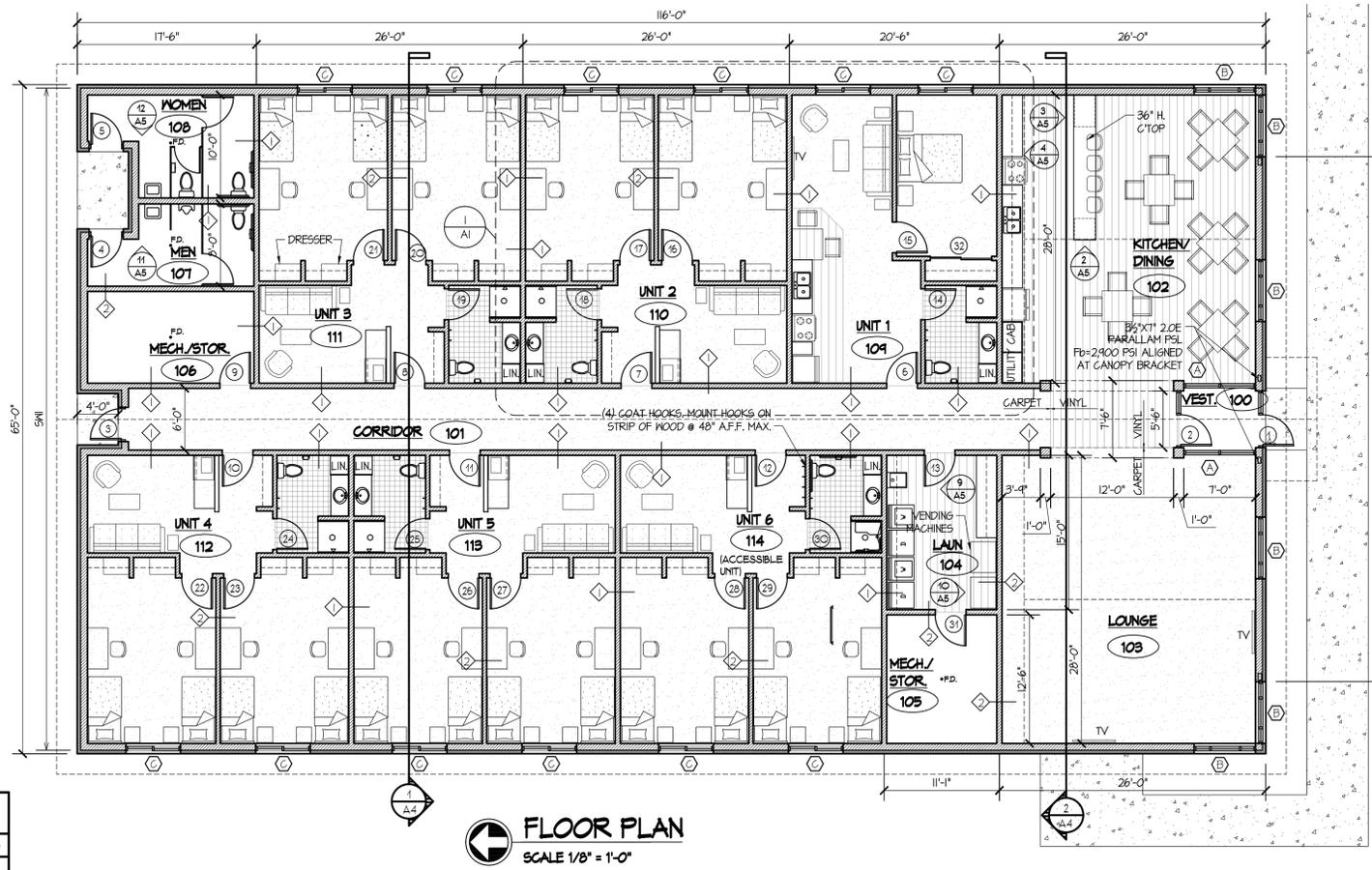




TYP. UNIT

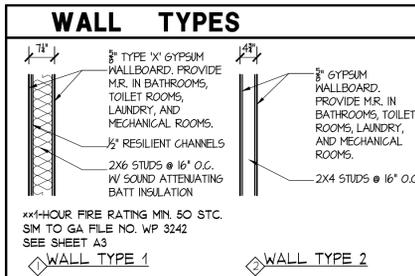
UNIT PLANS  
SCALE 1/4" = 1'-0"

R.A. UNIT



FLOOR PLAN  
SCALE 1/8" = 1'-0"

ACCESSIBLE UNITS:  
IBC 1107.6.2.2.1 REQUIRES 1 ACCESSIBLE UNIT IN THIS BUILDING.  
IBC 1107.6.2.2.2 REQUIRES THAT ALL UNITS BE TYPE 'B' UNITS.

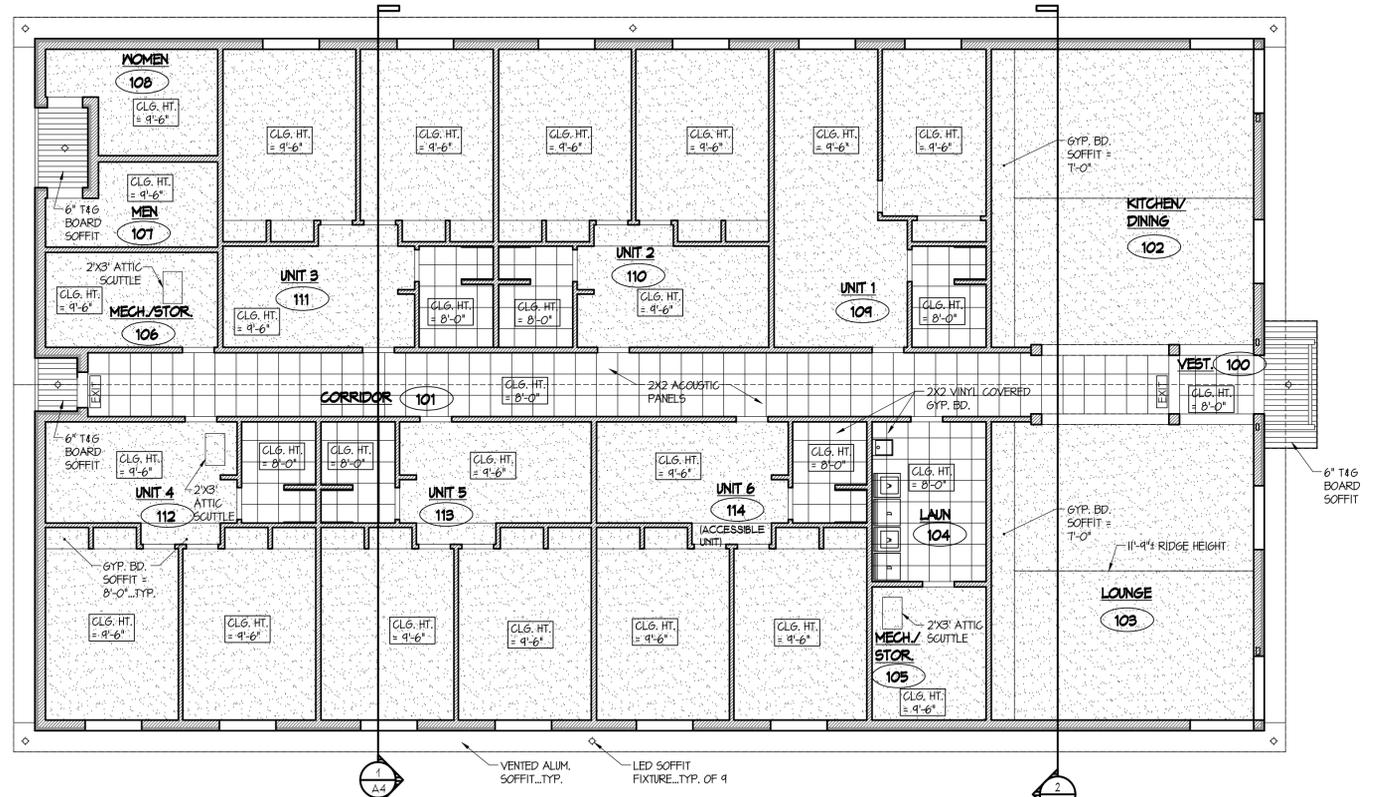


NO.	ROOM	FLOOR	BASE	WALLS				CEILING		REMARKS
				ALL	NORTH	EAST	SOUTH	WEST	MATERIAL	
<b>LOWER LEVEL</b>										
100	VESTIBULE	F2	BI	WI	-	-	-	C1	8'-0"	3
101	CORRIDOR	F3	BI	WI	-	-	-	C1	8'-0"	3
102	KITCHEN/DINING	F4	BI	WI	W2	WI	WI	C3	VARIES	-
103	LOUNGE	F3	BI	WI	-	-	-	C3	VARIES	-
104	LAUNDRY	F4	BI	W2	-	-	-	C2	8'-0"	3
105	MECH./STOR.	F1	-	WI	-	-	-	C3	9'-6"	-
106	MECH./STOR.	F1	-	WI	-	-	-	C3	9'-6"	-
107	MEN	F2	BI	W2	-	-	-	C4	9'-6"	-
108	WOMEN	F2	BI	W2	-	-	-	C4	9'-6"	-
<b>UNITS 1-6 (109-114)</b>										
	LIVING	F3	BI	WI	-	-	-	C3	9'-6"	2
	BATH	F5	B2	W2	-	-	-	C2	8'-0"	2
	BEDROOM	F3	BI	WI	-	-	-	C3	9'-6"	2
	KITCHENETTE	F4	BI	W2	-	-	-	-	-	UNIT 1

1) USE MOISTURE RESISTANT GYP. BD. ON WALL AT KITCHENETTE IN UNIT #1.  
2) TAPED MR. GYP. BD. AT ROOF TRUSSES  
3) TAPED GYP. BD. AT ROOF TRUSSES.

FIXTURE	QUANT.	MANUF.	CAT #/NAME	REMARKS
WATER CLOSET	2	KOHLER	3474-0/ HIGHLINE	WHITE
TOILET SEAT	2	KOHLER	4712-0/ TRIKO	WHITE
TOILET SEAT	3	KOHLER	4731-5C-0/ STRONGHOLD	WHITE
URINAL	1	KOHLER	4404-ET-0/ BARDON	WHITE
SENSORED FLUSH VALVE	1	SLOAN	5126 62	-
DROP-IN LAVATORY	6	KOHLER	2196-0/ PENNINGTON	WHITE
WALL-HUNG LAVATORY	2	KOHLER	1724-0/ CHESAPEAKE	WHITE
LAVATORY FAUCET	2	KOHLER	15240-4-CP/ CORALAIS	CHROME
DRAIN	2	FROFLO	-	CHROME
SHOWER MODULE	6	ACCESSIBILITY PROFESSIONALS	APTXYST333BF625/ FREEDOM SHOWER	WHITE, SEE COMMENT 1 BELOW
TUB/SHOWER VALVE	6	KOHLER	304-K	-
TUB/SHOWER VALVE TRIM	6	KOHLER	T15611-4-CP/ CORALAIS	CHROME
KITCHEN SINK	2	KOHLER	3145-NA/ CADENCE	STAINLESS STEEL
KITCHEN FAUCET	2	KOHLER	15172-F-CP/ CORALAIS	CHROME
SINK STRAINER	2	KOHLER	8814-CP/ SINK STRAINER	CHROME
GARBAGE DISPOSAL	2	INSINKERATOR	BADGER V	-
CLOTHES WASHER BOX	2	OATEY	RESIDENTIAL HOOK-UP BOX	-
FLOOR DRAIN	4	SIoux CHIEF	FINISH LINE	-
HOT WATER HEATER	1	BRADFORD	75 GALLON	WHITE, SEALED COMB., NATURAL GAS
LAWN FAUCET	2	WOODFORD	SELF-DRAINING W/ KEY	-
LAUNDRY SINK	1	MUSTEE	12C UTILATUB COMBO	FAUCET INCLUDED

1) 36" x 36" INTERIOR DIMENSION SHOWER MODULE. INCLUDE SHOWER ROD & WEIGHTED CURTAIN, RECESSED SOAP DISH, CAULKLESS DRAIN, FULL WOOD BACKING, AND COLLAPSIBLE WATER RETAINER.



REFLECTED CEILING PLAN  
SCALE 1/8" = 1'-0"

**GENERAL NOTES:**  
FIRE-RESISTANCE-RATED CONSTRUCTION  
OPENING PROTECTIVES  
FIRE DOOR LABELING REQUIREMENTS:  
FIRE DOORS SHALL BE LABELED SHOWING THE NAME OF THE MANUFACTURER, THE NAME OF THE THIRD-PARTY INSPECTION AGENCY, AND THE FIRE PROTECTION RATING. LABELS SHALL BE APPROVED AND PERMANENTLY AFFIXED. THE LABEL SHALL BE APPLIED AT THE FACTORY OR LOCATION WHERE FABRICATION AND ASSEMBLY ARE PERFORMED.  
FIRE DOOR FRAME LABELING REQUIREMENTS:  
FIRE DOOR FRAMES SHALL BE LABELED SHOWING THE NAMES OF THE MANUFACTURER AND THE THIRD-PARTY INSPECTION AGENCY.  
DOOR CLOSING:  
FIRE DOORS SHALL BE SELF- OR AUTOMATIC CLOSING.  
LATCH REQUIRED:  
UNLESS OTHERWISE SPECIFICALLY PERMITTED, SINGLE FIRE DOORS SHALL BE PROVIDED WITH AN ACTIVE LATCH BOLT THAT WILL SECURE THE DOOR WHEN IT IS CLOSED.  
MEANS OF EGRESS  
DOORS  
FLOOR ELEVATION:  
LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 0.25 UNIT VERTICAL IN 12 UNITS HORIZONTAL.  
THRESHOLDS:  
THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.5 INCH. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 0.25 INCH AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL.  
HARDWARE:  
DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING OR TWISTING OF THE WRIST TO OPERATE.  
HARDWARE HEIGHT:  
DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.  
CLOSERS:  
INTERIOR DOOR CLOSING FORCE SHALL BE 5 LBS. MAX AND 5 SECONDS CLOSING TIME FROM 90 DEGREES OPEN TO 1" FROM CLOSED.  
EXTERIOR DOOR CLOSING FORCE SHALL BE 8.5 LBS. MAX AND 5 SECONDS CLOSING TIME FROM 90 DEGREES OPEN TO 1" FROM CLOSED.

DATE

NO. REVISIONS

LJM Architects  
813 Riverfront Drive  
Sheboygan, WI 53081  
Phone (920) 468-4800 Fax (920) 468-1485

**Quasius**  
a construction services company

**LIVING WORD INTERNATIONAL HOUSE**  
**NEW STUDENT DORM**  
**LIVING WORD LANE**  
**JACKSON, WI 53037**

SHEET TITLE

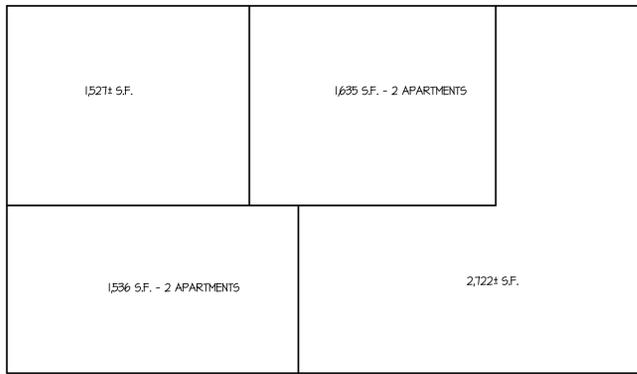
DRAWN BY  
JA

CHECKED BY  
EU

DATE  
01-25-16

PROJECT NO.  
1556

SHEET NO.  
**A1**



**ATTIC COMPARTMENTALIZATION DIAGRAM**  
SCALE 1/16" = 1'-0"

**DOOR SCHEDULE**

NO.	SIZE	TYPE	FRAME	HDWR.	REMARK
<b>LOWER LEVEL</b>					
1	3'-0" X 7'-0"	1	ALUM.	1	
2	3'-0" X 7'-0"	1	ALUM.	1	
3	3'-0" X 7'-0"	2	F.G.	3	
4	3'-0" X 7'-0"	2	F.G.	2	
5	3'-0" X 7'-0"	2	F.G.	2	
6	3'-0" X 7'-0"	3	STEEL	4	
7	3'-0" X 7'-0"	3	STEEL	4	
8	3'-0" X 7'-0"	3	STEEL	4	
9	3'-0" X 7'-0"	3	STEEL	5	
10	3'-0" X 7'-0"	3	STEEL	4	
11	3'-0" X 7'-0"	3	STEEL	4	
12	3'-0" X 7'-0"	3	STEEL	4	
13	3'-0" X 7'-0"	3	STEEL	4	
14	3'-0" X 7'-0"	4	STEEL	6	
15	3'-0" X 7'-0"	4	STEEL	7	
16	3'-0" X 7'-0"	4	STEEL	7	
17	3'-0" X 7'-0"	4	STEEL	7	
18	3'-0" X 7'-0"	4	STEEL	6	
19	3'-0" X 7'-0"	4	STEEL	6	
20	3'-0" X 7'-0"	4	STEEL	7	
21	3'-0" X 7'-0"	4	STEEL	7	
22	3'-0" X 7'-0"	4	STEEL	7	
23	3'-0" X 7'-0"	4	STEEL	7	
24	3'-0" X 7'-0"	4	STEEL	6	
25	3'-0" X 7'-0"	4	STEEL	6	
26	3'-0" X 7'-0"	4	STEEL	7	
27	3'-0" X 7'-0"	4	STEEL	7	
28	3'-0" X 7'-0"	4	STEEL	7	
29	3'-0" X 7'-0"	4	STEEL	7	
30	3'-0" X 7'-0"	4	STEEL	6	
31	3'-0" X 7'-0"	4	STEEL	5	
32	(2) 3'-0" X 7'-0"	5	STEEL	8	

DOORS ON EGRESS PATHS SHALL HAVE ILLUMINATED EXIT SIGNS WITH BATTERY BACK-UP.

**HARDWARE GROUPS**

<b>GROUP 1:</b> CONTINUOUS HINGE PUSH/PULL CLOSER PADDLE ACTIVATED LATCH (AT OUTSIDE DOOR) ADA THRESHOLD WEATHERSTRIPPING	<b>GROUP 3:</b> CONTINUOUS HINGE LEVER HANDLE ENTRANCE LOCKSET CLOSER WEATHERSTRIPPING ADA THRESHOLD	<b>GROUP 6:</b> 1/2 FR. HINGES LEVER HANDLE PRIVACY LOCKSET DOOR STOP
<b>GROUP 2:</b> CONTINUOUS HINGE PUSH/PULL CLOSER MAGNETIC LOCK	<b>GROUP 4:</b> 1 B.B. HINGE 2 SPRING HINGE LEVER HANDLE ENTRANCE LOCKSET AUTOMATIC DROP BOTTOM HEAD AND JAMB SEALS DOOR STOP	<b>GROUP 7:</b> 1/2 FR. HINGES LEVER HANDLE PASSAGE LATCHSET DOOR STOP
<b>GROUP 5:</b> 1/2 FR. HINGES LEVER STOREROOM PRIVACY LOCKSET DOOR STOP	<b>GROUP 8:</b> SLIDING DOOR TRACK AND TRUCKS FLUSH PULL EA. LEAF	

**DOOR TYPES**

<b>DOOR TYPE 1:</b> INSULATED ALUMINUM ENTRY DOOR W/ SIDELITE-MEDIUM STILE W/ 1" LOW-E CLEAR, 1-3/4" TH. 4" HEAD. U-FACTOR = 0.55 MAX.	<b>DOOR TYPE 2:</b> FLUSH INSULATED FIBERGLASS DOOR 1-3/4" TH. R-5 MIN.	<b>DOOR TYPE 3:</b> FLUSH SOLID CORE WOOD DOOR, 1-3/4" TH. W/ STEEL FRAME. TIMELY 5-SERIES, WITH TA-B CASING. STANDARD COLOR. 1/2 HR. RATED	<b>DOOR TYPE 4:</b> FLUSH SOLID CORE WOOD DOOR, 1-3/4" TH. W/ STEEL FRAME. TIMELY 5-SERIES, WITH TA-B CASING. STANDARD COLOR.	<b>DOOR TYPE 5:</b> FLUSH HOLLOW CORE SLIDING WOOD CLOSET DOOR, 1-3/8" TH. W/ STEEL FRAME. TIMELY 5-SERIES, WITH TA-B CASING. STANDARD COLOR.
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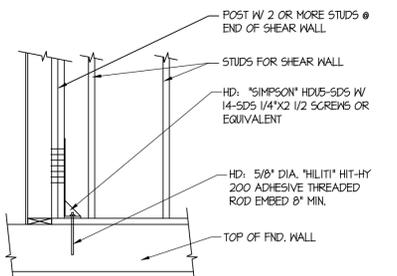
**WINDOW TYPES**

<b>WINDOW TYPE A:</b> TIMELY BORROWED LITE FRAME 1/2" CLEAR, TEMPERED GLASS	<b>WINDOW TYPE B:</b> ALUM. SLIDER WINDOW W/ 1" LOW-E CLEAR, TEMPERED INSUL. GLASS. RHINO 5045 SERIES BY GERKIN WINDOWS. U-VALUE = 38 SHGC = 24	<b>WINDOW TYPE C:</b> ALUM. SLIDER WINDOW W/ 1" LOW-E CLEAR, TEMPERED INSUL. GLASS. RHINO 5045 SERIES BY GERKIN WINDOWS. U-VALUE = 38 SHGC = 24 GLAZED AREA = 14.8 S.F. (9% OF ROOM AREA)
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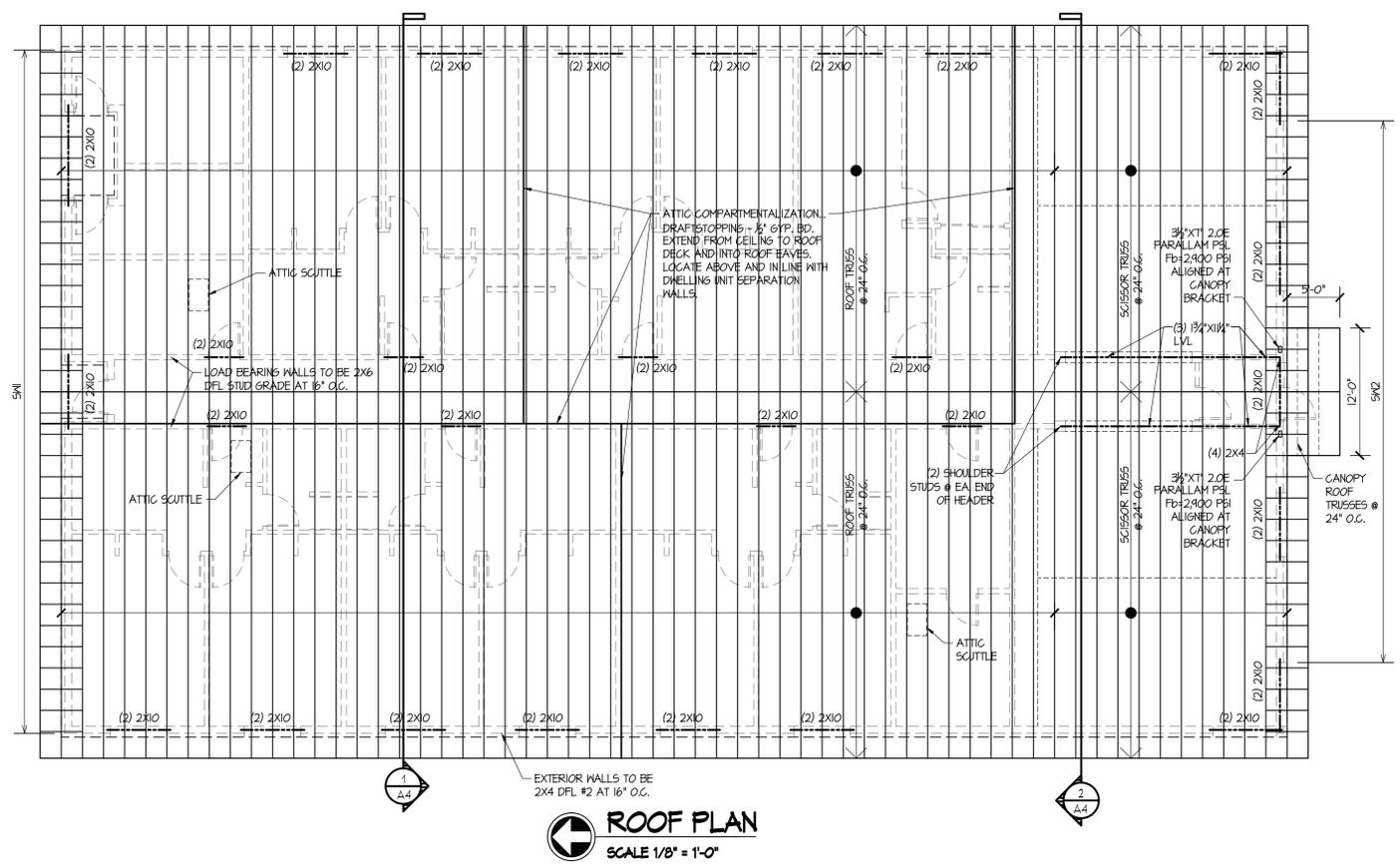
**SHEAR WALL SCHEDULE**

MARK	STRUCT. 1 SHEATHING	SIDES OF STUDS	NAIL SIZE	NAIL SPACING EDGES/ FIELD	NOTES
SW1	1/2" APA RATED	EXTR.	8d COMMON	6" / 12"	
SW2	1/2" APA RATED	EXTR.	8d COMMON	4" / 12"	

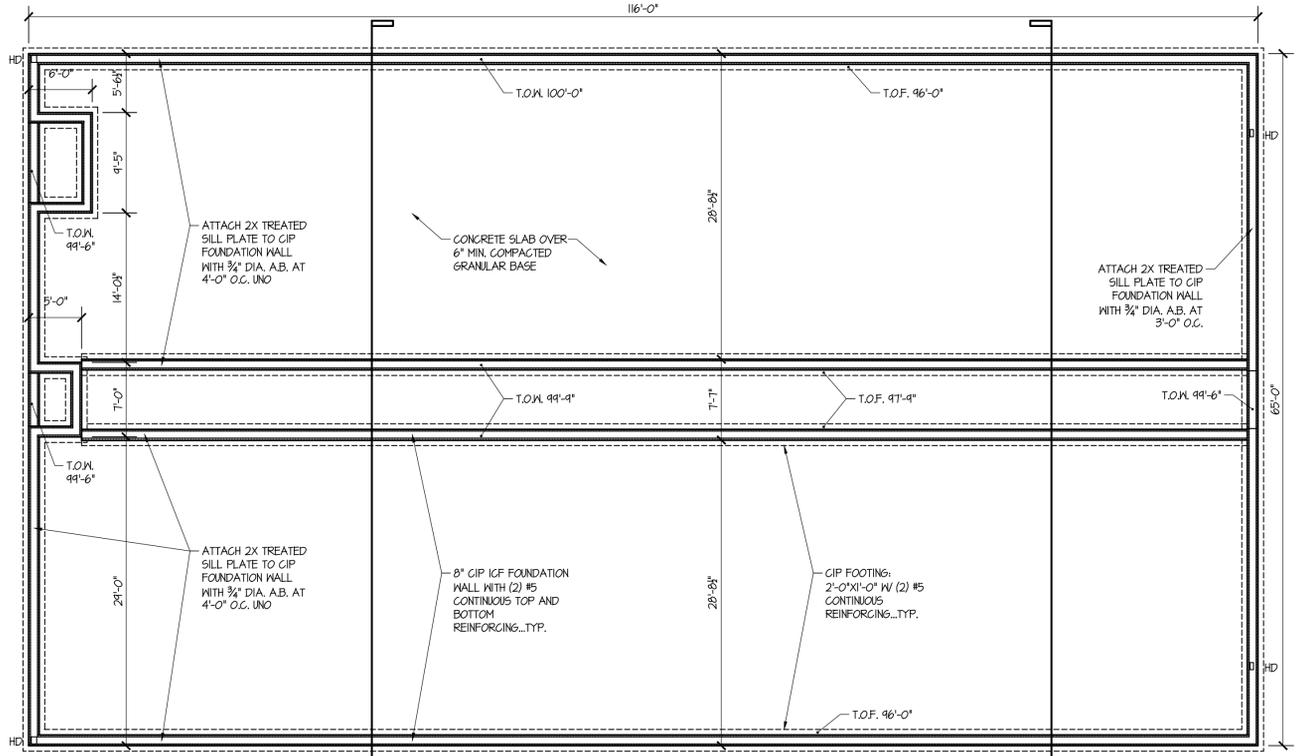
NOTE: ALL EXTERIOR WALLS ARE SW1 U.N.O



**1 SHEAR WALL HOLDDOWN**  
SCALE: NOT TO SCALE



**ROOF PLAN**  
SCALE 1/8" = 1'-0"



**FOUNDATION PLAN**  
SCALE 1/8" = 1'-0"

**DESIGN LIVE LOADS**

<b>ROOF LOADING</b>	
LIVE LOAD	20 PSF
GROUND SNOW LOAD (P <sub>g</sub> )	30 PSF
ROOF SLOPE FACTOR (C <sub>s</sub> )	1.0
EXPOSURE FACTOR (C <sub>e</sub> )	1.0
IMPORTANCE FACTOR (I <sub>s</sub> )	1.0
THERMAL FACTOR (C <sub>t</sub> )	1.1
ROOF SNOW LOAD (P <sub>f</sub> )	23.1 PSF
DRIFT (CANOPY)	69 PSF
UNBALANCED	21 PSF
<b>WIND LOADING</b>	
BASIC WIND SPEED (3-SECOND GUST)	90 MPH
EXPOSURE CATEGORY	C
EXPOSURE FACTOR (C <sub>w</sub> )	1.0
IMPORTANCE FACTOR (I <sub>w</sub> )	1.0
NET LATERAL ON END ZONE WALLS	21.1 PSF
NET LATERAL ON INT. ZONE WALLS	14 PSF
<b>EARTHQUAKE</b>	
SITE CLASS	D
IMPORTANCE FACTOR (I <sub>e</sub> )	1.0
SEISMIC USE GROUP CATEGORY	I
SEISMIC DESIGN CATEGORY	B
LATERAL EARTH PRESSURE (ACTIVE)	50 PSF/FT

**DESIGN STRESSES**

<b>CAST-IN-PLACE CONCRETE</b>	
FOOTINGS	f <sub>c</sub> = 3,000 PSI
WALLS, PIER	f <sub>c</sub> = 4,000 PSI
SLAB-ON-GRADE	f <sub>c</sub> = 3,500 PSI
MASONRY, OTHER	f <sub>c</sub> = 2,500 PSI
<b>REINFORCEMENT</b>	
TIES, STIRRUPS, FIELD BENT BARS	F <sub>y</sub> = 40,000 PSI
WELDED WIRE FABRIC	F <sub>y</sub> = 65,000 PSI
OTHER	F <sub>y</sub> = 60,000 PSI
<b>WOOD</b>	
STRUCTURAL	#2 DOUGLAS FIR-LARCH
ALLOWABLE SOIL BEARING CAPACITY	q = 3,000 PSF (ASSUMED)

**LIVING WORD INTERNATIONAL HOUSE**  
**NEW STUDENT DORM**  
**LIVING WORD LANE**  
**JACKSON, WI 53037**

**SHEET TITLE**

**DRAWN BY**  
JA

**CHECKED BY**  
EU

**DATE**  
01-25-16

**PROJECT NO.**  
1556

**SHEET NO.**  
**A2**

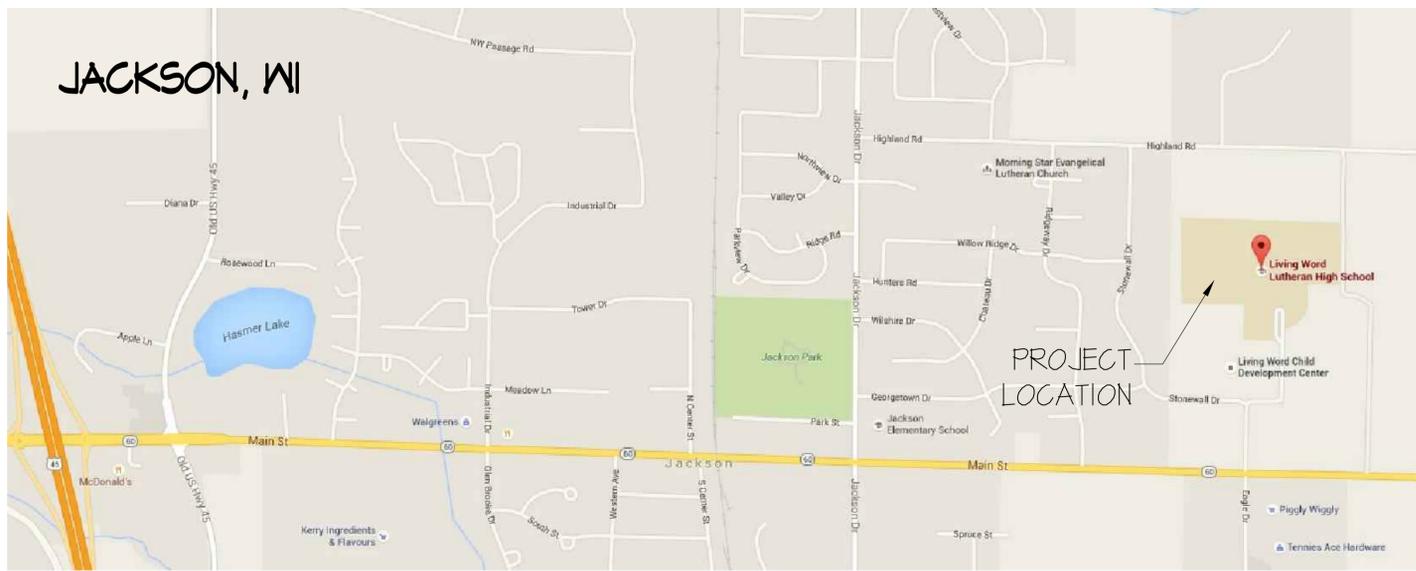
**NO. REVISIONS**

**DATE**

**LJM Architects**  
913 Riverfront Drive  
Steeboon, WI 53081  
Phone (608) 468-4800 Fax (608) 466-1485

**Quasius**  
a construction services company

# JACKSON, WI



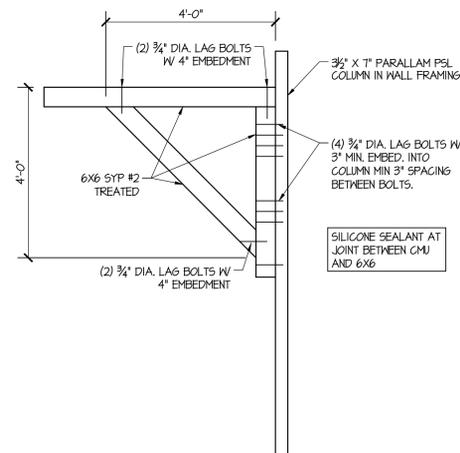
**VICINITY MAP**  
SCALE: NOT TO SCALE

GA FILE NO. RC 2603	PROPRIETARY*	1 HOUR FIRE
WOOD ROOF TRUSSES, RESILIENT CHANNELS, GLASS OR MINERAL FIBER INSULATION, CEILING DAMPER, GYPSUM WALLBOARD		
<p>One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 12" o.c. with 1 1/2" Type S drywall screws 8" o.c. Gypsum board end joints attached with screws 8" o.c. to additional pieces of channel 60" long located 3" back on either side of end joint. Resilient channels applied at right angles to bottom chord of pitched wood trusses 24" o.c. with 1 1/4" Type S or W screws. Glass fiber or mineral fiber batt or loose fill insulation applied directly over gypsum board. Trusses supporting 1 1/2" plywood or OSB roof sheathing applied at right angles to trusses with construction adhesive and 6d ring shank nails 12" o.c. Optional ceiling damper (refer to manufacturer for information on the type of damper).</p>		
<p><b>PROPRIETARY GYPSUM BOARD</b> National Gypsum Company - 5/8" Gold Bond® Brand FIRE-SHIELD C™ Gypsum Wallboard</p>		
<p>Approx. Ceiling Weight: 3 psf Fire Test: UL R3501, 00NK42686, 8-16-01, UL Design P533</p>		

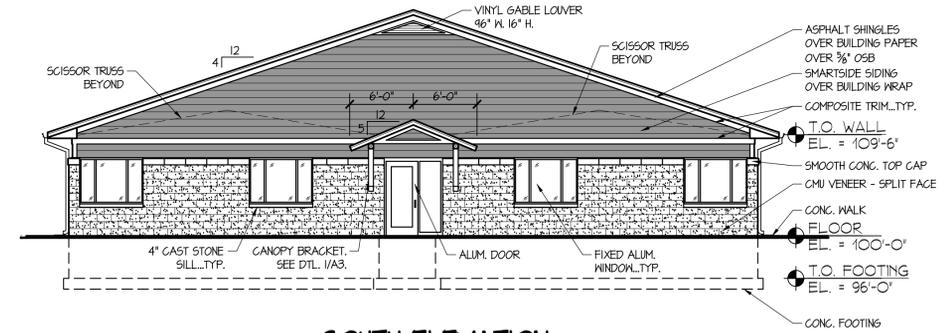
**GA NO. RC 2603 1 HR. FIRE RATED ROOF/ CEILING ASSEMBLY**  
SCALE: NOT TO SCALE

GA FILE NO. WP 3242	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS			
<p>Resilient channels 16" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" or 24" o.c. with 1 1/2" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. End joints backblocked with resilient channels. 3" mineral or glass fiber insulation in stud space.</p>			
<p>OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at parallel or at right angles to studs with 6d cement coated nails, 1 1/2" long, 0.0915" shank, 1 1/2" heads, 7" o.c.</p>			
<p>Vertical joints staggered 24" on opposite sides. Sound tested with studs spaced 24" o.c. (STC=50). Also sound tested with studs spaced 16" o.c. and with two layers of 5/8" type X gypsum board on the resilient channel side (STC=50). (LOAD-BEARING)</p>			
<p>Thickness: 5 1/2" Approx. Weight: 7 psf Fire Test: Based on UL R14196, 05NK05371, 2-15-05, UL Design U305</p>		<p>Sound Test: NRCC TL93-103, 3-98 NRCC TL93-118, 3-98</p>	

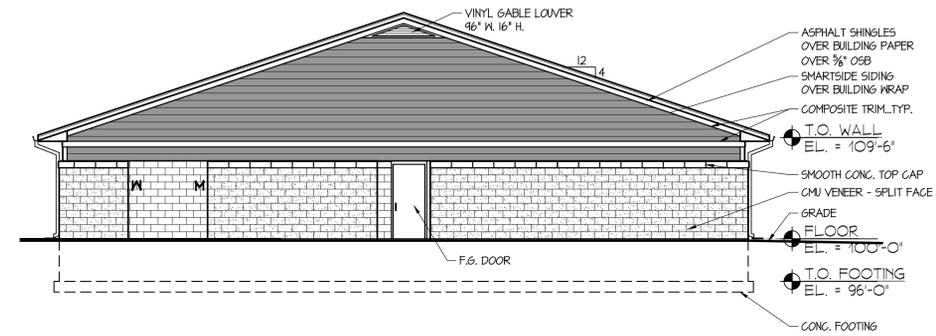
**GA NO. WP 3242 1 HR. FIRE RATED WALL ASSEMBLY**  
SCALE: NOT TO SCALE



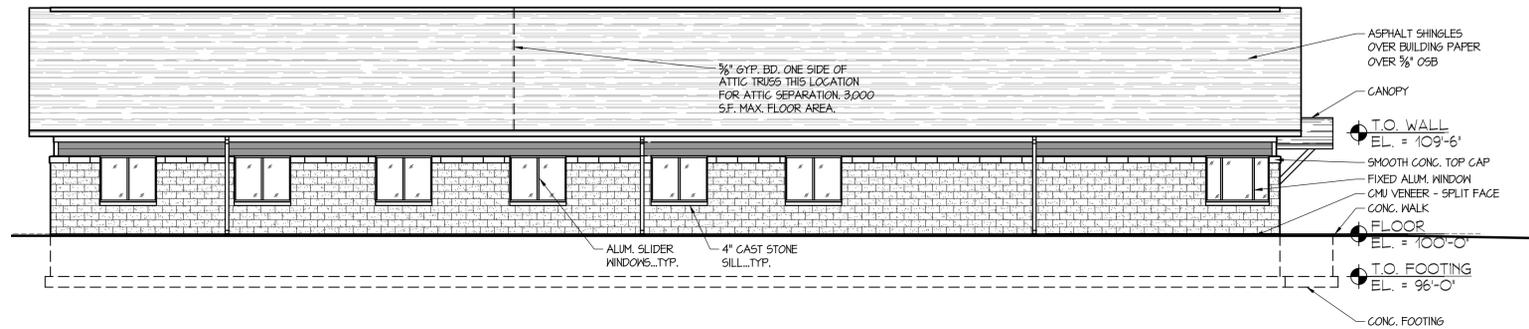
**CANOPY BRACKET DETAIL**  
SCALE 1/2" = 1'-0"



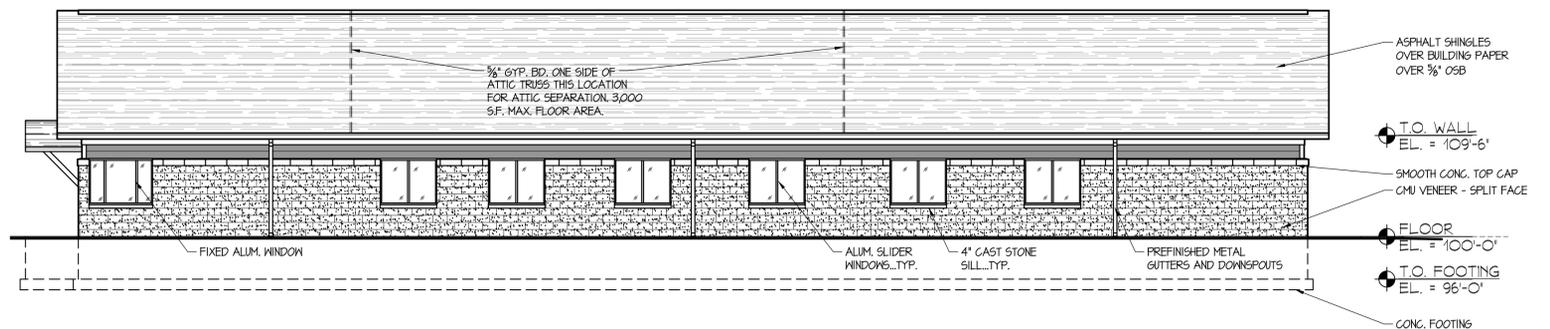
**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE 1/8" = 1'-0"

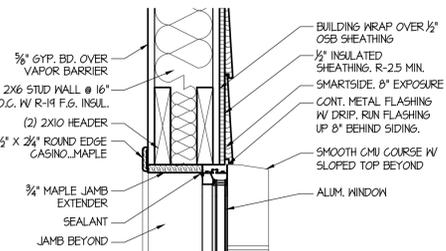
NO.	REVISIONS	DATE

**LJM Architects**  
813 Riverfront Drive  
Steeboyan, WI 53081  
Phone (608) 466-4800  
Fax (608) 466-1465

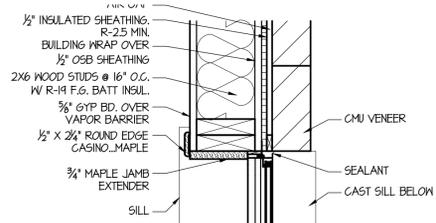
**Quasius**  
a construction services company

**LIVING WORD INTERNATIONAL HOUSE  
NEW STUDENT DORM  
LIVING WORD LANE  
JACKSON, WI 53037**

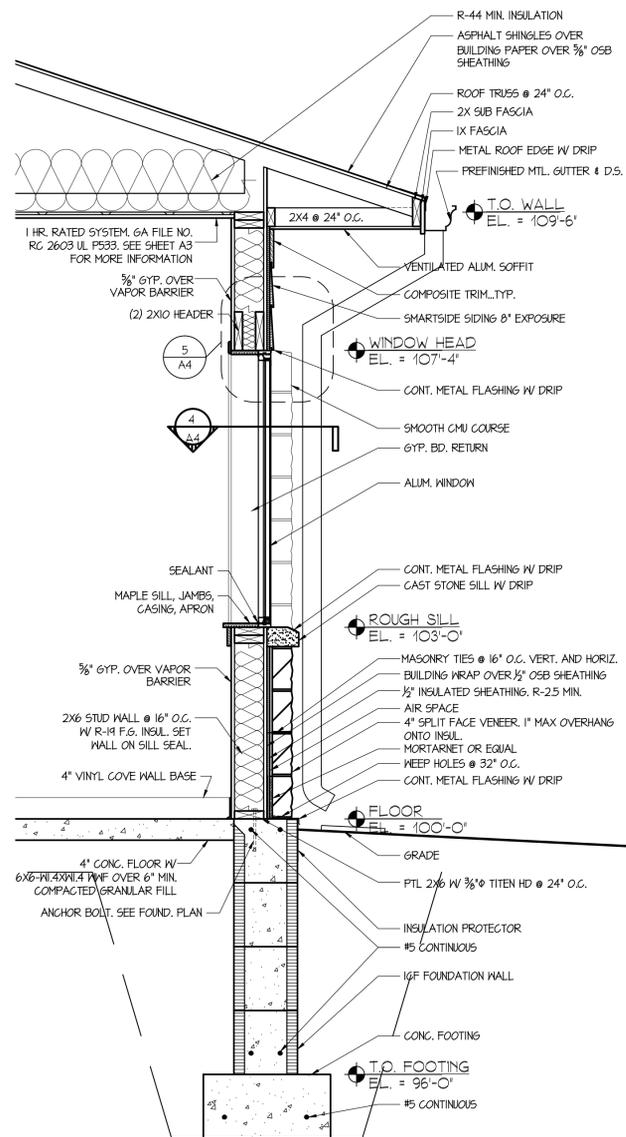
<b>SHEET TITLE</b>	
<b>DRAWN BY</b>	JA
<b>CHECKED BY</b>	EJ
<b>DATE</b>	01-25-16
<b>PROJECT NO.</b>	1556
<b>SHEET NO.</b>	<b>A3</b>



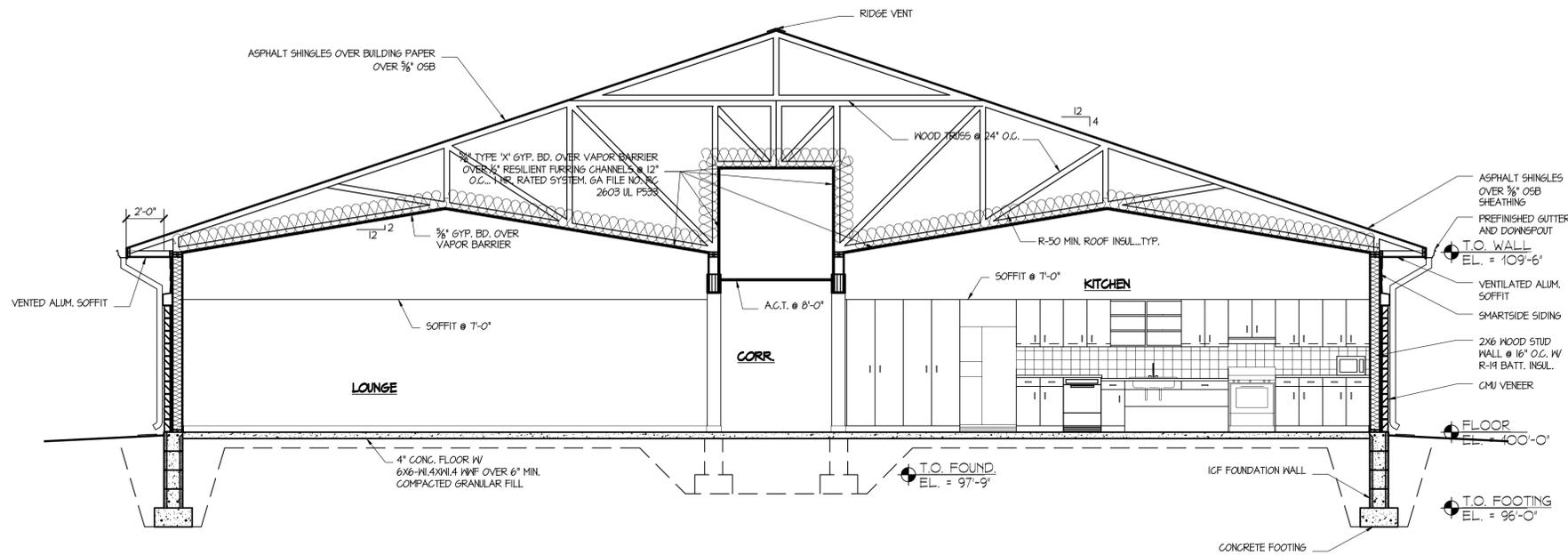
5 WINDOW HEAD DETAIL  
SCALE 1-1/2" = 1'-0"



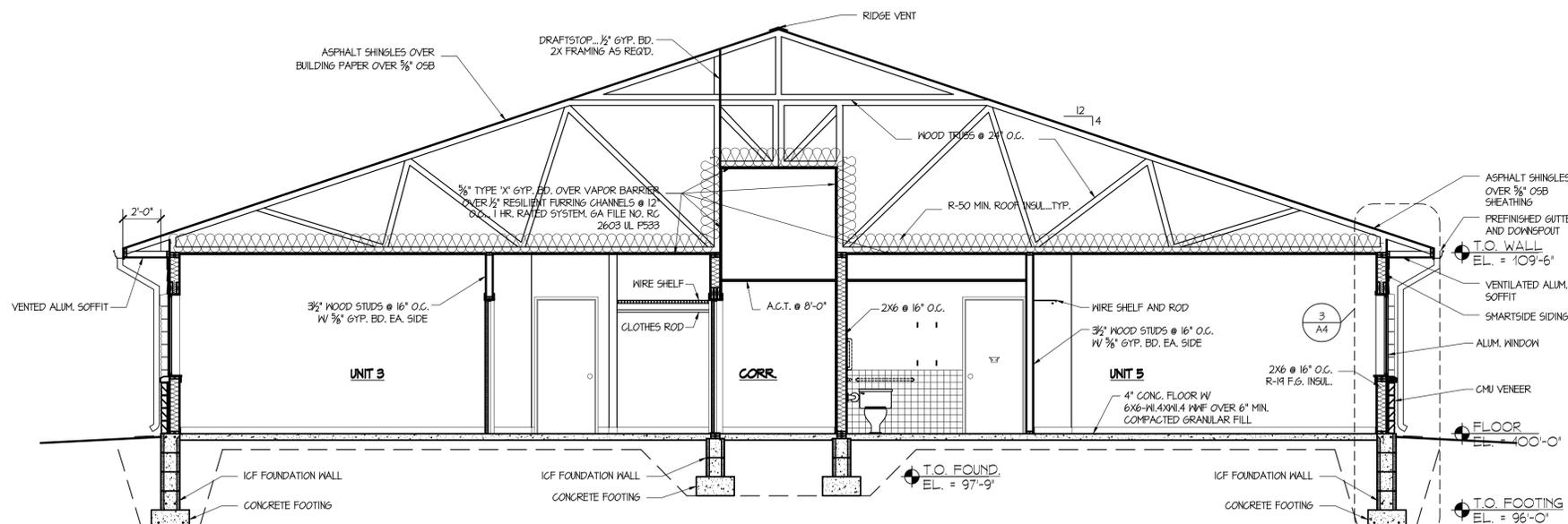
4 WINDOW JAMB DETAIL  
SCALE 1-1/2" = 1'-0"



3 TYPICAL WALL SECTION  
SCALE 3/4" = 1'-0"



2 SECTION...LOOKING NORTH  
SCALE 1/4" = 1'-0"



1 SECTION...LOOKING SOUTH  
SCALE 1/4" = 1'-0"

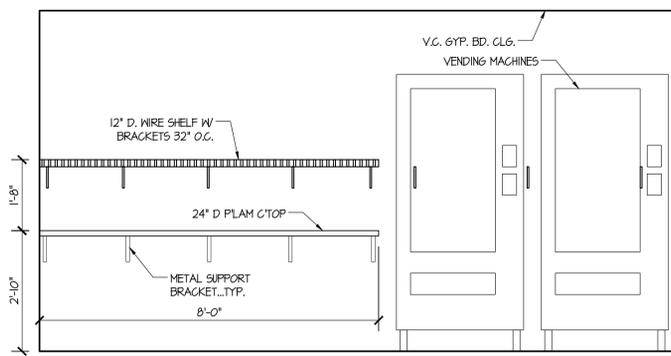
NO.	REVISIONS	DATE

**LJM Architects**  
913 Riverfront Drive  
Sheboygan, WI 53081  
Phone (920) 468-4800  
Fax (920) 468-1485

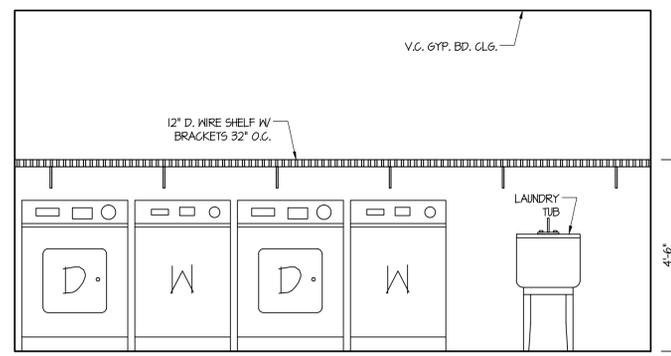
**Quasius**  
a construction services company

**LIVING WORD INTERNATIONAL HOUSE  
NEW STUDENT DORM  
LIVING WORD LANE  
JACKSON, WI 53037**

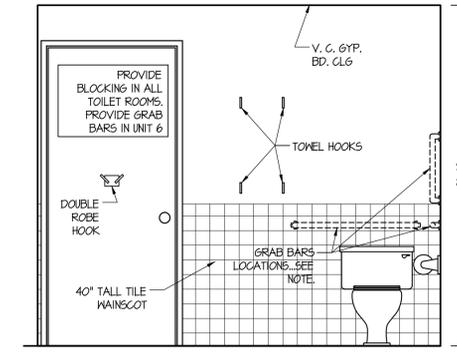
<b>SHEET TITLE</b>
<b>DRAWN BY</b> JA
<b>CHECKED BY</b> EU
<b>DATE</b> 01-25-16
<b>PROJECT NO.</b> 1556
<b>SHEET NO.</b> <b>A4</b>



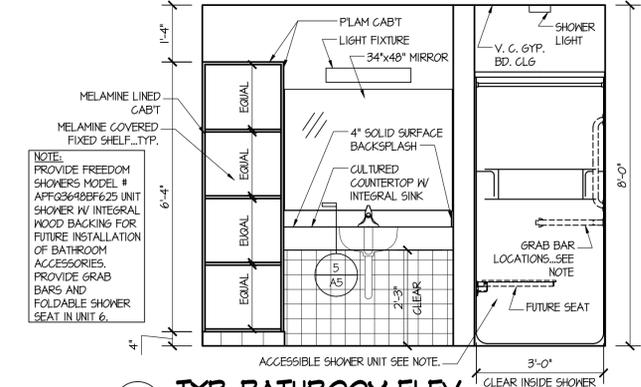
10 LAUNDRY ROOM ELEVATION  
SCALE 1/2" = 1'-0"



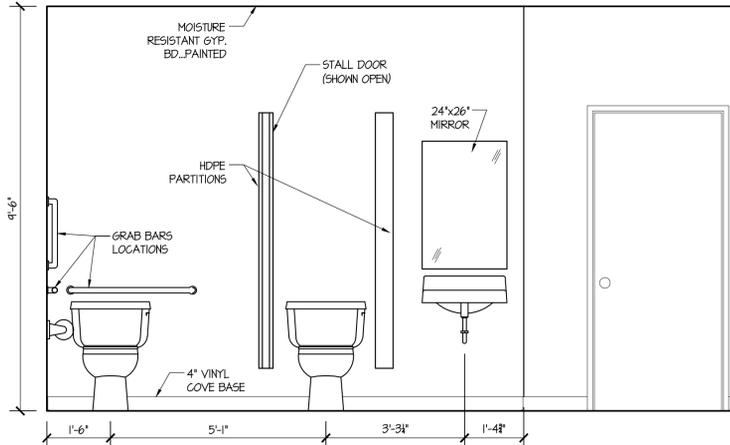
9 LAUNDRY ROOM ELEVATION  
SCALE 1/2" = 1'-0"



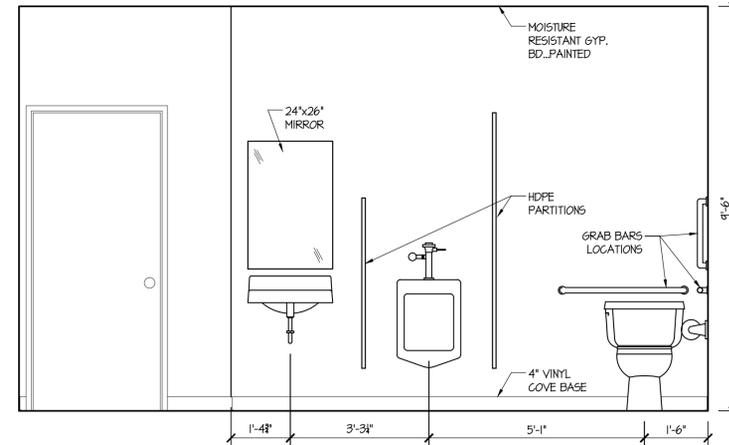
8 TYP. BATHROOM ELEV.  
SCALE 1/2" = 1'-0"



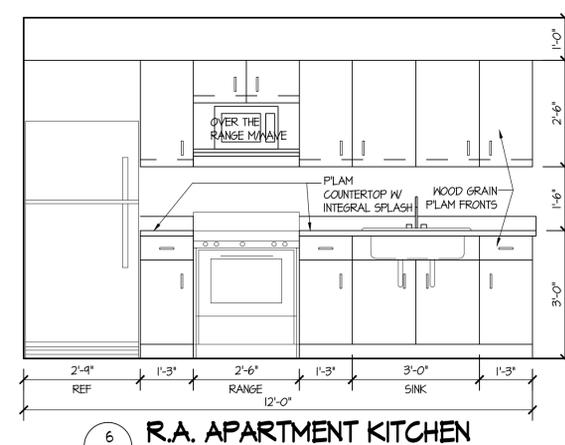
7 TYP. BATHROOM ELEV.  
SCALE 1/2" = 1'-0"



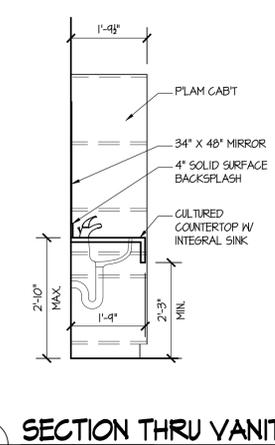
12 WOMEN'S ROOM ELEV.  
SCALE 1/2" = 1'-0"



11 MEN'S ROOM ELEV.  
SCALE 1/2" = 1'-0"

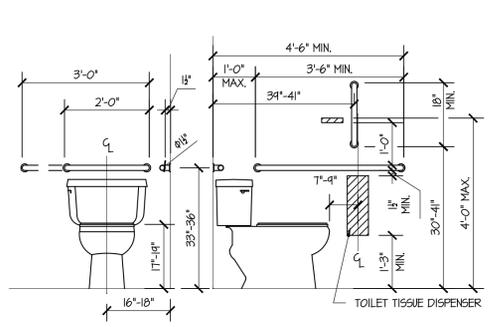


6 R.A. APARTMENT KITCHEN  
SCALE 1/2" = 1'-0"

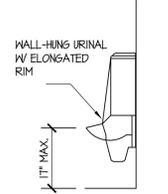


5 SECTION THRU VANITY  
SCALE 1/2" = 1'-0"

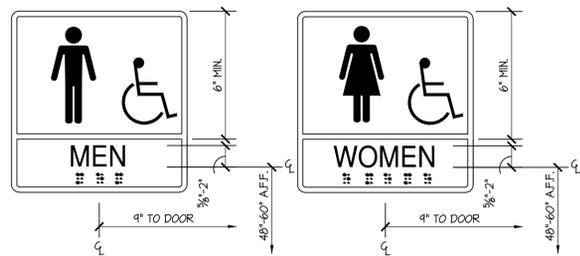
**TOILET ROOM ACCESSORIES UNITS 1-6:**  
TOILET TISSUE HOLDER, DOUBLE ROBE HOOK ON BACK OF DOOR (48" A.F.F.), 4 TOWEL HOOKS (SEE BATHROOM ELEVATIONS FOR LOCATION) 48"x34" MIRROR ABOVE SINK, AND PAPER TOWEL DISPENSER, MOUNT PAPER TOWEL DISPENSER NEXT TO SINK, 48" A.F.F. TO OPERATING MECHANISM.  
**MEN'S AND WOMEN'S ROOM ACCESSORIES ROOM 106 AND 107:**  
TOILET TISSUE HOLDERS, ROBE HOOK ON BACK OF ACCESSIBLE STALL DOOR (48" A.F.F.), 24"x36" MIRROR ABOVE SINK, AND PAPER TOWEL DISPENSER, MOUNT PAPER TOWEL DISPENSER NEXT TO SINK, 48" A.F.F. TO OPERATING MECHANISM.



ADA TOILET  
SCALE: 1-1/2" = 1'-0"

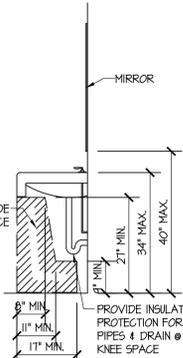


ADA URINAL  
SCALE: 1-1/2" = 1'-0"



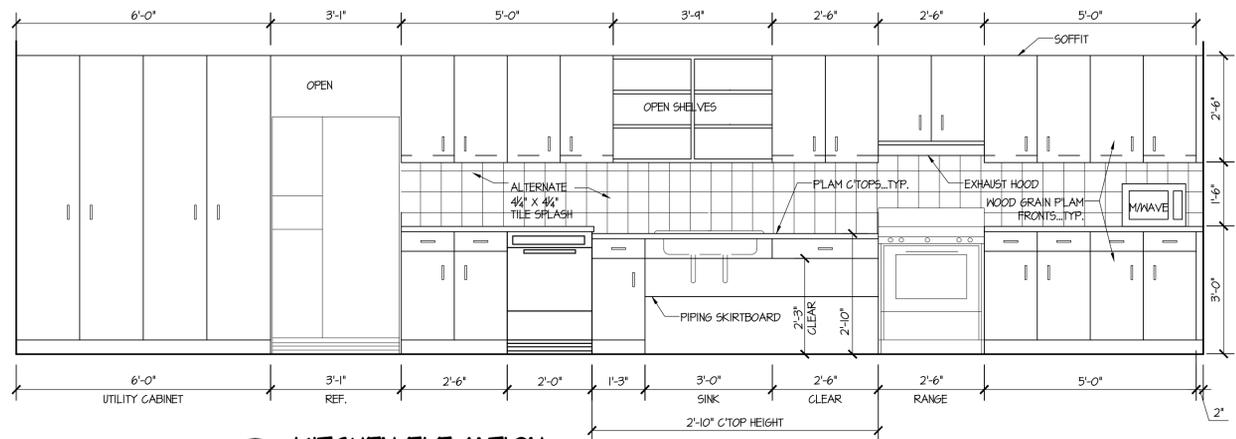
PLAQUE WITH VISUAL, TACTILE & BRAILLE CHARACTERS, PICTOGRAM, AND SYMBOL OF ACCESSIBILITY INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. VERIFY EXACT LANGUAGE WITH OWNER.

SIGNAGE  
SCALE: 3" = 1'-0"

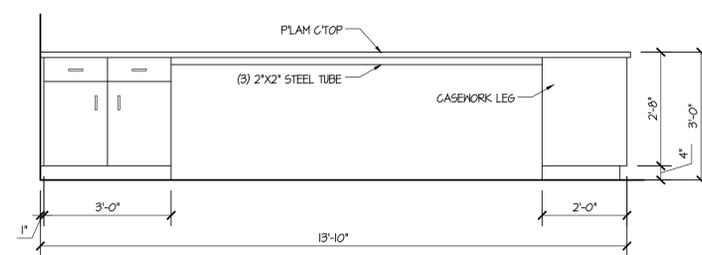


ADA LAV.  
SCALE: 1-1/2" = 1'-0"

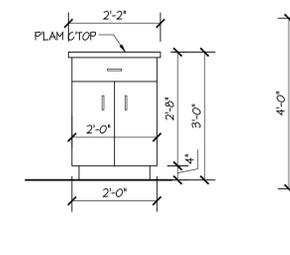
**TOILET ROOM GENERAL NOTES:**  
**MIRRORS:** MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX. A.F.F.  
**COAT HOOKS:** COAT HOOKS PROVIDED WITHIN TOILET ROOMS SHALL BE MOUNTED AT 48" MAX. A.F.F.  
**URINALS:** URINALS SHALL BE OF THE STALL TYPE OR SHALL BE OF THE WALL-HUNG TYPE WITH THE RIM AT 17" MAX. A.F.F.  
**WATER CLOSETS:** THE CENTERLINE OF WATER CLOSETS SHALL BE 16" MIN. TO 18" MAX. FROM SIDE WALLS OR PARTITIONS. THE TOP OF WATER CLOSET SEATS SHALL BE 17" MIN. TO 19" MAX. A.F.F. SEATS SHALL NOT RETURN AUTOMATICALLY TO A LIFTED POSITION. FLUSH TRIP LEVER MUST BE LOCATED ON OPEN SIDE OF TANK.  
**GRAB BARS:** SIDE WALL GRAB BARS SHALL BE 42" LONG MIN, 12" MAX. FROM THE REAR WALL AND EXTENDING 54" MIN. FROM THE REAR WALL. THE REAR WALL GRAB BAR SHALL BE 24" LONG MIN. CENTERED ON THE WATER CLOSET. WHERE SPACE PERMITS, THE BAR SHALL BE 36" LONG MIN. WITH THE ADDITIONAL LENGTH PROVIDED ON THE TRANSFER SIDE OF THE WATER CLOSET. VERTICAL GRAB BAR SHOULD BE 18" TALL. BOTTOM OF GRAB BAR SHOULD BE 34"-41" A.F.F. CENTER OF GRAB BAR SHOULD BE 34"-41" FROM BACK WALL. GRAB BARS SHALL HAVE A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1/2" MIN. AND 2" MAX. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1/2". GRAB BARS SHALL BE MOUNTED 33" MIN. AND 36" MAX. A.F.F.  
**TOILET PAPER DISPENSERS:** TOILET PAPER DISPENSERS SHALL BE 17" MIN. AND 9" MAX. IN FRONT OF THE WATER CLOSET. THE OUTLET OF THE DISPENSER SHALL BE 15" MIN. AND 48" MAX. A.F.F. THERE SHALL BE A CLEARANCE OF 1/2" MIN. BELOW AND 12" MIN. ABOVE THE GRAB BAR.  
**LAVATORIES AND SINKS:** THE FRONT OF LAVATORIES AND SINKS SHALL BE 34" MAX. A.F.F. MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE. KNEE CLEARANCE SHALL BE 27" MIN. A.F.F. THE DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE CLEARANCES. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.  
**SURROUNDING MATERIALS:** IN BATHROOMS WITH MORE THAN ONE WATER CLOSET, WALLS WITHIN TWO FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF FOUR FEET ABOVE THE FLOOR. ACCESSORIES PROVIDED ON OR WITHIN WALLS SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.  
**SHOWER COMPARTMENTS:** TRANSFER-TYPE SHOWER COMPARTMENTS SHALL HAVE A CLEAR INSIDE DIMENSION OF 36" IN WIDTH AND 36" IN DEPTH, MEASURED AT THE CENTER POINT OF OPPOSING SIDES. AN ENTRY 36" MINIMUM IN WIDTH SHALL BE PROVIDED. A CLEARANCE OF 48" MINIMUM IN LENGTH MEASURED PERPENDICULAR FROM THE CONTROL WALL, AND 26" MINIMUM IN DEPTH SHALL BE PROVIDED ADJACENT TO THE OPEN FACE OF THE COMPARTMENT. HORIZONTAL GRAB BARS SHALL BE PROVIDED ACROSS THE CONTROL WALL AND ON THE BACK WALL TO A POINT 18" FROM THE CONTROL WALL. A VERTICAL GRAB BAR 18" MINIMUM IN LENGTH SHALL BE PROVIDED ON THE CONTROL END WALL 3" MINIMUM TO 6" MAXIMUM ABOVE THE HORIZONTAL GRAB BAR, AND 4" MAXIMUM FROM THE FRONT EDGE OF THE SHOWER. GRAB BARS SHALL HAVE A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1/2" MIN. AND 2" MAX. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1/2". GRAB BARS SHALL BE MOUNTED 33" MIN. AND 36" MAX. A.F.F. GRAB BARS SHALL BE PERMITTED TO BE SEPARATE BARS, A SINGLE PIECE BAR, OR A COMBINATION THEREOF. A FOLDING SEAT SHALL BE PROVIDED IN TRANSFER-TYPE SHOWER COMPARTMENTS AND SHALL BE ON THE WALL ADJACENT TO THE CONTROL. THE HEIGHT OF THE SEAT SHALL BE 17" MINIMUM AND 19" MAXIMUM ABOVE THE BATHROOM FLOOR, MEASURED TO THE TOP OF THE SEAT. THE SEAT SHALL EXTEND ALONG THE SEAT WALL TO A POINT WITHIN 3" OF THE COMPARTMENT ENTRY. SHOWER CONTROLS SHALL BE 30" MIN TO 48" MAX. A.F.F.



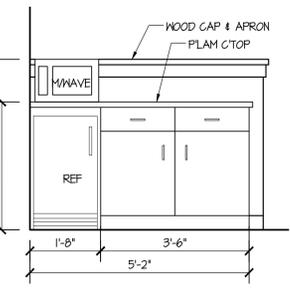
4 KITCHEN ELEVATION  
SCALE 1/2" = 1'-0"



3 PENINSULA ELEVATION  
SCALE 1/2" = 1'-0"



2 END ELEVATION  
SCALE 1/2" = 1'-0"



1 UNIT KITCHENETTE  
SCALE 1/2" = 1'-0"

DATE	
NO. REVISIONS	
<p>LJM Architects 913 Riverfront Drive Steeboon, WI 53085 Phone (608) 468-4800 Fax (608) 468-1485</p>	
<p>Quasius a construction services company</p>	
<p>LIVING WORD INTERNATIONAL HOUSE NEW STUDENT DORM LIVING WORD LANE JACKSON, WI 53037</p>	
SHEET TITLE	
DRAWN BY JA	
CHECKED BY EU	
DATE 01-25-16	
PROJECT NO. 1556	
SHEET NO. A5	



DIVISION OF INDUSTRY SERVICES  
 141 NW BARSTOW ST FL 4TH  
 WAUKESHA WI 53188-3789  
 Contact Through Relay  
<http://dsps.wi.gov/programs/industry-services>  
[www.wisconsin.gov](http://www.wisconsin.gov)

Scott Walker, Governor  
 Dave Ross, Secretary

February 01, 2016

CUST ID No. 261390

ATTN: Buildings & Structures Building Inspector

ERIK A JENSEN  
 LJM ARCHITECTS INC  
 813 RIVERFRONT DR  
 SHEBOYGAN WI 53081-4632

MUNICIPAL CLERK  
 TOWN OF JACKSON  
 3146 DIVISION RD  
 JACKSON WI 53037

(Please forward a copy of this letter to the fire department conducting inspections of this project.)

**CONDITIONAL APPROVAL**  
**PLAN APPROVAL EXPIRES: 02/01/2019**

**SITE:**

Living Word Lutheran High School  
 2230 Living Word Ln  
 Town of Jackson, 53037  
 Washington County  
 , NW1/4, S17

Identification Numbers
Transaction ID No. 2649874
Site ID No. 197918
Please refer to both identification numbers, above, in all correspondence with the agency.

**FOR:**

Facility: 757129 LIVING WORD LUTHERAN HIGH SCHOOL-INTERNATIONAL HOUSE  
 2230 LIVING WORD LN  
 JACKSON 53037

Object Type: Building ICC Regulated Object ID No.: 1581385 Code Applies Date: 12/30/15  
 Major Occupancy: Residential; Type VB Combustible Unprotected class of construction; New plan; 7,540 project sq ft;  
 Completely Sprinklered; Occupancy: R-2 Apartments & Dormitories; Sprinkler Design: NFPA-13R Residential

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed below under Also Submit, may also be required.

The following conditions shall be met during construction or installation and prior to occupancy or use:

**Key Items:**

- **IBC 2900/SPS 362.2900** - Provide a service sink, as required in IBC Table 2902.1, with supplies for upkeep of the toilet rooms. Inspectors to field verify compliance with this code section – per Supervising Professional – the laundry sink in the laundry room will act as the service sink – please verify.
- **IBC 1803** – The soils bearing capacity on the drawings (3,000 psf) does not match the soils bearing capacity (2,000 psf) listed in the structural calculations – make correction on “Field Set”

**Submit** – Please submit the following additional components or systems to our agency prior to installation or occupancy of the building. Be aware that additional fees are required if submittals are not timely. Our agency offers a number of worksheets and checklists for the Commercial Building Code at:

[http://dsps.wi.gov/Documents/Industry%20Services/Forms/Commercial%20Buildings/Combined%20Worksheets%20Instructions%20\\_2009%20ICC\\_.pdf](http://dsps.wi.gov/Documents/Industry%20Services/Forms/Commercial%20Buildings/Combined%20Worksheets%20Instructions%20_2009%20ICC_.pdf)

that may assist you in preparing your submittal. Record approval information for each required submittal below. When ready for building occupancy, provide this information to your

ONALLY  
 OVED  
 AFETY AND  
 AL SERVICES  
 JSTRY SERVICES  
 PONDENCE

municipal building official, along with any required compliance statement, in order to obtain any municipal occupancy permit or license.

- **SPS 361.30(3)** - Submit, prior to installation, four (4) sets of fire sprinkler plans, calculations substantiating the design, and a completed SBD-118 application form including this transaction number as a previous transaction and appropriate fees to the Industry Services office that reviewed the building plans if reviewed in the Green Bay, Madison or Waukesha offices. If the building plans were reviewed in the Holmen or Hayward Industry Services offices, the designer may choose the Green Bay, Madison or Waukesha offices. A review appointment and simplified application completion may be made in advance by using the online plan review request retrieval feature and the next available appointment feature from our web page at: <http://165.189.64.111/Default.aspx?Page=fe17ff79-0c6c-42c7-9c1f-0da69cfa7e16> Note that per SPS 361.30(4), the submission and approval of fire sprinkler system plans is not required for a project involving 20 or fewer sprinkler heads to an existing fire sprinkler system.
- **SPS 361.30(3)** - This approval does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, and appropriate fees are required to be submitted for review and approval prior to installation. Building Designer should coordinate with HVAC design to avoid problems with clearance to combustibles, dampers etc. The submitted HVAC plans and calculations shall match the approved building plans. Building Designer is requested to provide a complete set of plans, Energy Calculations and the Building plan review Transaction I.D. number to the HVAC Designer to help coordinate review. **Note as per SPS 302.10 installation of HVAC without approved plans could result in double plan review fees.**
- **SPS 361.30(3)** - Submit, prior to installation, one (1) set of properly signed and sealed truss plans, calculations substantiating the design, and a completed SB-118 application form including this transaction number and signed by the building designer to the office of original review. **Note as per SPS 302.31(1)(d)4. the fee for a structural component submitted after project completion shall be an additional \$250.**

#### Reminders:

- **IBC 1106.1** -Where parking is provided, accessible parking spaces shall be provided in compliance with ICC/ANSI A117.1 Sec. 502.
- **SPS 361.36(1)(a) & (b)** - The building shell shall be closed within two years of the initial approval date of this project. Also, this approval will expire three years after the date of initial approval of this project if the work covered by this approval is not completed and the building ready for occupancy within those three years.
- Smoke detection is required in R-2 occupancies. Carbon monoxide detectors are required per SPS 362.1200 if there are any combustion appliances. Also, if this building will be a residential care apartment complex or facility (RCAC), contact the Department of Health Services at tel (608) 243-2359 regarding their additional requirements under WI Administration Code DHS 89. When a manual fire alarm system is required; fire alarm plans shall be submitted for review. Submittal is not required where only single- and multiple-station smoke alarms are required.

A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A department electronic stamp and signature shall be on the plans which are used at the job site for construction.

All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center. Nothing in this approval limits the power of municipalities to make or enforce additional or more stringent regulations, providing the regulations do not conflict with this code or any other rule of the department or any law. This plan has not been generally reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.

If this construction project will disturb one or more acres of land, a Water Resources Application for Project Permits (WRAPP) (previously known as the Notice of Intent) shall be filed with the Department of Natural Resources prior

to any land-disturbing activities. More information regarding the DNR's permitting requirements for runoff management for construction sites can be found at the DNR's website, <http://dnr.wi.gov/topic/stormwater/construction/>

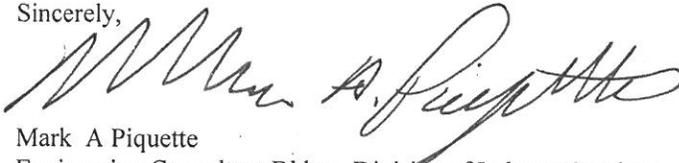
In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.

Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. The compliance statement form is available on our website,

[http://dsps.wi.gov/Documents/Industry%20Services/Forms/Commercial%20Buildings/Combined%20Worksheets%20Instructions%20\\_2009%20ICC\\_.pdf](http://dsps.wi.gov/Documents/Industry%20Services/Forms/Commercial%20Buildings/Combined%20Worksheets%20Instructions%20_2009%20ICC_.pdf) under forms for commercial buildings.

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead. We look forward to working with you to make this code-compliant construction.

Sincerely,



Mark A Piquette  
Engineering Consultant Bldgs , Division of Industry Services  
(262)574-2121 , 7:45 am - 4:30 pm  
mark.piquette@wi.gov

Fee Required \$ 700.00

This Amount Will Be Invoiced.  
When You Receive That Invoice,  
Please Include a Copy With Your  
Payment Submittal.  
WiSMART code: 7648

cc: Betty J Wiese, State Building Inspector, (414) 852-3694 , Monday 7:45 A.M. - 4:30 P.M.  
Dave Miskimen, Living Word Lutheran High School

- 
- **SPS 361.31(2)** - For new buildings, building additions, and building alterations in an existing building, the Department is NOT requiring lighting plans to be submitted for review and conditional approval . However, the owner is reminded that proper plans and calculations, demonstrating compliance with the general lighting requirements as contained in the IECC; and emergency illumination requirements as addressed in the IBC, are to be on-site and made available to a Dept. representative upon request.
  - Energy Conservation – Building designers, electrical designers or electrical contractors shall provide fixture layouts, fixture cut-sheet, energy calculations or other documentation at the project site.

# Washington County Planning and Parks Department - Land Use Division

Public Agency Center - Suite 2300, 333 East Washington Street, P.O. Box 2003, West Bend, WI 53095-2003  
Phone: (262) 335-4445, Toll Free: 800-616-0446 (Wisconsin Only), FAX: (262) 335-6868

## PERMIT APPLICATION REVIEW

Date 2/9/16 Tax Key # T 7-0477-00M  
 Owners Name Living Word Lutheran High School and Blue Ribbon Management  
 Mailing Address 2230 Living Word Lane, Jackson, WI 53037  
 Phone: Home 262-677-9353 (School Number) Work \_\_\_\_\_  
 Property Location: Address 2230 Living Word Ln., Jackson  
 Legal Description SE 1/4 Section 17 Town/Village Jackson  
 Lot 1 Block \_\_\_\_\_ Subdivision \_\_\_\_\_ CSM# 6582

Project for: [check appropriate box(es)]

- |   |                                      |   |
|---|--------------------------------------|---|
| <input type="checkbox"/> Commercial     | <input type="checkbox"/> Residential | <input type="checkbox"/> Detached accessory |
| <input checked="" type="checkbox"/> New | <input type="checkbox"/> Existing    | <input type="checkbox"/> Other              |

Brief description of project: Construct one (1) 7,540 Square Foot six (6) unit student dorm building. Building will be wood framed with CMU exterior to match existing school buildings. Plans attached.

General Contractor: Quasius Construction, 920-287-0397

Following items must be submitted: Full legal description of the property, map, drawn to scale or showing dimensions, including boundaries and dimensions of the property, location and distances from existing and proposed buildings and/or grading/filling/excavating to lot lines, location and distances from private onsite wastewater treatment systems and wells to lot lines and buildings, and an arrow indicating north. If soil borings are required, the system may be condemned as a result of soil conditions observed.

**\*NOTICE TO APPLICANT: PERMITS MAY ALSO BE REQUIRED FROM OTHER AGENCIES INCLUDING COUNTY LAND AND WATER CONSERVATION DIVISION, COUNTY HIGHWAY DEPARTMENT, TOWN, VILLAGE, CITY, STATE DEPARTMENT OF NATURAL RESOURCES, AND/OR ARMY CORPS. OF ENGINEERS.**

Please allow a minimum of 24 hours for processing.

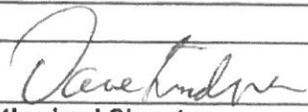
\*\*\*\*\*

(for office use - do not write below this line)

Permit Required Under Chapter 23 or 25	Yes	No	County Permit Issued	Date Issued
Sanitary - Chapter 25	_____	<u>X</u>	No. <u>Sanitary Sewer</u>	_____
Floodplain - Chapter 23	_____	<u>X</u>	No. _____	_____
Shoreland/Wetland - Ch. 23	_____	<u>X</u>	No. _____	_____

Remarks Per plans received via e-mail on 2-9-16, proposed project is not w/in Co. regulated Shoreland-Wetland or Floodplain.

e-mailed back to  
Todd @ Quasius Constr.  
(signed copy) PL

  
 Authorized Signature
 

 Land Use Inspector

CONTRACTOR NAME:

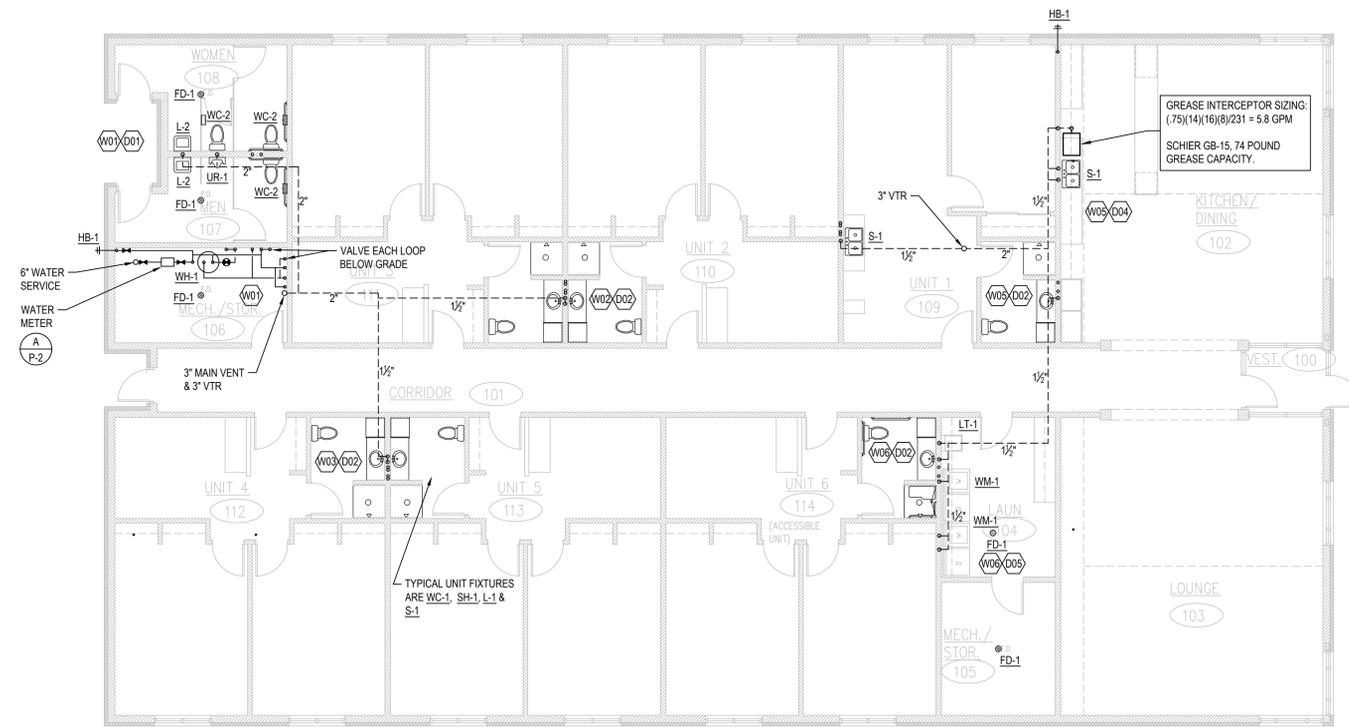
**NEUMANN**  
PLUMBING & HEATING  
1114 MILLERSVILLE AVENUE  
HOWARDS GROVE, WISCONSIN

CONSULTING ENGINEER:

**PRSMITH CO.**

4880 Kirkwood Drive  
Waunakee, Wisconsin 53597  
Phone: 608.846.4171  
pete.smith@prsmithcompany.com

REVISIONS:



**1**  
P-1 **FIRST FLOOR PLAN - PLUMBING**  
SCALE: 1/8"=1'-0"

**WATER CALCULATIONS:**

DEMAND: TOTAL SFU = 53. TOTAL GPM = 29 GPM  
PRESSURE AT EXIST. HYDRANT = 84 PSI  
WATER SERVICE LOSS DUE TO FRICTION = 1 PSI  
WATER SERVICE LOSS DUE TO ELEVATION = 6 PSI  
PIPING TYPE: FLOWGUARD GOLD CPVC ABOVE GRADE, PEX BELOW GRADE

DISTRIBUTION PIPE SIZING:  
(B) BUILDING PRESS. AFTER CONTROL VALVE = 77 PSI  
(C) WATER SERVICE LOSS DUE TO METER = 3 PSI  
(D) MINIMUM PRESS. @ FIXTURE = 20 PSI  
(E) ELEVATION LOSS = (7 FT.)(.434) = 3 PSI  
(F) LOSS DUE TO MISC. = 0 PSI  
(G) EQUIV. FEET OF PIPE = 195 FT.  
A = (B - C - D - E - F)(100) / G  
A = (77 - 3 - 20 - 3 - 0)(100) / 195  
A = 27 PSI PER 100 FT. UNIFORM LOSS

SYMBOL LIST		
	CW	COLD WATER
	HW	HOT WATER
	HWR	HOT WATER RETURN
	V	VENT PIPING ABOVE GRADE
	W	WASTE/SOIL ABOVE GRADE
	W	WASTE/SOIL BELOW GRADE
	V	VENT PIPING BELOW GRADE
		BALL VALVE
		CHECK VALVE
		PIPE SIZE (FIXTURE UNIT VALUE)
		PIPE CAP
	FCO	FLUSH CLEANOUT/WALL CLEANOUT
		PIPE UP OR RISE
		PIPE DOWN OR DROP
	WHA	WATER HAMMER ARRESTOR
		FLOOR ELEVATION
		DETAIL 1, SHEET P-2
	VTR	VENT THROUGH ROOF

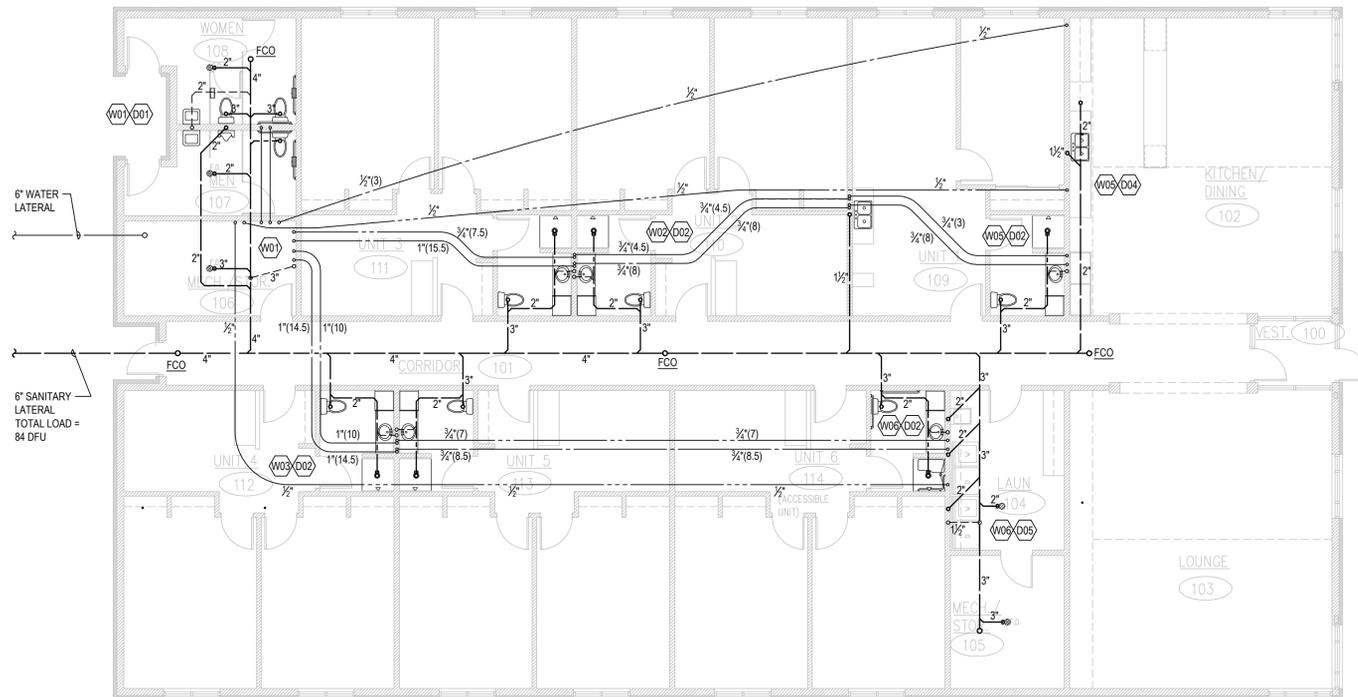
NOTE: SOME SYMBOLS LISTED IN THIS SCHEDULE MAY NOT APPEAR ON DRAWINGS.

**GENERAL PLUMBING NOTES:**

- BUILDING DRAINS & BUILDING SEWERS SHALL BE INSTALLED PER SPS 382.30(11).
- SANITARY VENT PIPING INCLUDING CIRCUIT VENTS, WET VENTS & COMBINATION DRAIN/VENT SHALL BE INSTALLED PER SPS 382.31(8-17).
- INSTALLATION OF TRAPS SHALL CONFORM TO SPS 382.32(4-5).
- CLEANOUTS SHALL BE INSTALLED PER SPS 382.35(3-6).
- WATER SERVICE & WATER DISTRIBUTION VALVING SHALL CONFORM TO SPS 382.40(4)(8).
- HOT WATER SYSTEM EQUIPMENT, PIPING & VALVING SHALL CONFORM TO SPS 382.40(5).
- THE POTABLE WATER SUPPLY SHALL BE PROTECTED FROM BACK-SIPHONAGE PER SPS 382.41.
- PVC PIPING SHALL NOT BE INSTALLED IN RETURN AIR PLENUM CEILING UNLESS IT COMPLIES WITH ASTM E-84 OR UL-723 REQUIREMENTS.

**SPECIFICATIONS**

- DWV PIPING: PVC PLASTIC PIPE, SCHEDULE 40, CLASS 12454-B (PVC 1120), ASTM D1785; PVC PLASTIC DRAIN, WASTE AND VENT PIPE AND FITTINGS, ASTM D2665; SOCKET FITTING PATTERNS, ASTM D3311; PRIMER, ASTM F656; SOLVENT CEMENT, ASTM D2564.
- WATER PIPING: SIZES 1/2" - 2" SHALL BE SDR11 CPVC FLOW GUARD GOLD PIPE. WISOLVENT WELD CEMENT FITTINGS, ASTM D-2646; BELOW GRADE PIPING SHALL BE PEX.
- INSULATION: HOT & COLD: WATER - FIBERGLASS OR RUBATEX PER SPS 82.40(5).
- ALL VALVES SHALL BE FULL-PORT BALL VALVES.
- WC-1: KOHLER 3979-0 HIGHLINE FLOOR MOUNT, TANK STYLE WATER CLOSET IN WHITE; KOHLER 4712-0 TRIKO ELONGATED SEAT WITH COVER IN WHITE.
- WC-2: KOHLER 3979-0 HIGHLINE FLOOR MOUNT, TANK STYLE WATER CLOSET IN WHITE; KOHLER 4731-SC-0 STRONGHOLD OPEN FRONT TOILET SEAT IN WHITE.
- L-1: KOHLER 2196-0 PENNINGTON DROP-IN LAVATORY IN WHITE; KOHLER 15240-4-CP CORALAIS LAVATORY FAUCET IN CHROME; OFFSET GRID DRAIN IN CHROME.
- L-2: KOHLER 2032-0 GREENWICH WALL HUNG LAV IN WHITE; KOHLER 15240-4-CP CORALAIS LAVATORY FAUCET IN CHROME; OFFSET GRID DRAIN IN CHROME.
- SH-1: AQUATIC 1363BFS ACCESSIBLE 36" SHOWER MODULE WITH BACKING IN WHITE; KOHLER 304-K PRESSURE BALANCED TUB/SHOWER VALVE; KOHLER T15611-4-CP CORALAIS SHOWER VALVE TRIM IN CHROME; SHOWER DRAINS IN CHROME.
- S-1: KOHLER 3145-NA CADENCE STAINLESS STEEL KITCHEN SINK; KOHLER 15172-F-CP CORALAIS KITCHEN FAUCET WITH SPRAY IN CHROME; KOHLER 8814-CP SINK STRAINER IN CHROME; BADGER V GARBAGE DISPOSAL.
- GI-1: SCHIER GB-15 GREASE INTERCEPTOR, 74 POUND GREASE CAPACITY.
- WM-1: OATEY LAUNDRY CLOTHES WASHER BOX.
- LT-1: MUSTEE 19W WALL HUNG LAUNDRY SINK; KOHLER 15270-4-CP CORALAIS LAUNDRY SINK FAUCET IN CHROME.
- UR-1: KOHLER 4904-ET-0 BARDON WALL HUNG URINAL IN WHITE; SLOAN 8186 G2 SENSOR OPERATED FLUSH VALVE.
- FD-1: SIOUX CHIEF FINISH LINE FLOOR DRAIN
- WH-1: BRADFORD WHITE 75 GALLON, 80 MBH SEALED COMBUSTION, NATURAL GAS WATER HEATER; THERMXTROL 4.4 GALLON EXPANSION TANK.
- P-1: GRUNDFOS UP-15-10B5, 1/25 HP HOT WATER CIRCULATING PUMP.
- FCO: SIOUX CHIEF FINISH LINE SERIES FLOOR CLEAN OUT.
- FD-1: SIOUX CHIEF FINISH LINE SERIES FLOOR DRAIN, SEE PLAN FOR SIZE.
- HD-1: PVC INCREASER TO SERVE AS HUB DRAIN, SEE PLAN FOR SIZES.
- HB-1: WOODFORD 67C FROST FREE HOSE BIBB.



**2**  
P-1 **BELOW GRADE PIPING - PLUMBING**  
SCALE: 1/8"=1'-0"

PROJECT:  
**LIVING WORD STUDENT DORM**  
LIVING WORD LANE  
JACKSON, WISCONSIN

PROJECT: 201609

DRAWN BY: PRS / RB

DATE: MARCH 4, 2016

FLOOR PLANS  
- PLUMBING

**P-1**

OF 2 SHEETS

CONTRACTOR NAME:

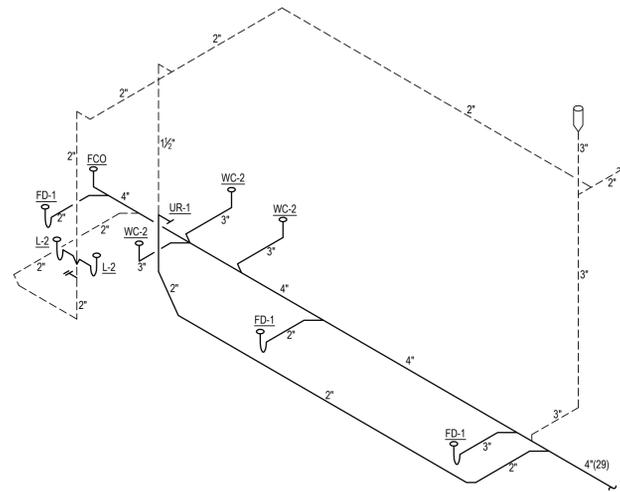
**NEUMANN**  
**PLUMBING & HEATING**  
 1114 MILLERSVILLE AVENUE  
 HOWARDS GROVE, WISCONSIN

CONSULTING ENGINEER:

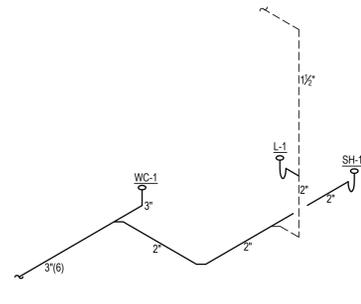
**PRSMITH CO.**

4880 Kirkwood Drive  
 Waunakee, Wisconsin 53597  
 Phone: 608.846.4171  
 pete.smith@prsmithcompany.com

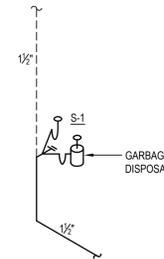
REVISIONS:



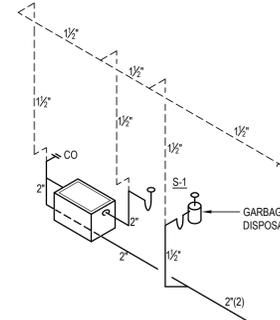
**D01 DWV ISOMETRIC**  
 SCALE: NONE



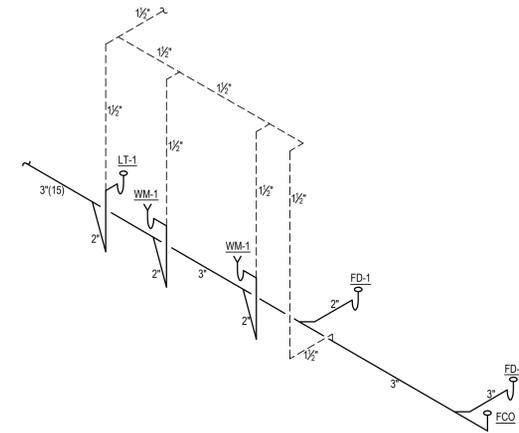
**D02 DWV ISOMETRIC**  
 SCALE: NONE



**D03 DWV ISOMETRIC**  
 SCALE: NONE

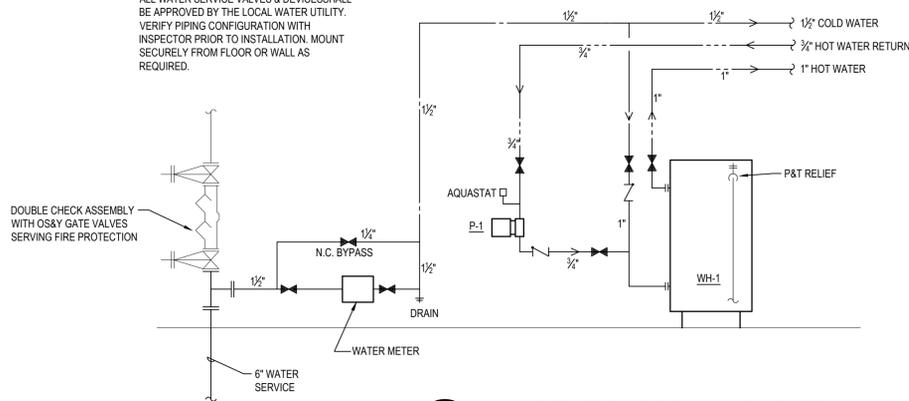


**D04 DWV ISOMETRIC**  
 SCALE: NONE

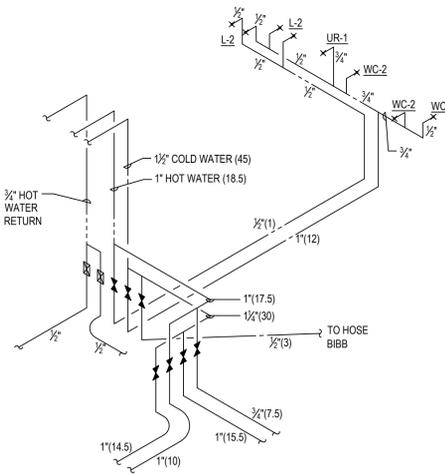


**D05 DWV ISOMETRIC**  
 SCALE: NONE

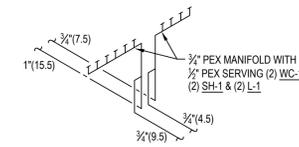
**NOTE:**  
 ALL WATER SERVICE VALVES & DEVICES SHALL BE APPROVED BY THE LOCAL WATER UTILITY. VERIFY PIPING CONFIGURATION WITH INSPECTOR PRIOR TO INSTALLATION. MOUNT SECURELY FROM FLOOR OR WALL AS REQUIRED.



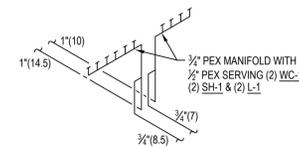
**A P-2 WATER SERVICE EQUIPMENT DETAIL**  
 SCALE: NONE



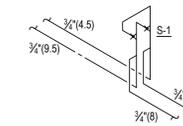
**W01 WATER ISOMETRIC**  
 SCALE: NONE



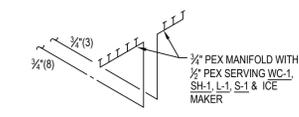
**W02 WATER ISOMETRIC**  
 SCALE: NONE



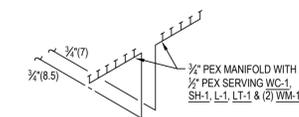
**W03 WATER ISOMETRIC**  
 SCALE: NONE



**W04 WATER ISOMETRIC**  
 SCALE: NONE



**W05 WATER ISOMETRIC**  
 SCALE: NONE



**W06 WATER ISOMETRIC**  
 SCALE: NONE

**PROJECT:**  
**LIVING WORD STUDENT DORM**  
**LIVING WORD LANE**  
**JACKSON, WISCONSIN**

PROJECT: 201609

DRAWN BY: PRS / RB

DATE: MARCH 4, 2016

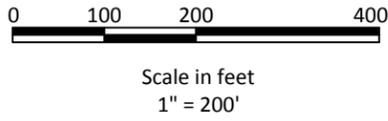
PLUMBING DETAILS  
 & ISOMETRICS

**P-3**

OF 2 SHEETS

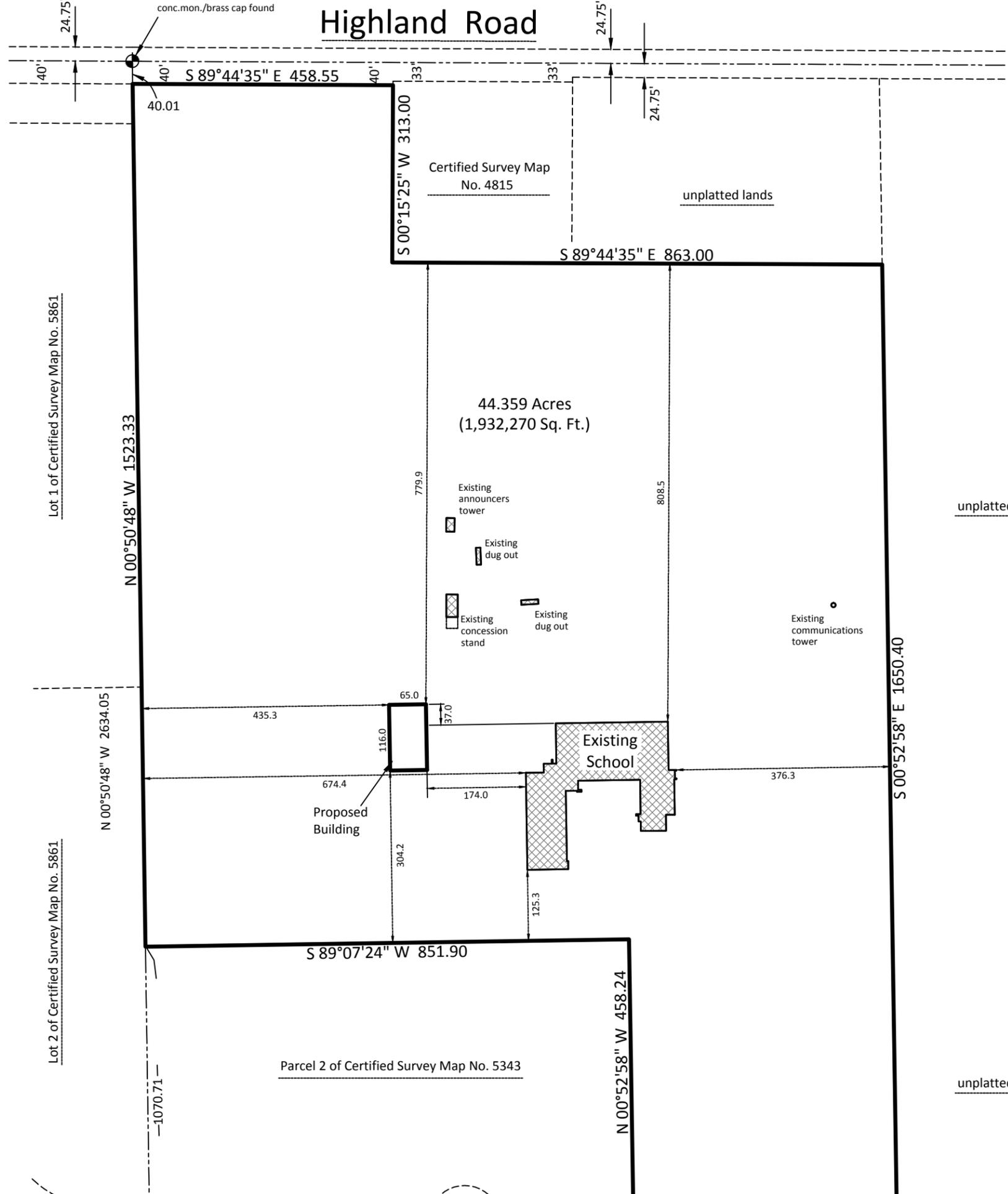
# Building Location Map for Living Word High School Inc.

Lot 1 of Certified Survey Map No. 6582 as recorded in the Washington County Register of Deeds Office in Volume 50 of Certified Survey Maps on pages 170-174, as Document No. 1367064, being Parcel 1 of Certified Survey Map No. 5343 in the Northwest 1/4 and the Southwest 1/4 of the Southeast 1/4 of Section 17, Township 10 North, Range 20 East, in the Tow of Jackson, Washington County, Wisconsin.



Center  
Sec. 17-10-20  
conc.mon./brass cap found

## Highland Road



Lot 1 of Certified Survey Map No. 5861

Lot 2 of Certified Survey Map No. 5861

Parcel 2 of Certified Survey Map No. 5343

unplatted lands

unplatted lands

unplatted lands

## Living Word Lane



South Quarter corner  
Sec. 17-10-20  
conc.mon./brass cap found

Eagle Drive

**STAFF REVIEW COMMENTS**  
**Plan Commission Meeting – March 31, 2016**

**1. *Conditional Use – Piggly Wiggly – Alteration & Addition of Parking Lot, Eagle Drive.***

**Building Inspection**

- North driveway access to State Hwy 60 shall be relocated to the west and onto the Piggly Wiggly Lot. The current location encroaches onto the neighboring property.
- Will the existing handicapped parking spot next to the building at its current location remain or will this be eliminated?

**Public Works/Engineering**

- The parking lot for the grocery store has been in need of improvement for years. The proposal is to remove and re-grade the asphalt for allowing storm water to accumulate in rain gardens and then discharge into the ditch line of Eagle Drive. The proposal is requiring the re-grading of the Right of Way of Eagle Drive. The site drainage is challenged by the minimum grade difference between the site and the creek. Future reconstruction of Eagle Drive will determine the relationship of pedestrian access to the required drainage.
- The proposed plan has been reviewed per the proposed Storm Water Management Plan and has met the requirements of the management plan. The property shall submit to the Village of Jackson for approval, a maintenance plan for the rain gardens and the Eagle Drive drainage ditch.

**Police Department**

- No comment.

**Fire Department**

- No comment.

**Administrative/Planning**

- This project will allow for additional parking, a more usable lot, as well as provide for better drainage in an area that is challenged by minimal grade variation from the site to the creek.

**2. *Extra-Territorial – Living Word Lutheran High School – Construction of Dormitory – Living Word Lane.***

**Building Inspection**

- A Separate Plumbing Permit will be required and inspections on both the water and sewer laterals shall be completed by both the Town and Village Building Inspection Departments.
- Sewer and Water Hook-up Fees and Impact Fees shall be paid in full or an approved payment schedule shall be approved by the Village before any work may be started.

**STAFF REVIEW COMMENTS**  
**Plan Commission Meeting – March 31, 2016**

**Public Works/Engineering**

- The sanitary lateral connection for the dormitory building will be part of the onsite private sanitary sewer lateral for the school. Connection will be made through a manhole. If the location and connection of the sanitary lateral has changed, then a new plan needs to be submitted for review and approval.
- The Jackson Water Utility will allow two options for the water service connection: 1) A live tap to the existing public water main. The live tap will have an anchoring tee with valve. In this option, the Jackson Water Utility will flush the water service lateral and test for a safe water sample; or 2) Extend the 8-inch water main to the north and install a tee and valve for the water service lateral. In this option the Jackson Water Utility will chlorinate the installation and take two safe water samples.
- The proposed developer will be required to pay two REUs (Residential Equivalent Units) for the sewer connection fee, and water impact fee. Also, there is a Washington County Assessment fee that will need to be paid. All fees shall be paid during the application and approval of the plumbing permit from the Village of Jackson.
- The Jackson Water Utility will size the water meter based on the proposed gallons per minute usage.
- Recommend approval of the site plan per the extraterritorial jurisdiction approval process.

**Police Department**

- No comment.

**Fire Department**

- If required, all applicable Fire Protection Systems shall be installed per national, state and local codes.
- A Knox Box Entry System shall be installed per Village Code.

**Administrative/Planning**

- While the property is currently in the Town, it already receives Village sewer and water services, and will be coming into the Village via the attachment per the Revenue Sharing Agreement and Cooperative Boundary with the Town.